

Willow Village

Architectural Control Package - Parcel 1 - Hotel

07/17/2023

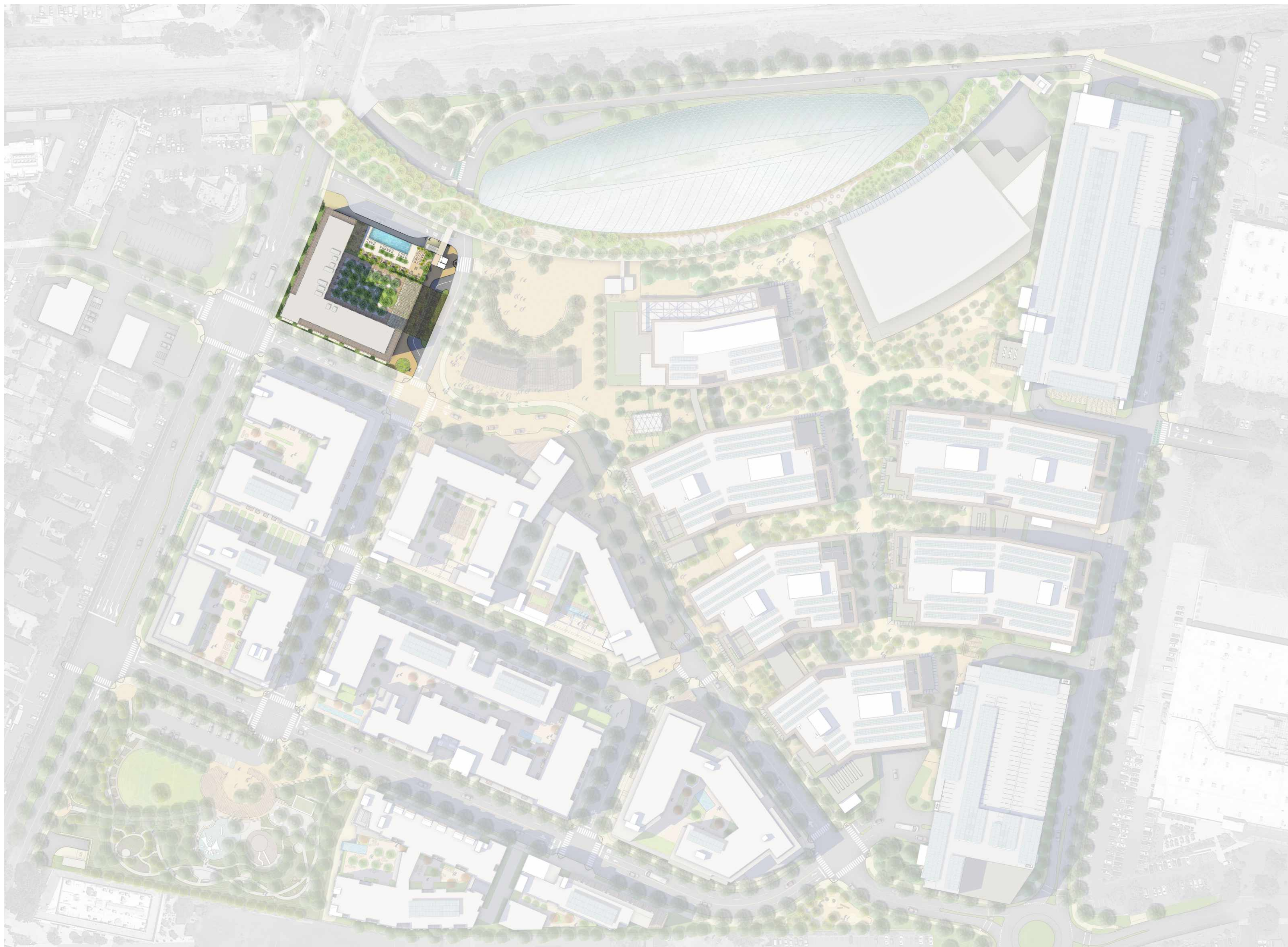


Peninsula Innovation Partners
Menlo Park, CA

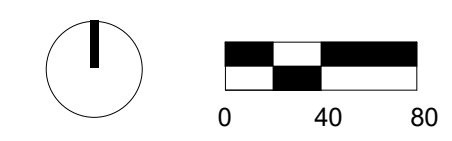
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1 Illustrative Masterplan Context Plan
1" = 80'-0"



WILLOW VILLAGE
Architectural Control Package - Parcel 1 - Hotel
Menlo Park, CA

SCALE: 1" = 80'-0"
NOTE: THIS DRAWING IS 80% A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR SIZE CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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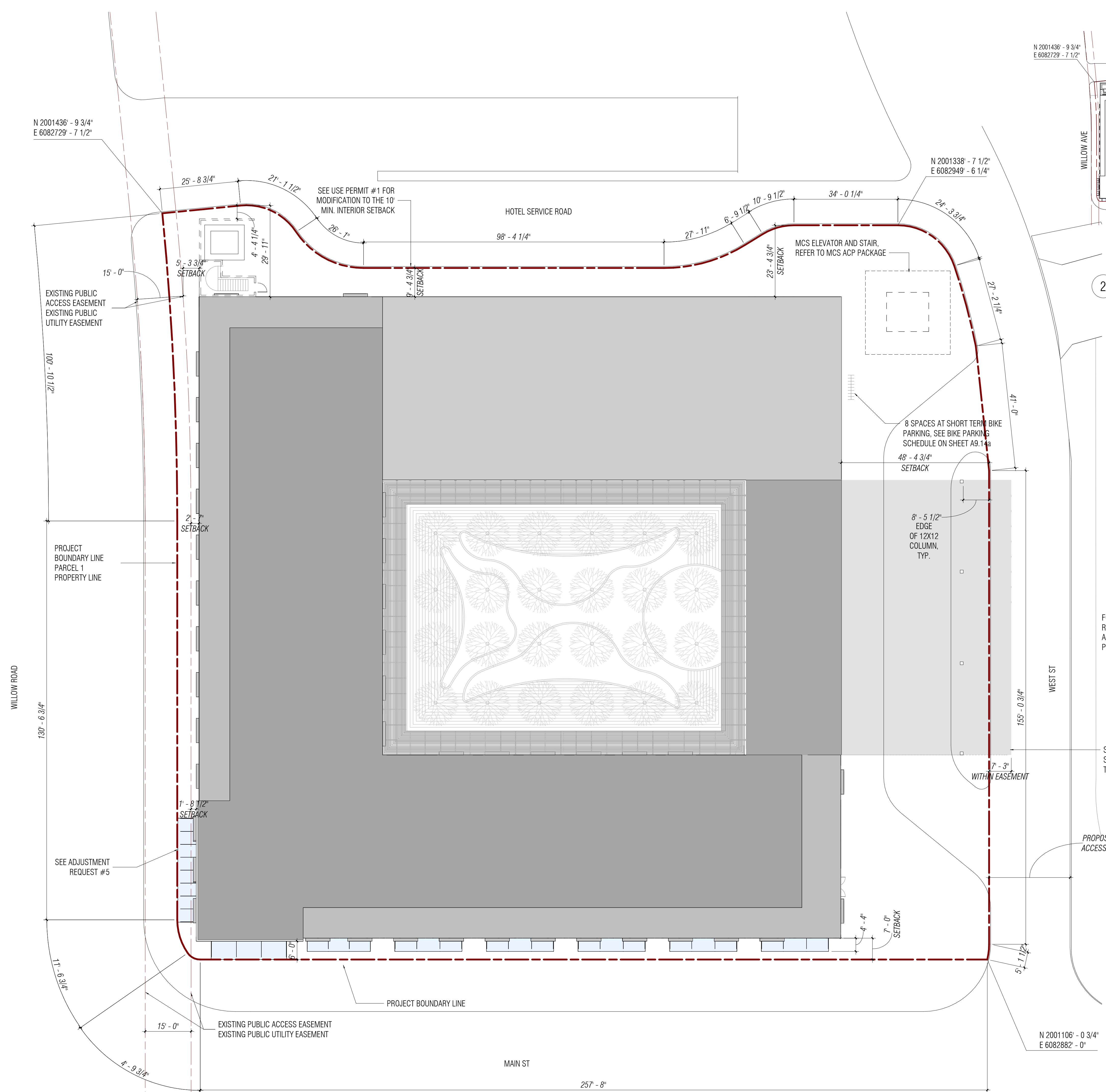
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Willow Village Hotel
Illustrative Masterplan Context Plan

DRAWING NO:
A0.01

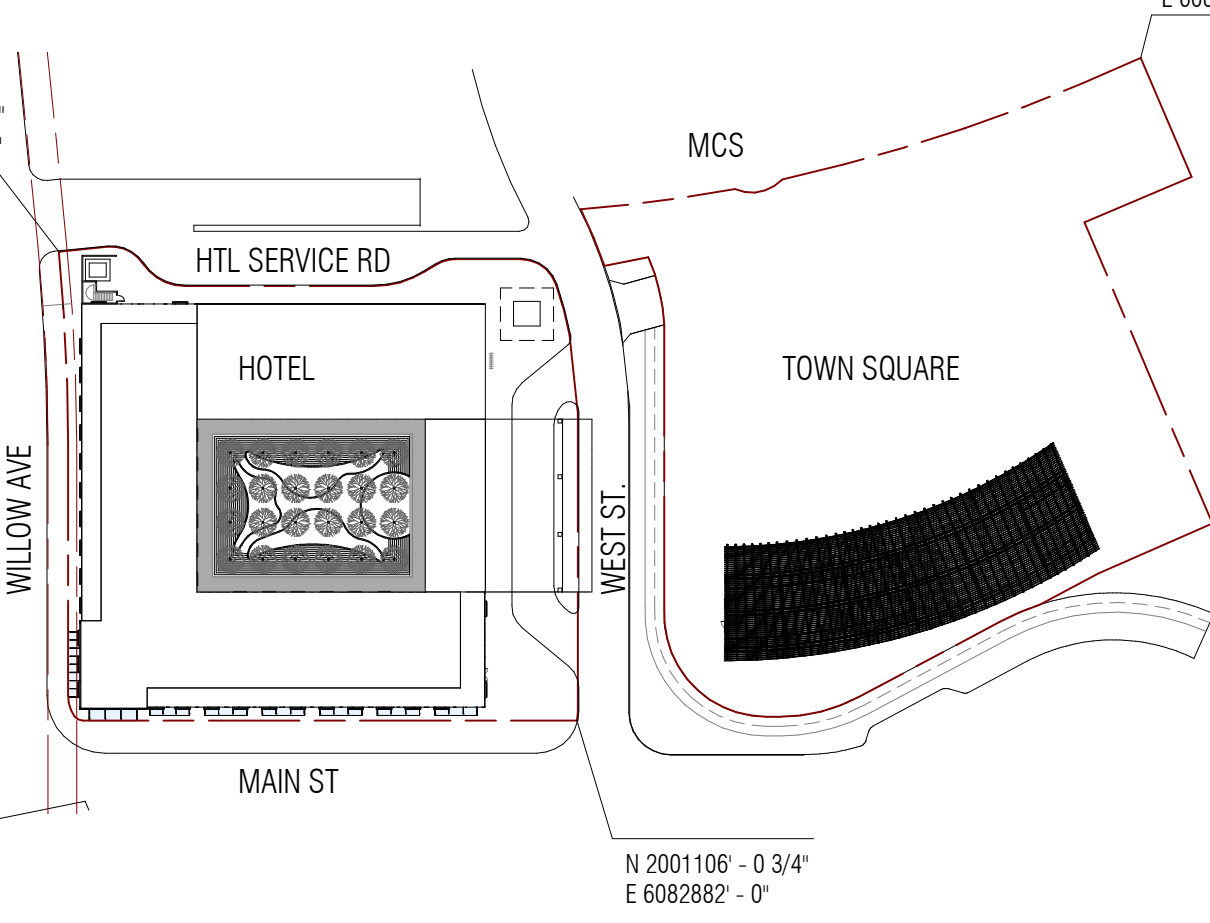
PENINSULA INNOVATION PARTNERS

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1 SITE PLAN
1/16" = 1'-0"



2 SITE LOCATION PLAN
1" = 100'-0"



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 - Hotel
Menlo Park, CA

SCALE: As indicated
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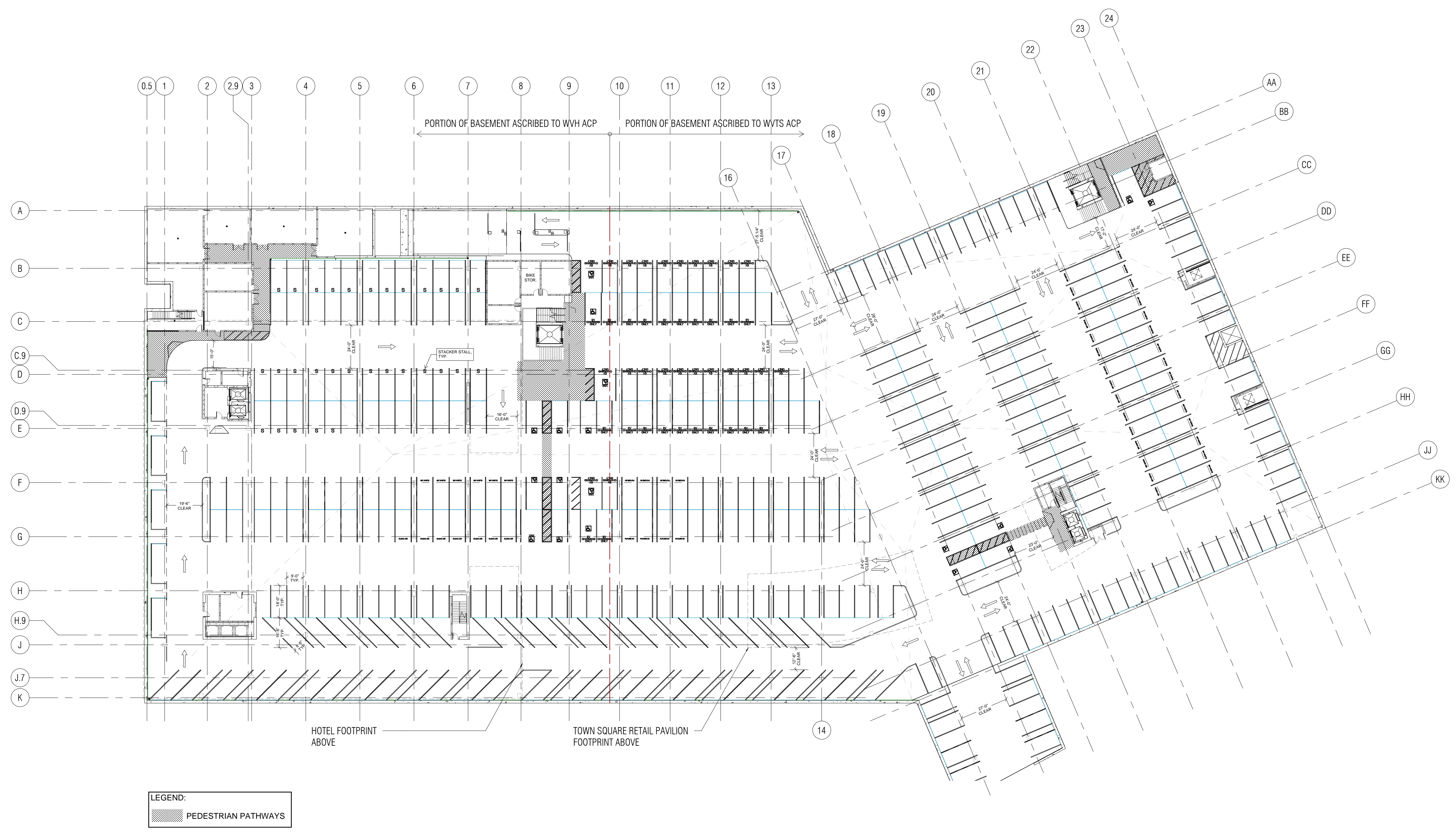
REVISIONS		
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DRAWING TITLE:
Willow Village Hotel
Site Plan

DRAWING NO:
A1.01

3/21/2022 9:27:53 PM

1 HOTEL - BASEMENT LEVEL PLAN
1/32" = 1'-0"



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 - Hotel
Menlo Park, CA

SCALE: 1/32" = 1'-0"
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR SEE CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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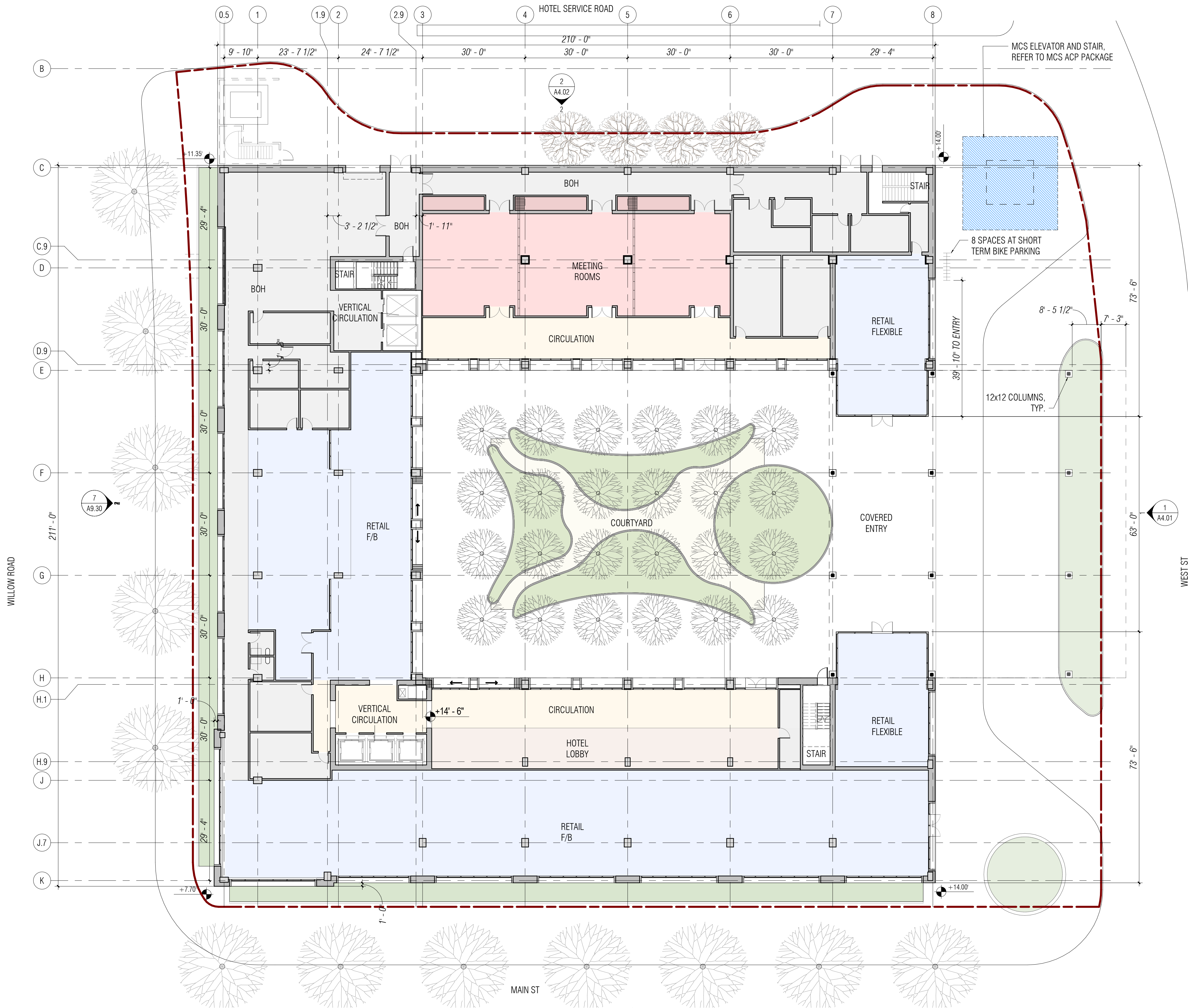
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DRAWING TITLE:
WILLOW VILLAGE HOTEL
Basement Floor Plan

DRAWING NO:
A2.00

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1 HOTEL LEVEL 01
1/16" = 1'-0"



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 - Hotel
Menlo Park, CA

SCALE: 1/16" = 1'-0"
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

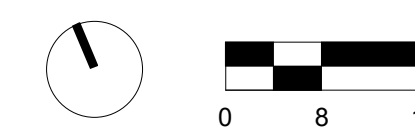
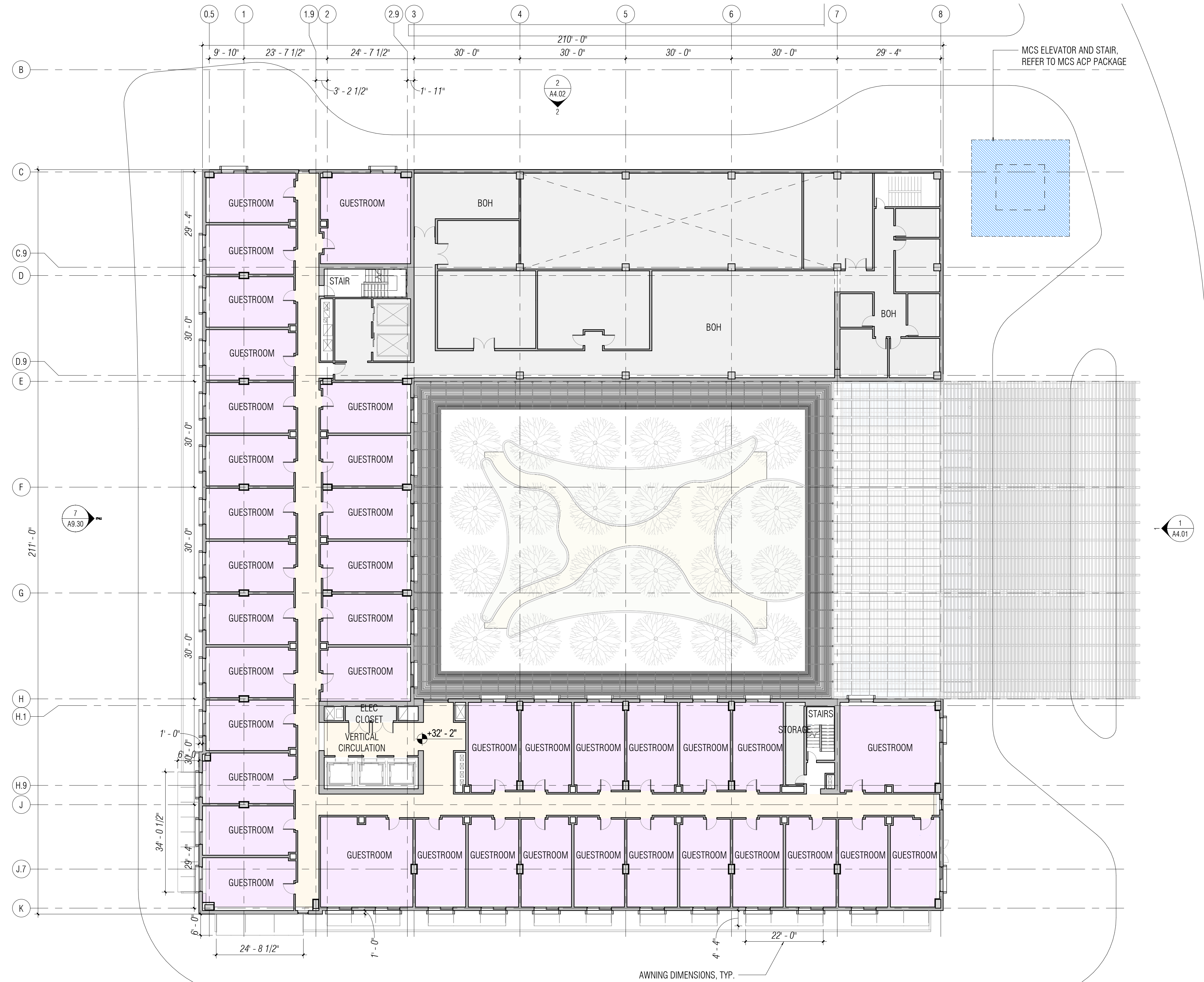
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NO.	DATE	ISSUE

DRAWING TITLE:
Willow Village Hotel
Floor Plan - Level 1

DRAWING NO:
A2.01

1 HOTEL - LEVEL 2
1/16" = 1'-0"



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 - Hotel
Menlo Park, CA

SCALE: 1/16" = 1'-0"
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. FOR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

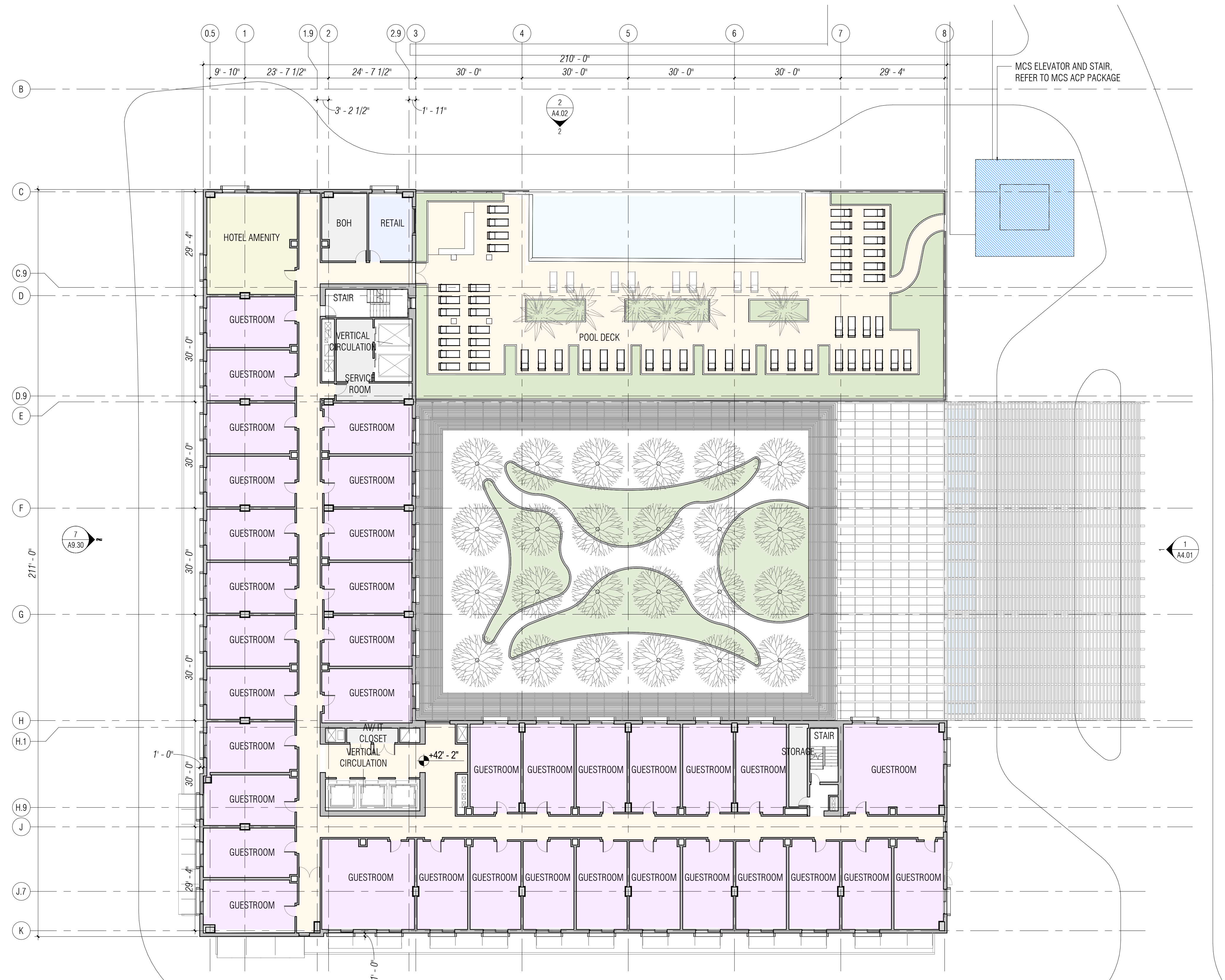
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NO.	DATE	ISSUE

DRAWING TITLE:
Willow Village Hotel
Floor Plan - Level 2

DRAWING NO:
A2.02

1 HOTEL - LEVEL 3
1/16" = 1'-0"

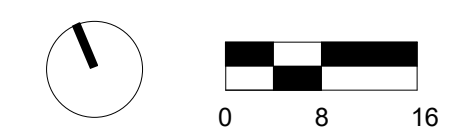
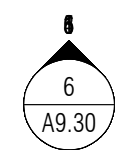
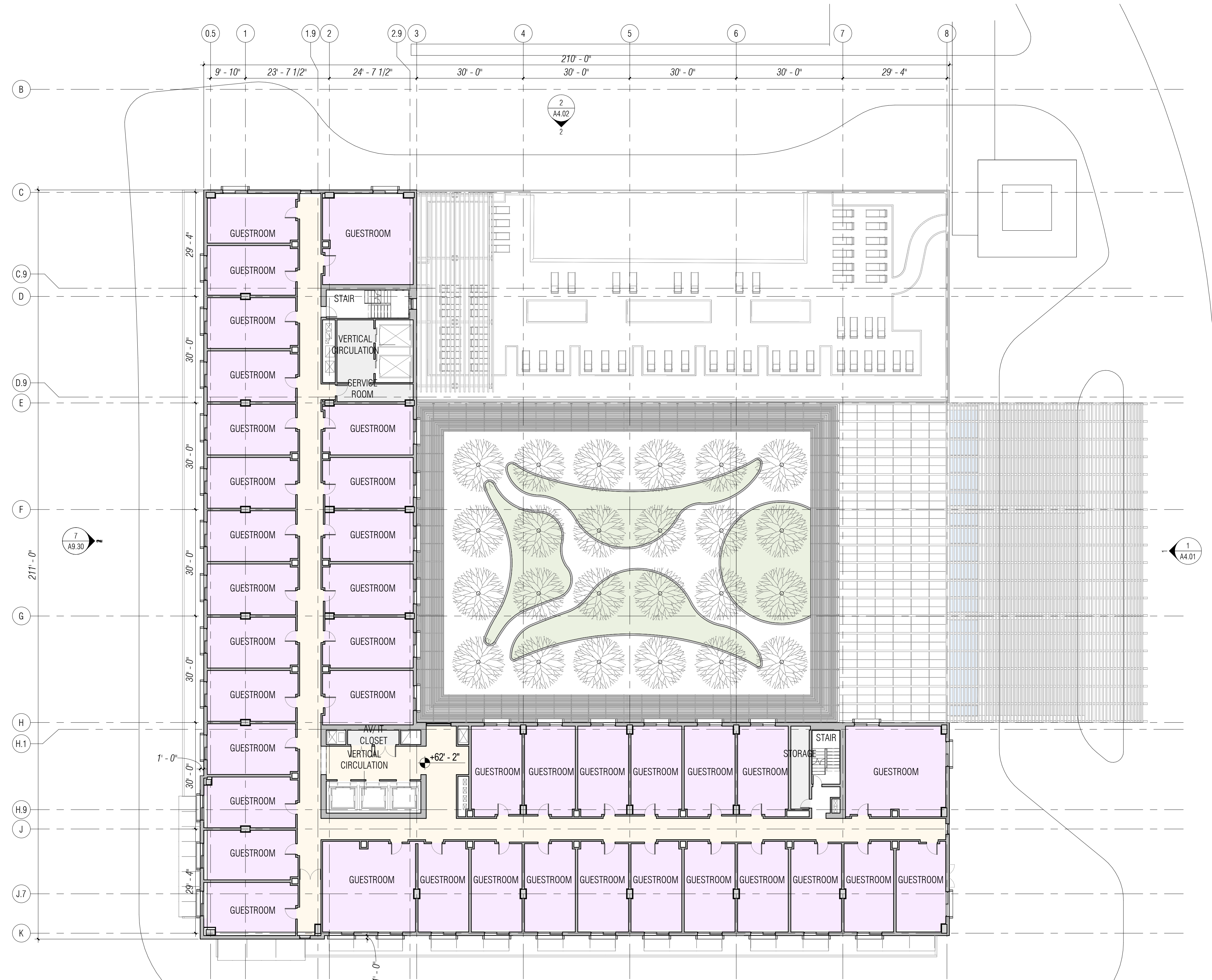


SCALE: 1/16" = 1'-0"
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1 HOTEL - LEVEL 5
1/16" = 1'-0"



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WILLOW VILLAGE
Architectural Control Package - Parcel 1 - Hotel
Menlo Park, CA

SCALE: 1/16" = 1'-0"
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

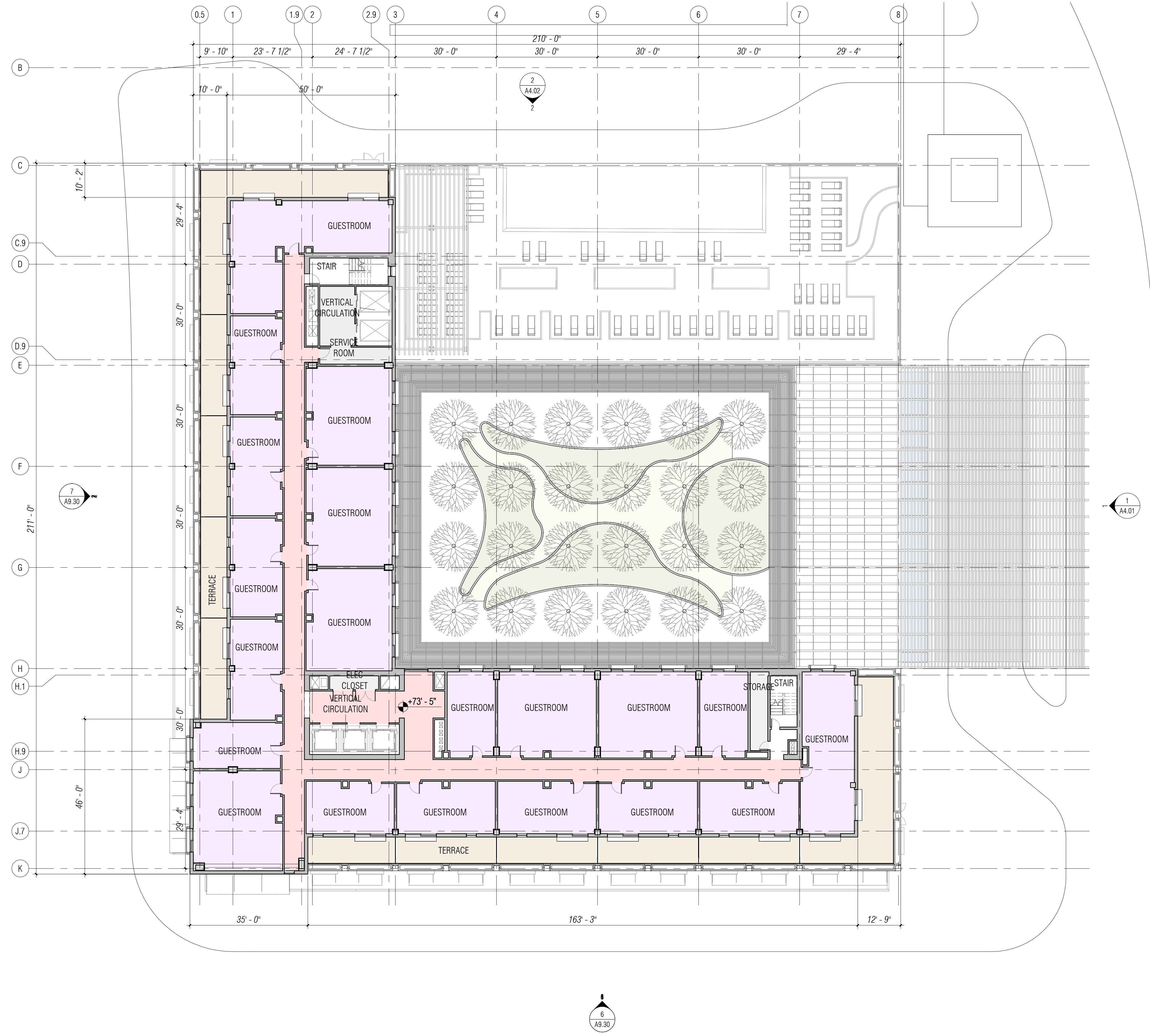
MILESTONES	
DATE	ISSUE
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NO.	DATE	ISSUE

DRAWING TITLE:
Willow Village Hotel
Floor Plan - Level 5

DRAWING NO:
A2.05

1 HOTEL - LEVEL 6
1/16" = 1'-0"



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 - Hotel
Menlo Park, CA

SCALE: 1/16" = 1'-0"
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

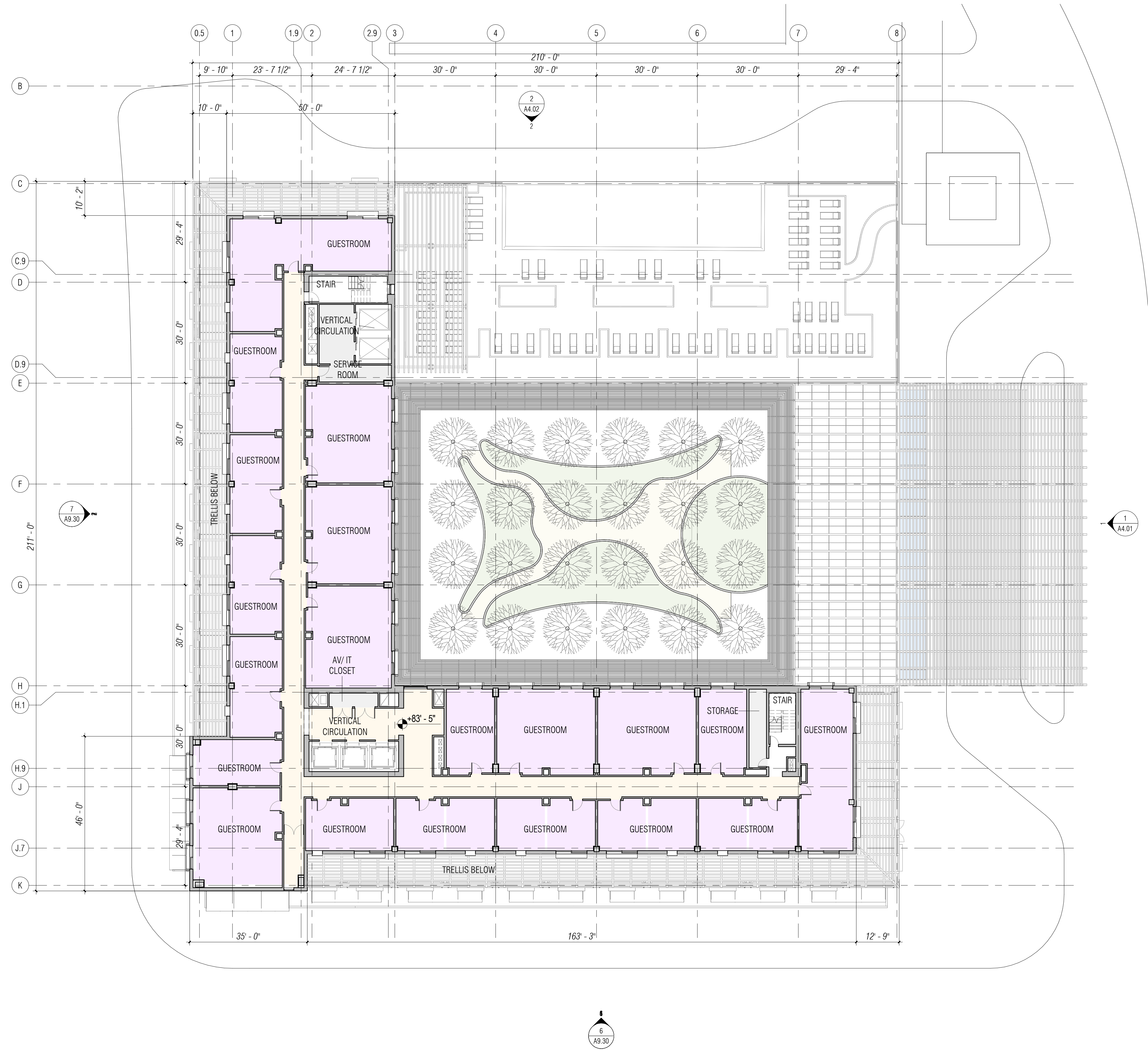
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07/17/2023	ACP

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NO.	DATE	ISSUE

DRAWING TITLE:
Willow Village Hotel
Floor Plan - Level 6

DRAWING NO:
A2.06

1 HOTEL - LEVEL 7
1/16" = 1'-0"



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 - Hotel
Menlo Park, CA

SCALE: 1/16" = 1'-0"
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

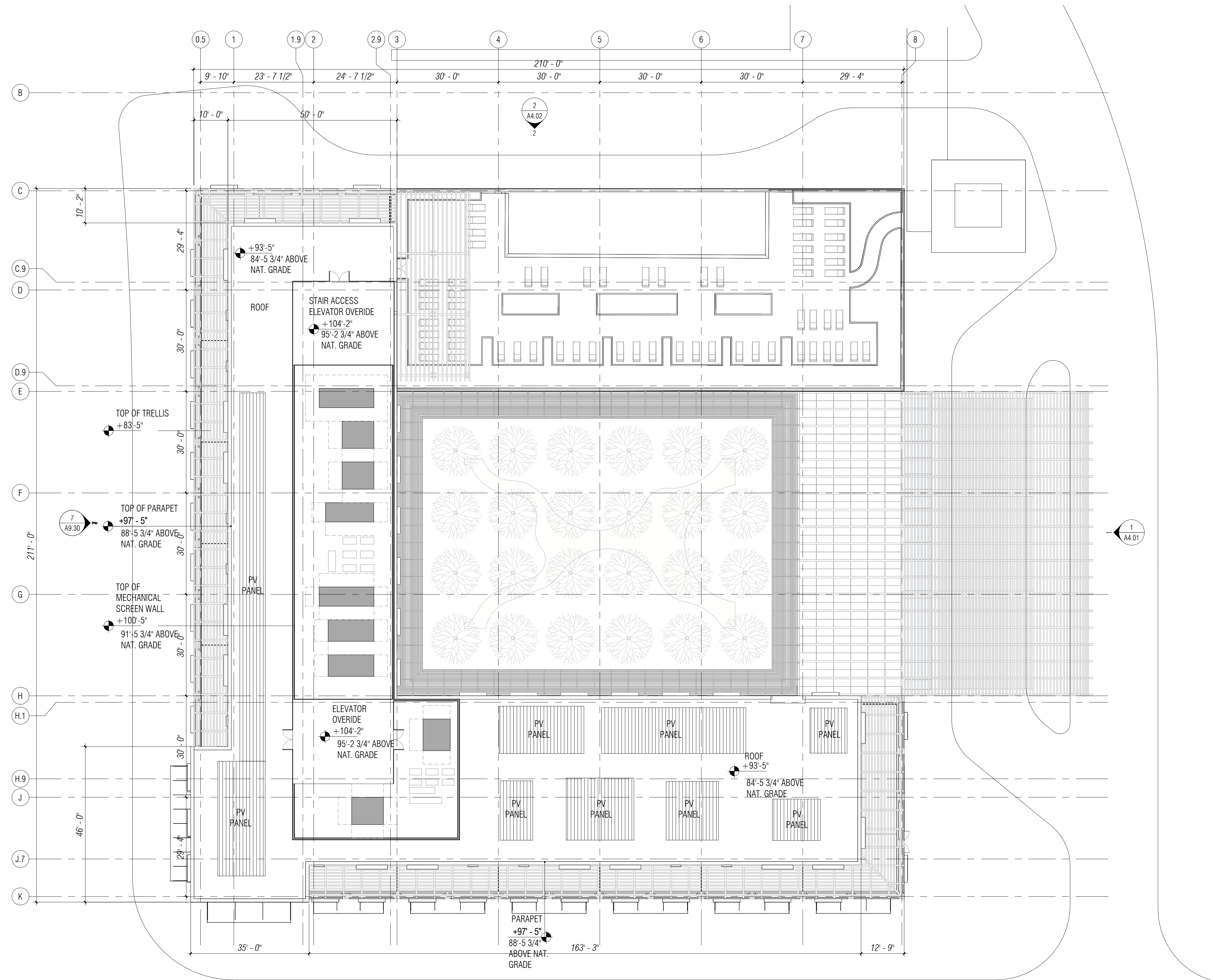
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07/17/2023	ACP

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NO.	DATE	ISSUE

DRAWING TITLE:
Willow Village Hotel
Floor Plan - Level 7

DRAWING NO:
A2.07

1 HOTEL - ROOF
1/16" = 1'-0"



SCALE: 1/16" = 1'-0"
NOTE: THIS DRAWING IS SO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY, OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
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Material Legend	
Key Value	Keynote Text
1	GFRC or Panelized Cement Board
2	Extruded Aluminum
3	Engineered Wood Trellis
4	Planter
5	Sunshade
6	Off-White Color Metal Panel
7	Cement Board or Metal Panel
8	Painted Metal Rail
9	WD Slat Screen Wall
10	Composite Metal Panel

FOR BIRD FRIENDLY COMPLIANCE INFORMATION: REFER TO SHEET A9.15 AND THE BIRD FRIENDLY COMPLIANCE SURMMARY REPORT ISSUED UNDER SEPARATE COVER.



2 HOTEL - WEST ELEVATION (WILLOW ROAD)
1/16" = 1'-0"



1 HOTEL - EAST ELEVATION (WEST ST)
1/16" = 1'-0"

PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 - Hotel
Menlo Park, CA

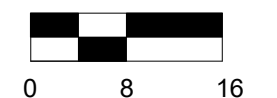
SCALE: 1/16" = 1'-0"
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE PROVIDED DIMENSIONS ONLY. FOR SIZE CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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NO.	DATE	ISSUE

DRAWING TITLE:
Willow Village Hotel
Building Elevation - East and West

DRAWING NO:
A4.01



Material Legend	
Key Value	Keynote Text
1	GFRC or Panelized Cement Board
2	Extruded Aluminum
3	Engineered Wood Trellis
4	Planter
5	Sunshade
6	Off-White Color Metal Panel
7	Cement Board or Metal Panel
8	Painted Metal Rail
9	WD Slat Screen Wall
10	Composite Metal Panel



2 HOTEL - NORTH ELEVATION (HOTEL SERVICE ROAD)
1/16" = 1'-0"



1 HOTEL - SOUTH ELEVATION (MAIN ST)
1/16" = 1'-0"



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 - Hotel
Menlo Park, CA

SCALE: 1/16" = 1'-0"
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY, OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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DATE	ISSUE
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DRAWING TITLE:
Willow Village Hotel
Building Elevation - North and South

DRAWING NO:
A4.02

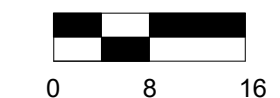
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Key Value	Keynote Text
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2	Extruded Aluminum
3	Engineered Wood Trellis
4	Planter
5	Sunshade
6	Off-White Color Metal Panel
7	Cement Board or Metal Panel
8	Painted Metal Rail
9	WD Slat Screen Wall
10	Composite Metal Panel



1 HOTEL - SECTION - LOOKING WEST
1/16" = 1'-0"



2 HOTEL - SECTION - LOOKING NORTH
1/16" = 1'-0"



WILLOW VILLAGE
 Architectural Control Package - Parcel 1 - Hotel
 Menlo Park, CA
 PENINSULA INNOVATION PARTNERS

SCALE: 1/16" = 1'-0"
NOTE: THIS DRAWING IS 2D AS SHOWN. DO NOT SCALE. DIMENSIONS ARE FOR INFORMATION ONLY. FOR DIMENSIONS, SEE THE DIMENSION LINES AND DIMENSION VALUES. DIMENSIONS ARE NOT TO SCALE.

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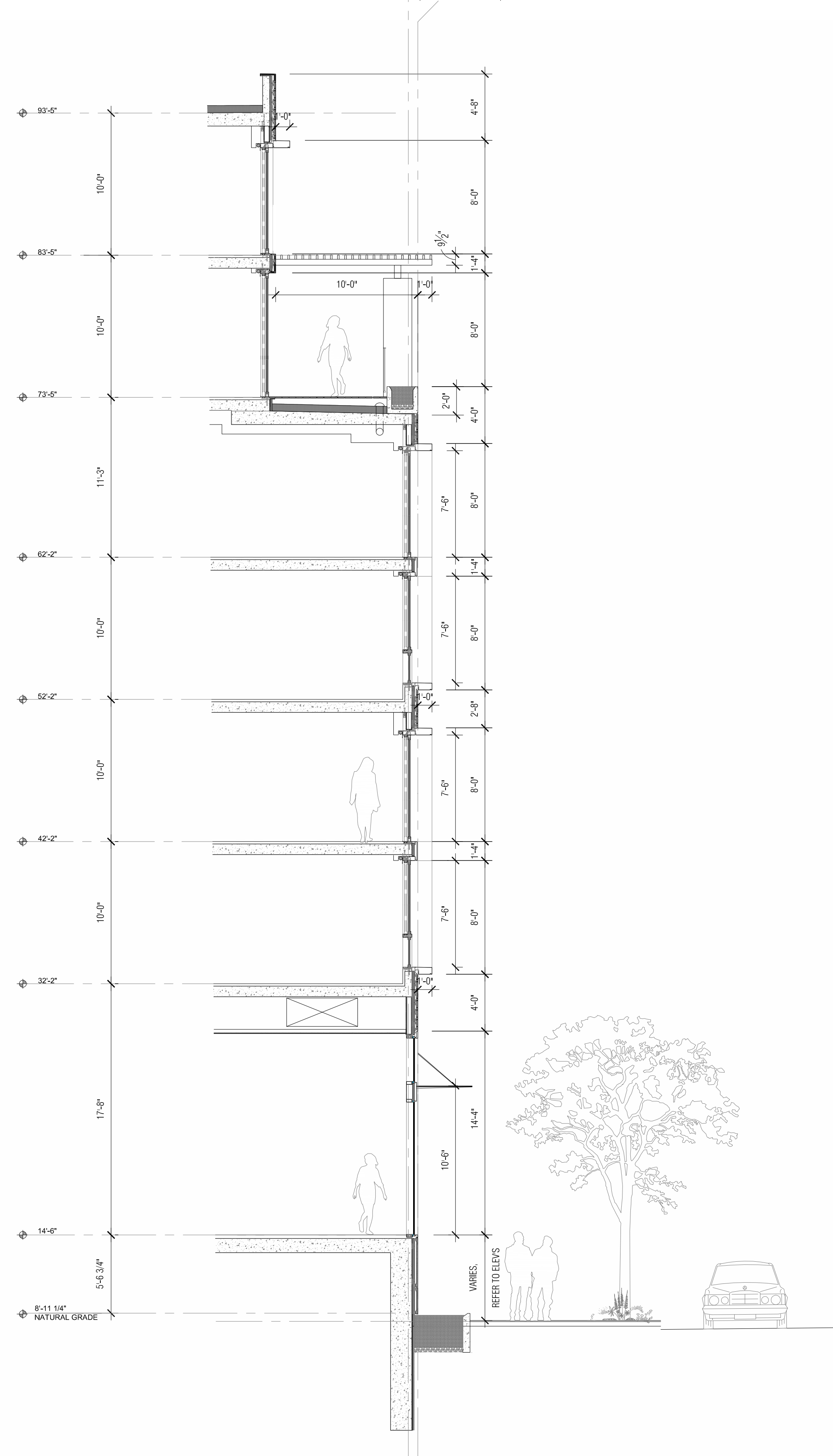
DRAWING TITLE:
 Willow Village Hotel
 Building Sections

DRAWING NO:
A5.01

Material Legend	
Key Value	Keynote Text
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2	Extruded Aluminum
3	Engineered Wood Trellis
4	Planter

Material Legend	
Key Value	Keynote Text
5	Sunshade
6	Off-White Color Metal Panel
7	Cement Board or Metal Panel
8	Painted Metal Rail

Material Legend	
Key Value	Keynote Text
9	WD Slat Screen Wall
10	Composite Metal Panel



3 WALL SECTION
3/16" = 1'-0"



2 HOTEL - SOUTH PARTIAL ELEVATION (WEST SIMILAR)
3/16" = 1'-0"



1 TERRACE - AXON - Entitlement

3/21/2022 4:50:33 PM

PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 - Hotel
Menlo Park, CA

SCALE: 3/16" = 1'-0"
NOTE: THIS DRAWING IS 50% AS SHOWN. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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DATE	ISSUE
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DRAWING TITLE:
Willow Village Hotel
Wall Section

DRAWING NO:
A5.10



VIEW FROM TOWN SQUARE

3/13/2023 5:17:59 PM

PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 - Hotel
 Menlo Park, CA

SCALE:
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DATE	ISSUE
07/17/2023	ACP

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DRAWING TITLE:
 Willow Village Hotel
 Perspective

DRAWING NO:
A6.01



VIEW FROM VILLOW AVE.

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PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 - Hotel
 Menlo Park, CA

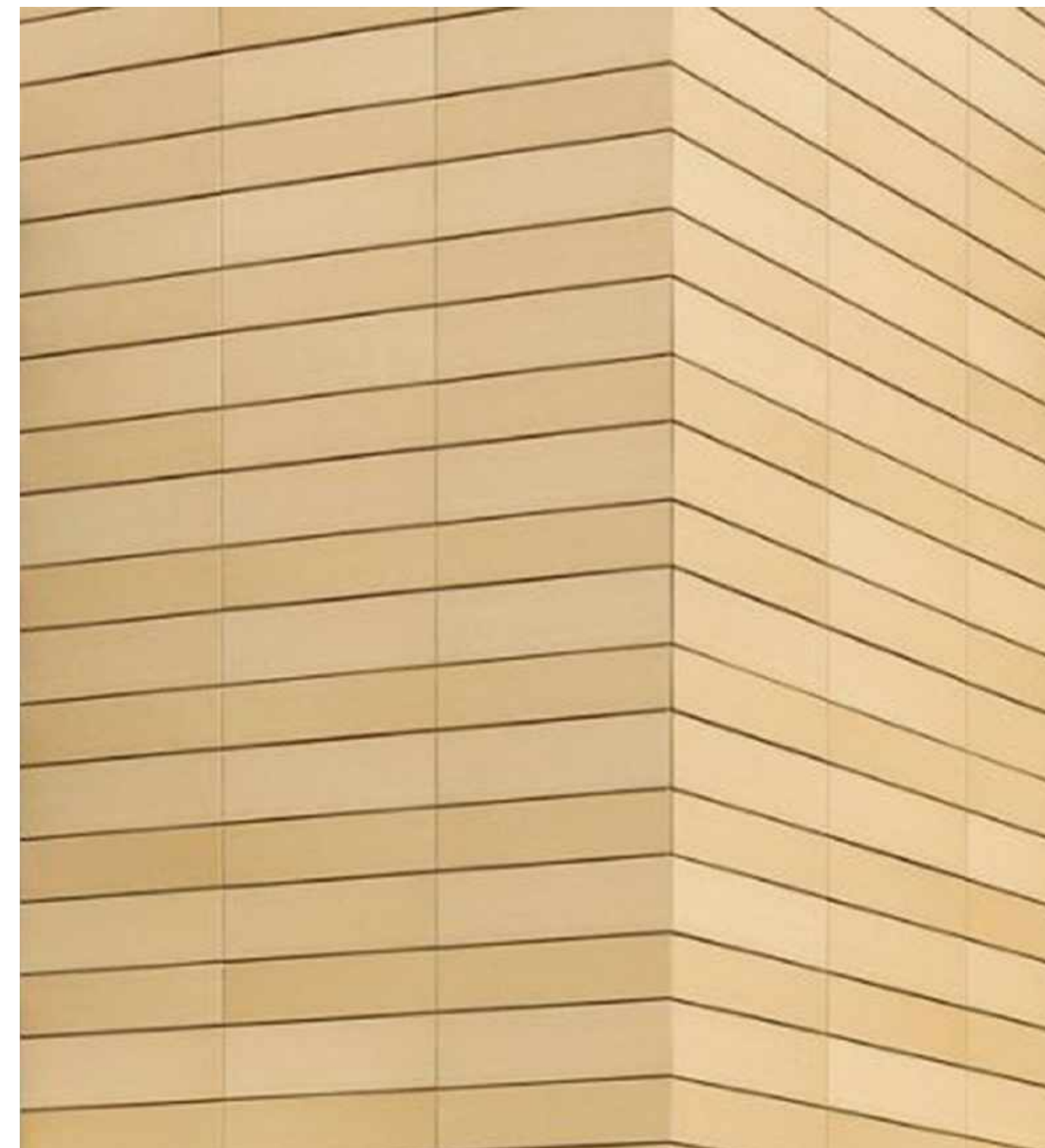
SCALE:
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DRAWING TITLE:
 Willow Village Hotel
 Perspective

DRAWING NO:
A6.02



Horizontally oriented, Buff colored, GFRP or Panelized Cement Board



Bronze Finish Aluminum Mullions



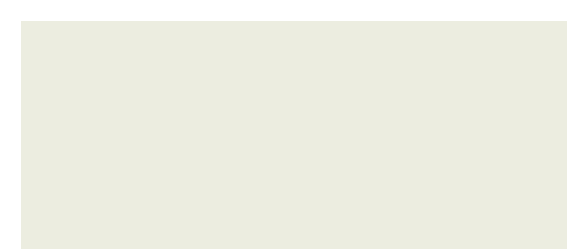
Metallic Grey Aluminum Spandrel Panels



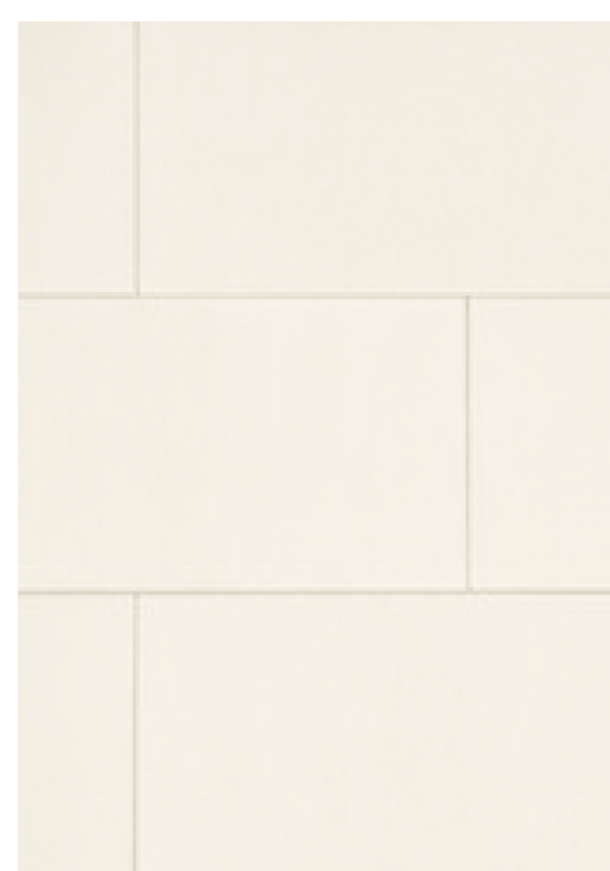
Bronze Finish Aluminum Mullions



Vision glass



Off White Aluminum Spandrel Panel



GFRP or Cement Board off-white Accent Panels



Extruded Aluminum off-white window surrounds



Engineered Wood trellis
Species TBD, Earth Tone Color Stain Finish



Wood Slat Screen Wall
Orientation, Species, and Finish TBD

SCALE:
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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Project Willow
Base Zone: O

O Development Regulations

Note: Per the Willow Village Master Plan, projects within the plan area will follow the standards prescribed for bonus level development.

Requirement	Reference	Standard	Proposal / Notes	Compliance
Minimum setback at street	16.43.050 16.45.130(1)	Minimum linear feet building can be sited from property line adjacent to street: Base Level: 5'; Bonus Level 5' Measured from property line, or if there is a public access easement, from the back of the easement.	See Plans and Diagrams Modification #4	Complies with Modification
Maximum setback at street	16.43.050 16.43.130(1)	Maximum linear feet building can be sited from property line adjacent to street: 25'	See Plans and Diagrams	Complies
Minimum interior side and rear setbacks	16.43.050	Minimum linear feet building can be sited from interior and rear property lines: 10' See Section 16.43.130(5) when property is required to have a paseo. Interior side setback may be reduced to zero feet for the entire building mass where there is retail frontage.	See Plans and Diagrams Refer to Use Permit 1	Complies Complies with Use Permit
Height	16.43.050	Average Height: 67.5 feet Properties within the flood zone or subject to flooding and sea level rise are allowed a 10-foot increase in height and maximum height. Maximum height: 110 feet "Height" is defined as average height of all buildings on one site where a maximum height cannot be exceeded. Maximum height does not include roof-mounted equipment and utilities. A parapet used to screen mechanical equipment is not included in the height or maximum height. The maximum allowed height for rooftop mechanical equipment is 14 feet, except for elevator towers and associated equipment, which may be 20 feet.	See Plans, Diagrams, and Calculations Average height with 10-foot increase = 77.5 feet from natural grade. Maximum height = 110 feet from natural grade.	Complies
Minimum open space requirement	16.43.050 16.43.130(4)	Minimum portion of the building site open and unobstructed by fully enclosed buildings. See Section 16.43.130(4) for open space requirements.	See Plans, Diagrams, and Calculations	Complies with Masterplan Agreement

O Master planned projects

Reference	Standard	Proposal / Notes	Compliance
16.43.055	The purpose of a master planned project is to provide flexibility for creative design, more orderly development, and optimal use of open space, while maintaining and achieving the general plan vision for the Bayfront Area. Master planned projects for sites with the same zoning designation (O, LS or R-MU) in close proximity or for contiguous sites that have a mix of zoning designations (O or R-MU) that exceed fifteen (15) acres in size and that are held in common ownership (or held by wholly owned affiliated entities) and are proposed for development as a single project or single phased development project are permitted as a conditional use, provided that sites with mixed zoning are required to obtain a conditional development permit and enter into a development agreement. For master planned projects meeting these criteria, residential density, FAR and open space requirements and residential density, FAR and open space requirements at the bonus level, if applicable, may be calculated in the aggregate across the site provided the overall development proposed does not exceed what would be permitted if the site were developed in accordance with the zoning designation applicable to each portion of the site and the proposed project complies with all other design standards identified for the applicable zoning districts. (Ord. 1024 § 3 (part), 2016).	See Plans, Diagrams, Calculations, and Masterplan Documents. Open space calculated in the aggregate across the site.	Complies with Masterplan Agreement

O Parking Standards

Requirement	Reference	Standard	Proposal / Notes	Compliance
Hotel Parking	16.43.090	Minimum 0.75 spaces per guest room ; Maximum 1.1 spaces per guest room	See Plans, Diagrams, Calculations and Masterplan Documents	Complies with Masterplan agreement
Hotel Development Bike Parking	16.43.090 16.43.130(7) and best practice standards in Association of Pedestrian and Bicycle Professionals Bicycle Parking Guidelines	Minimum 1 per 5,000 sq. ft. of gross floor area. For office and research development: 80% for long-term and 20% for short-term	See Plans, Diagrams, and Calculations	Complies
Commercial Uses Bike Parking		1 per 5,000sq of gross floor area. 20% for long term and 80% for short term.	See Plans, Diagrams, and Calculations	Complies

O Design Standards

All new construction in O districts is subject to architectural control. Design standards may be modified subject to approval of a use permit or a conditional development permit. Per the Willow Village Master Plan, projects within the plan area will follow the standards prescribed for bonus level development.

Reference	Standard	Proposal / Notes	Compliance
Relationship to the Street			
16.43.130(1)	Build-To Area Requirement	Minimum percentage of street frontage between the minimum and maximum setback lines. If fronting a Local Street: 40%. If fronting a Boulevard, Thoroughfare, Mixed Use Collector, or Neighborhood Street: 60% minimum.	Complies
	Frontage Landscaping	The percentage of the setback area (between the property line and the face of the building) devoted to ground cover and vegetation. Trees may or may not be within the landscaped area. Setback areas adjacent to active ground floor uses is excepted. If fronting a Local Street: Minimum of 25% (50% of which should provide on-site infiltration of stormwater runoff) If fronting a Boulevard, Thoroughfare, Mixed Use Collector, or Neighborhood Street then Minimum of 25% (50% of which should provide on-site infiltration of stormwater runoff).	See Plans, Diagrams, and Calculations Modification #6
	Frontage Uses	Allowable frontage uses in order to support a positive integration of new buildings into the streetscape character If fronting a Local Street: No restrictions If fronting a Boulevard, Thoroughfare, Mixed Use Collector, or Neighborhood Street then setback areas parallel to street not used for frontage landscaping must provide pedestrian circulation, other publicly accessible open spaces, access to parking, bicycle parking, or other uses that the planning commission deems appropriate	Complies
	Surface Parking Along Street Frontage	Permitted if set back appropriately. The maximum percentage of linear frontage of property adjacent to the street allowed to be off-street surface parking: If fronting a Local Street: Maximum of 35% If fronting a Boulevard, Thoroughfare, Mixed Use Collector, or Neighborhood Street then Maximum of 25%.	N/A
	Minimum Surface Parking Setback	Minimum dimension property line to surface parking: 20'.	N/A

Building Mass and Scale

Reference	Standard	Proposal / Notes	Compliance
16.43.130(2)	Base Height	The maximum height of a building at the minimum setback at street or before the building steps back the minimum horizontal distance required. Properties within the flood zone or subject to flooding and sea level rise are allowed a 10' increase. Base height: 60'	See Plans, Diagrams, Modification #1, #2 Base height: 60' + 10' increase = 70'
	Minimum Step back	The horizontal distance a building's upper story(s) must be set back above the base height. 10' for a minimum of 75% of the building face along public street(s), additional 10-ft above 75' A maximum of 25% of the building face along public streets may be excepted. Exception: Hotels shall step back a minimum of 15' above 60'	See Plans, Diagrams, Modification #2 Additional Stepback: 75' + 10' increase = 85' Allow 10' Stepback in lieu of 15'
	Building Projections	The maximum depth of allowable building projections, such as balconies or bay windows, from the required step back for portions of the building above the ground floor.	See Plans, Modification #5, #6
	Building Modulations	A break in the building plane from the ground level to the top of the building's base height. Required on façades facing publicly accessible spaces. Parking is not allowed in the recess. One every 200 feet, with a minimum of one per façade	See Plans, Diagrams, Modification #1. Allow 5% increase, 10' to building modulation maximum

Ground Floor Exterior

Reference	Standard	Proposal / Notes	Compliance
16.43.130(3)	Building Entrances	Minimum ratio of entrances to building length along a public street or paseo. One entrance per public street frontage. Entrances at building corner satisfy requirement for both frontages. Stairs must be conveniently located.	See Plans, Modification #3: Allow public entrances along pedestrian-friendly Willow Village Town Square
	Ground Floor Transparency	The minimum percentage of the ground floor façade (finished floor to ceiling) that must provide visible transparency. Windows shall not be opaque or mirrored. 50%	See Plans, Diagrams, and Calculations Modification #7 50% visibly transparent façade along Main Street
	Minimum Ground Floor Height Along Street Frontage	The minimum height between the ground-level finished floor to the second-level finished floor along the street. 15' minimum	See Plans
	Garage Entrances	Width of garage door entry/door along street frontage. Maximum 12-foot opening for one-way entrance; maximum 24-foot opening for two-way entrance Garage entrances must be separated by a minimum of 100 feet to ensure all entrances/exits are not grouped together or result in an entire stretch of sidewalk unsafe and undesirable for pedestrians.	See Plans
	Awnings, Signs, and Canopies	The maximum depth of awnings, signs, and canopies that project horizontally from the face of the building. Maximum depth: 7' Horizontal projections shall not extend into the public right-of-way. A minimum vertical clearance of 8' from finished grade to the bottom of the projection is required.	See Plans Modification #5, #6 Refer to Use Permit 2

Open Space

Reference	Standard	Proposal / Notes	Compliance
16.43.130(4)	A	Publicly accessible open space consists of areas unobstructed by fully enclosed structures with a mixture of landscaping and hardscape that provides seating and places to rest, places for gathering, passive and/or active recreation, pedestrian circulation, or other similar use. Must contain: (i) Contain site furnishings, art, or landscaping (ii) Be on the ground floor or podium level (iii) Be at least partially visible from a public right-of-way such as a street or paseo (iv) Have a direct, accessible pedestrian connection to a public right-of-way or easement.	See Plans, Diagrams, Calculations, and Masterplan Documents Complies with Masterplan agreement
	B	Quasi-public and private open spaces, which may or may not be accessible to the public, include patios, balconies, roof terraces, and courtyards.	See Plans and Diagrams Complies
	C	All open spaces shall: (i) Interface with adjacent buildings via direct connections through doors, windows, and entryways (ii) Be integrated as part of building modulation and articulation to enhance building facade and should be sited and designed to be appropriate for the size of the development and accommodate different activities, groups and both active and passive uses; (iii) Incorporate landscaping design that includes: a. Sustainable stormwater features; b. A min. landscaping bed no less than 3' L or W and 5' D for infiltration planting; c. Native species able to grow to their maximum size without shearing.	See Plans Complies
	D	All exterior landscaping counts towards open space requirements.	See Plans N/A
Building Design			
16.43.130(6)	A	Main building entrances shall face the street or a publicly accessible courtyard. Building and/or frontage landscaping shall bring the human scale to the edges of the street. Retail building frontage shall be parallel to the street.	See Plans Complies
	B	Utilities, including meters, backflow prevention devices, etc., shall be concealed or integrated into the building design to the extent feasible, as determined by the public works director.	See Plans Complies
	C	Projects shall include dedicated, screened, and easily accessible space for recycling, compost, and solid waste storage and collection.	See Plans Complies
	D	Trash and storage shall be enclosed and attractively screened from public view.	See Plans Complies
	E	Materials and colors of utility, trash, and storage enclosures shall match or be compatible with the primary building.	See Plans Complies
	F	Building materials shall be durable and high quality to ensure adaptability and reuse over time. Glass paneling and windows shall be used to invite outdoor views and introduce natural light into interior spaces. Stucco shall not be used on more than fifty percent (50%) of the building facade. When stucco is used, it must be smooth troweled.	See Plans Complies
	G	Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four (4) foot minimum height modulation to break visual monotony and create a visually interesting skyline as seen from public streets (see Figure 6). The variation of the roofline's horizontal distance should match the required modulations and step backs.	See Plans and Diagrams Complies
	H	Rooftop elements, including stair and elevator towers, shall be concealed in a manner that incorporates building color and architectural and structural design.	See Plans Complies
	I	Roof-mounted equipment shall meet the requirements of section 16.08.095 Section 16.08.095: Mechanical equipment, such as air conditioning equipment, ventilation fans, vents, ducting, or similar equipment, may be placed on the roof of a building, provided that such equipment shall be screened from view as observed at an eye level horizontal to the top of the roof-mounted equipment, except for the SP-ECR/D district which has unique screening requirements, and all sounds emitted by such equipment shall not exceed fifty (50) decibels at a distance of fifty (50) feet from such equipment.	See Plans Complies
	J		

Access and Parking

Reference	Standard	Proposal / Notes	Compliance
16.43.130(7)	A	Shared entrances to retail and office uses shall be used where possible.	Complies
	B	Service access and loading docks shall be located on local or interior access streets and to the rear of buildings, and shall not be located along a publicly accessible open space.	See Plans Complies
	C	Aboveground garages shall be screened or located behind buildings that are along public streets.	N/A Complies
	D	Garage and surface parking access shall be screened or set behind buildings located along a publicly accessible open space or paseo.	N/A Complies
	E	Surface parking lots shall be buffered from adjacent buildings by a minimum six (6) feet of paved pathway or landscaped area.	N/A N/A
	F	Surface parking lots shall be screened with landscaping features such as trees, planters, and vegetation, including a twenty (20) foot deep landscaped area along sidewalks, as measured from the property line or public access easement adjacent to the street or paseo. The portion of this area not devoted to driveways shall be landscaped. Trees shall be planted at a ratio of one (1) per four hundred (400) square feet of required setback area for surface parking.	N/A N/A
	G	Surface parking lots shall be planted with at least one tree for every eight parking spaces. See planting diagram.	N/A N/A
	H	Surface parking can be located along a paseo for a maximum of 40% of a paseo's length.	N/A N/A
	I	Short-term bicycle parking shall be located within 50' of lobby or main entrance. Long-term bicycle parking facilities shall protect against theft and inclement weather, and consist of a fully enclosed, weather-resistant locker with key locking mechanism or an interior locked room or enclosure. Long-term parking shall be provided in locations that are convenient and functional for cyclists. Bicycle parking shall be: i. Consistent with the latest edition of the Association of Pedestrian and Bicycle Professionals Bicycle Parking Guide ii. Designed to accommodate standard 6' bicycles iii. Paved or landscaped iv. Accessed by an aisle in the front or rear of parked bicycles of at least 5'. v. At least 30' of clearance in all directions from any obstructions vi. Lit with no less than 1 foot candle of illumination at ground level vii. Space efficient bicycle parking such as double decker lift-assist and vertical bicycle racks are also permitted.	See Plans Complies
	J	Pedestrian access shall be provided with a minimum hardscape width of 8' from sidewalks to all building entries, parking areas, and publicly accessible open spaces, and shall be clearly marked with signage directing pedestrians to common destinations.	See Plans Complies
	K	Entries to parking areas and other important destinations shall be clearly identified for all travel modes with such wayfinding features as marked crossings, lighting, and clear signage.	See Masterplan Documents Complies

PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 - Hotel
Menlo Park, CA

SCALE:
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE REQUIRED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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07/17/2023	ACP

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DRAWING TITLE:
Willow Village Hotel
Zoning Code Compliance

DRAWING NO.:

A8.01

Project Willow
Base Zone: O

O Green and Sustainable Building

Requirement	Reference	Standard	Proposal / Notes	Compliance
Green Building	16.43.140(1)A	Green Building: Any new construction, addition or alteration of a building shall be required to comply with Table 16.43.140(1)(B). 100,001 sq. ft. and above must be designed to meet LEED Gold BD+C Required to enroll in EPA Energy Star Building Portfolio Manager and submit documentation of compliance as required by the city. The electric vehicle charging spaces requirements in Section 16.72.010 apply.	See LEED Scorecard	Complies
Energy	16.43.140(2)A	New construction projects will meet 100% of energy demand (electricity and natural gas) through any combination of the following measures: i. On-site energy generation ii. Purchase of 100% renewable electricity through Peninsula Clean Energy or Pacific Gas and Electric Company in an amount equal to the annual energy demand of the project. iii. Purchase and installation of local renewable energy generation within the city of Menlo Park in an amount equal to the annual energy demand of the project. iv. Purchase of certified renewable energy credits and/or certified renewable energy offsets annually in an amount equal to the annual energy demand of the project. If a local amendment to the California Energy Code is approved by the California Energy Commission (CEC), the following provision becomes mandatory: The project will meet one hundred percent (100%) of energy demand (electricity and natural gas) through a minimum of thirty percent (30%) of the maximum feasible on-site energy generation, as determined by an on-site renewable energy feasibility study and any combination of the measures in subsections (2)(A)(ii) to (iv) of this section. The on-site renewable energy feasibility study shall demonstrate the following cases at a minimum: a. Maximum on-site generation potential. b. Solar feasibility for roof and parking areas (excluding roof mounted HVAC equipment). c. Maximum solar generation potential solely on the roof area.	See Plans and Masterplan Documents	Complies
Water Use Efficiency and Recycled Water	16.43.140(3)A	Single pass cooling systems shall be prohibited in all new buildings.		Complies
	16.43.140(3)B	All new buildings shall be built and maintained without the use of well water.		Complies
	16.43.140(3)C	All buildings 250,000sf or more in gross floor area shall prepare and submit a proposed water budget and accompanying calculations following the methodology approved by the city. The water budget shall account for the potable water demand reduction resulting from the use of an alternative water source for all city approved nonpotable applications. The water budget and calculations shall be reviewed and approved by the city's public works director prior to certification of occupancy and the building owner shall submit compliance data at intervals following occupation.	N/A	N/A
	16.43.140(3)D	All buildings shall be dual plumbed for the internal use of recycled water.		Complies
	16.43.140(3)E	All new buildings 250,000sf or more in gross floor area shall use an alternate water source for all city approved nonpotable applications. An alternative source may include, but is not limited to, treated nonpotable water such as graywater. If the city has not designated a recycled water purveyor and/or municipal recycled water is not available prior to planning project approval, applicants may propose conservation measures to meet the requirements of this section subject to approval of the city council.	N/A	N/A
	16.43.140(3)F 16.43.140(3)G	Potable water shall not be used for dust control on construction projects. Potable water shall not be used for decorative features unless the water recirculates.		Complies Complies
Hazard Mitigation and Sea Level Rise Resiliency	16.43.140(4)A	Per the Willow Village Master plan, minimum first floor finished floor level shall be 1'3" above sea level, which is consistent with 16.45.130(4)A requirement of 2' above Base Flood Elevation (BFE). Garage entrances will be graded to be above the 1' BFE.	See Plans	Complies
	16.43.140(4)B	Prior to building permit issuance all new buildings shall pay any required fee or proportionate fair share for the funding of sea level rise projects, if applicable.		
Waste Management	16.43.140(5)A	Applicants shall submit a zero-waste management plan to the city to show how they will reduce, recycle, and compost waste from the demolition, construction, and occupancy phases of the building. For the purposes of this chapter "zero waste" is defined as 90% overall diversion of nonhazardous materials from landfill and incineration wherein discarded materials are reduced, reused, recycled, or composted. Zero-waste plan elements shall include the property owner's assessment of the types of waste to be generated during demolition, construction and occupancy, and a plan to collect, sort and transport materials to uses other than landfill and incineration.	See Plans and Msterplan Documents	Complies
Bird Friendly Design	16.43.140(6)A	No more than 10% of façade surface area shall have non-bird-friendly glazing.		
	16.43.140(6)B	Bird-friendly glazing includes but is not limited to opaque glass, covering the outside surface of the glass with patterns, pined glass with fenestration, frit, or etching patterns, and external screens over nonreflective glass. Highly reflected glass is not permitted.		
	16.43.140(6)C	Occupancy sensors or other switch control devices shall be installed on nonemergency lights and shall be programmed to shut off during nonwork hours and between ten (10) p.m. and sunrise.		
	16.43.140(6)D	Placement of buildings shall avoid the potential funneling of flight paths towards a building façade.		
	16.43.140(6)E	Glass skyways or walkways, freestanding (see-through) glass walls and handrails, and transparent building corners shall not be allowed.	Site specific bird safe report submitted under separate cover	
	16.43.140(6)F	Transparent glass shall not be allowed at the rooflines of buildings, including in conjunction with roof decks, patios, and green roofs.		
	16.43.140(6)G	Use of rodenticides shall not be allowed		
16.43.140(6)H	A project may receive a waiver from one (1) or more of the items listed in subsections (6)(A) to (F) of this section, subject to the submittal of a site specific evaluation from a qualified biologist and review and approval by the planning commission.			

General Zoning Requirements

Requirement	Reference	Standard	Proposal / Notes	Compliance
Solar Access	16.65.010	Neither architectural control nor a building permit shall be granted for the construction of a structure if such construction shall cause said structure to penetrate the solar envelope as established for the parcel on which the structure is located.		N/A
Electric Vehicle Charging Stations	12.18.030 CGBC 4.106.4.2	Adopts amended California Green Building Code Section 4.106.4. Per 4.106.4.2: 10% of total number parking spaces at multifamily dwellings shall be electric vehicle charging spaces capable of supporting future electric vehicle charging stations, rounded up.	See Plans, Diagrams, and Calculations	Complies

PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 - Hotel
Menlo Park, CA

SCALE:

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07/17/2023	ACP

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NO.	DATE	ISSUE

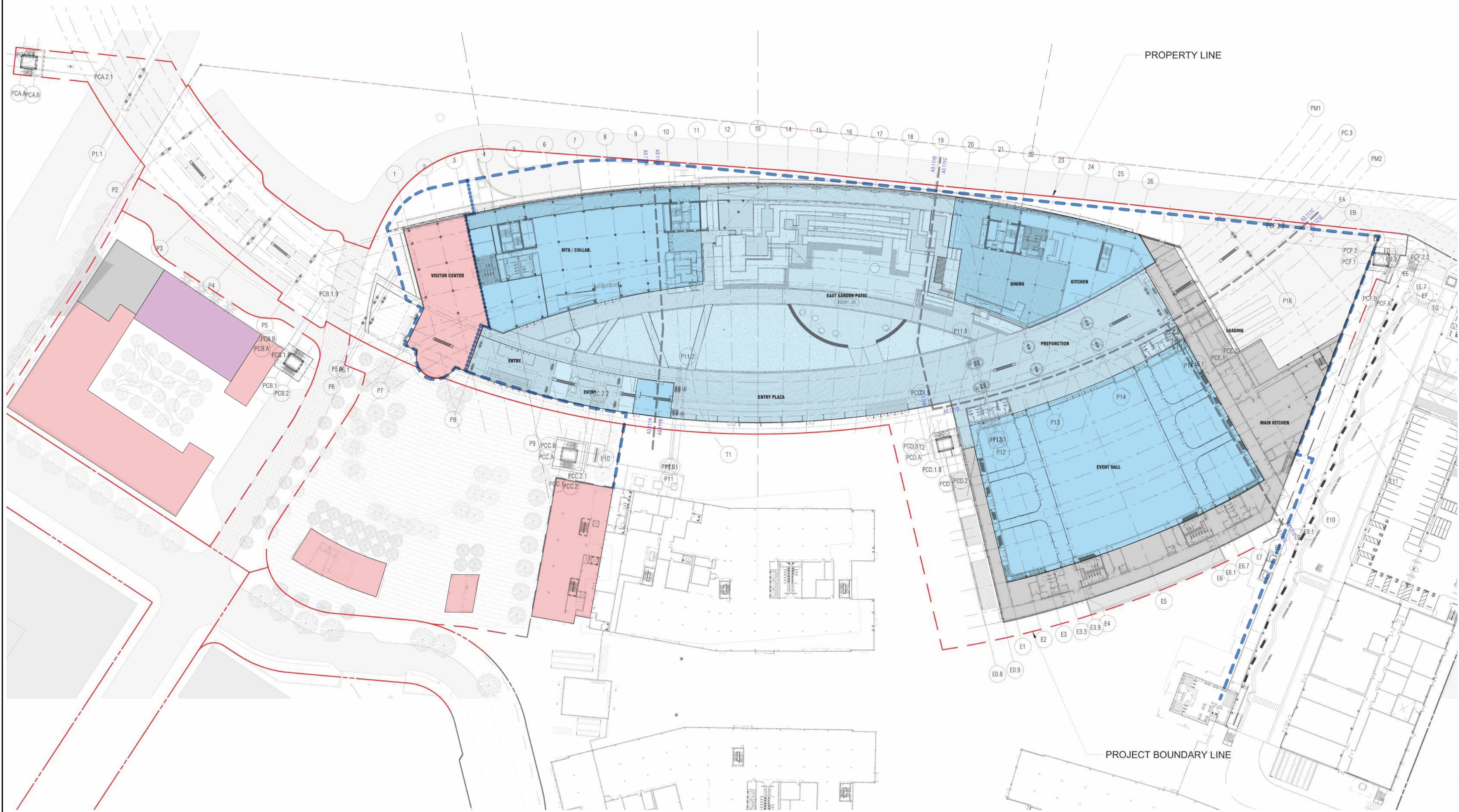
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Willow Village Hotel
Zoning Code Compliance (Cont.)

DRAWING NO:

A8.02

KEY

- PRIVATE
- PRIVATE - AMENITY
- PRIVATE - HOTEL
- PRIVATE - BOH
- PUBLICLY ACCESSIBLE
- SECURITY LINE
- SECURITY SEPARATION LINE



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 - Hotel
 Menlo Park, CA

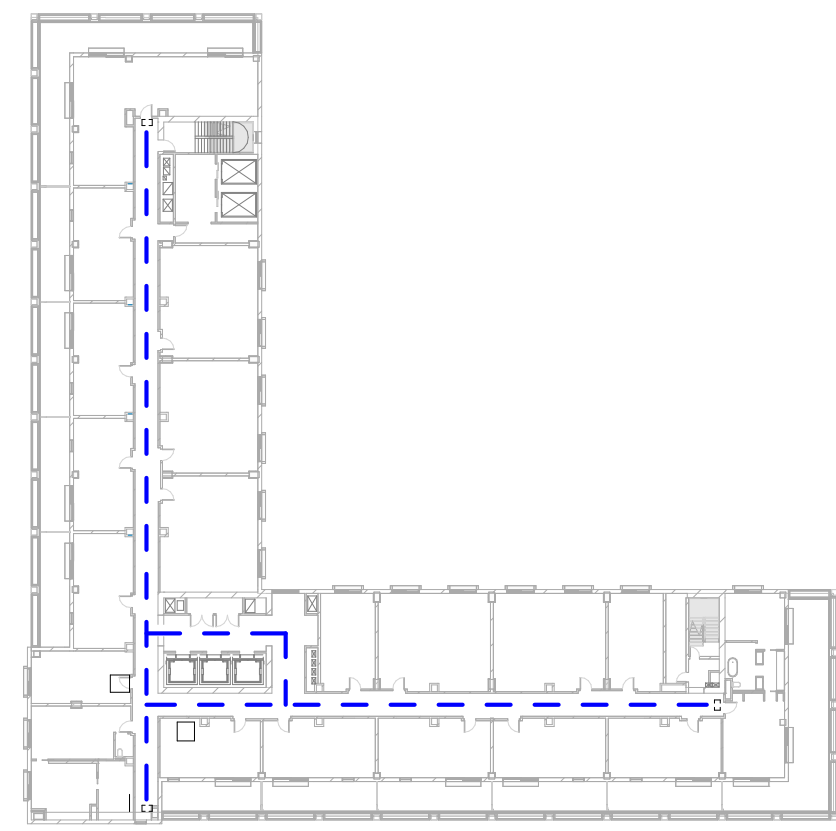
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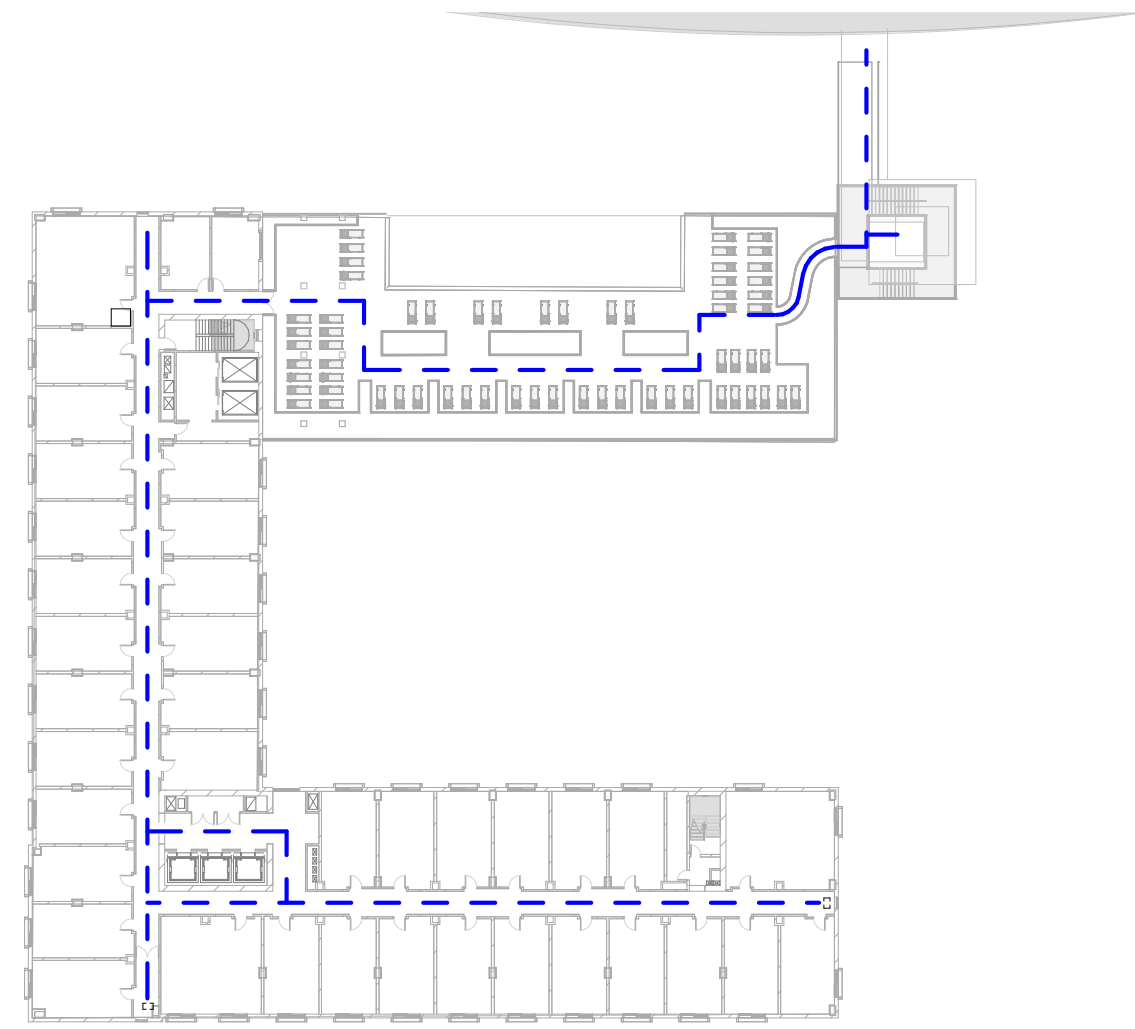
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 Willow Village Hotel
 Program Diagram

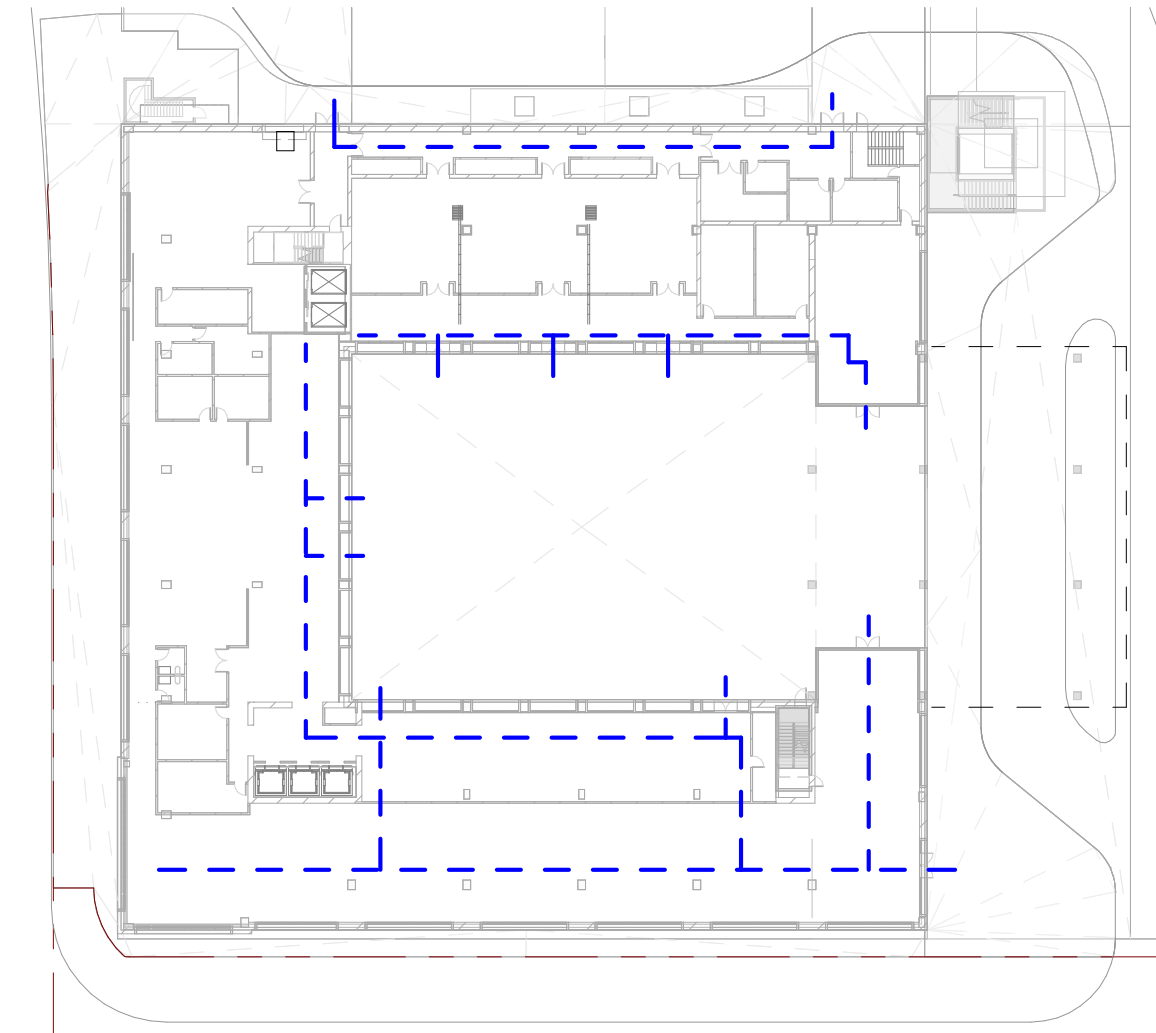
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5 HOTEL - LEVEL 6/7 ACCESS PLAN
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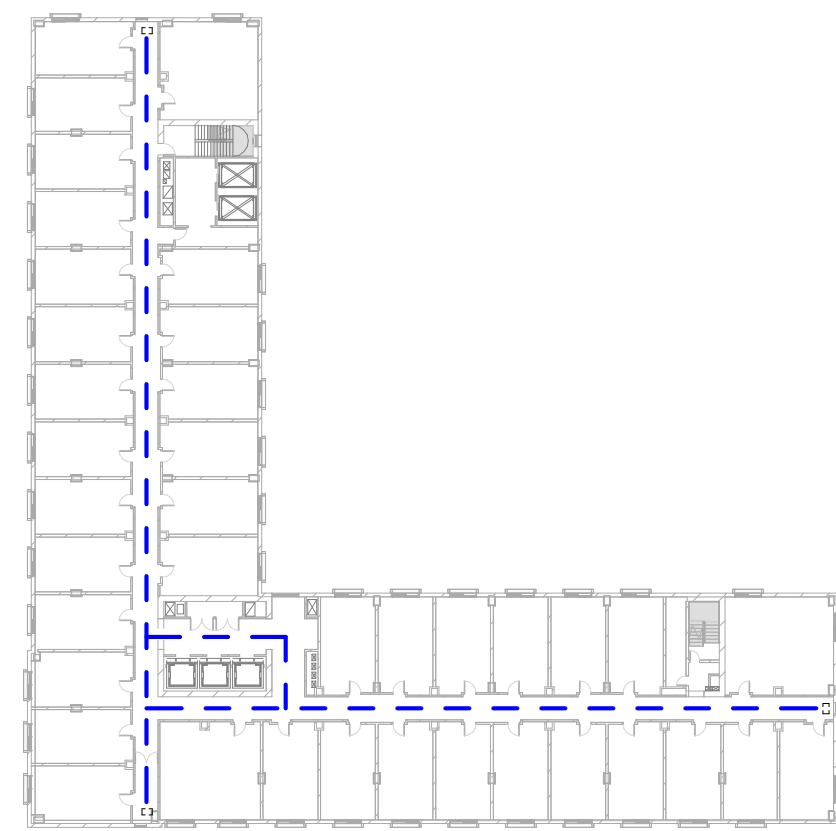


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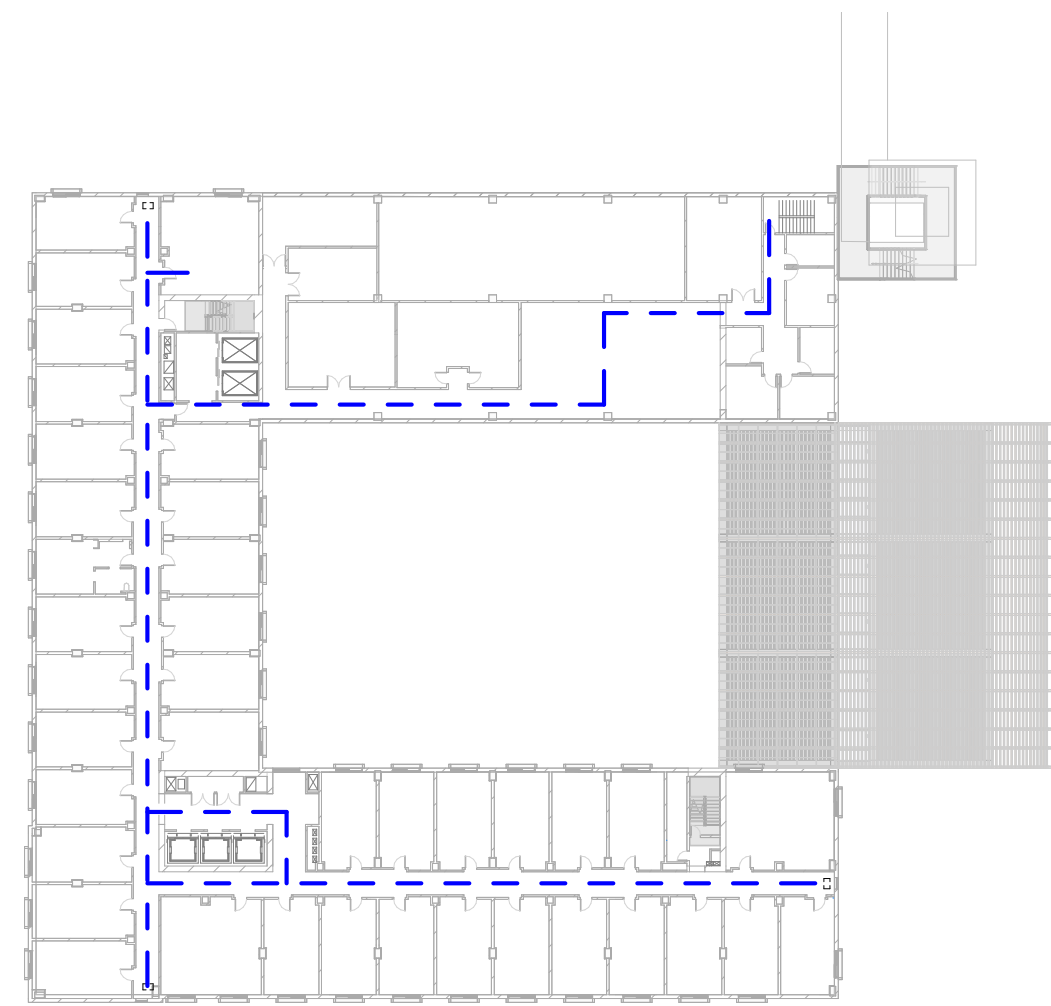


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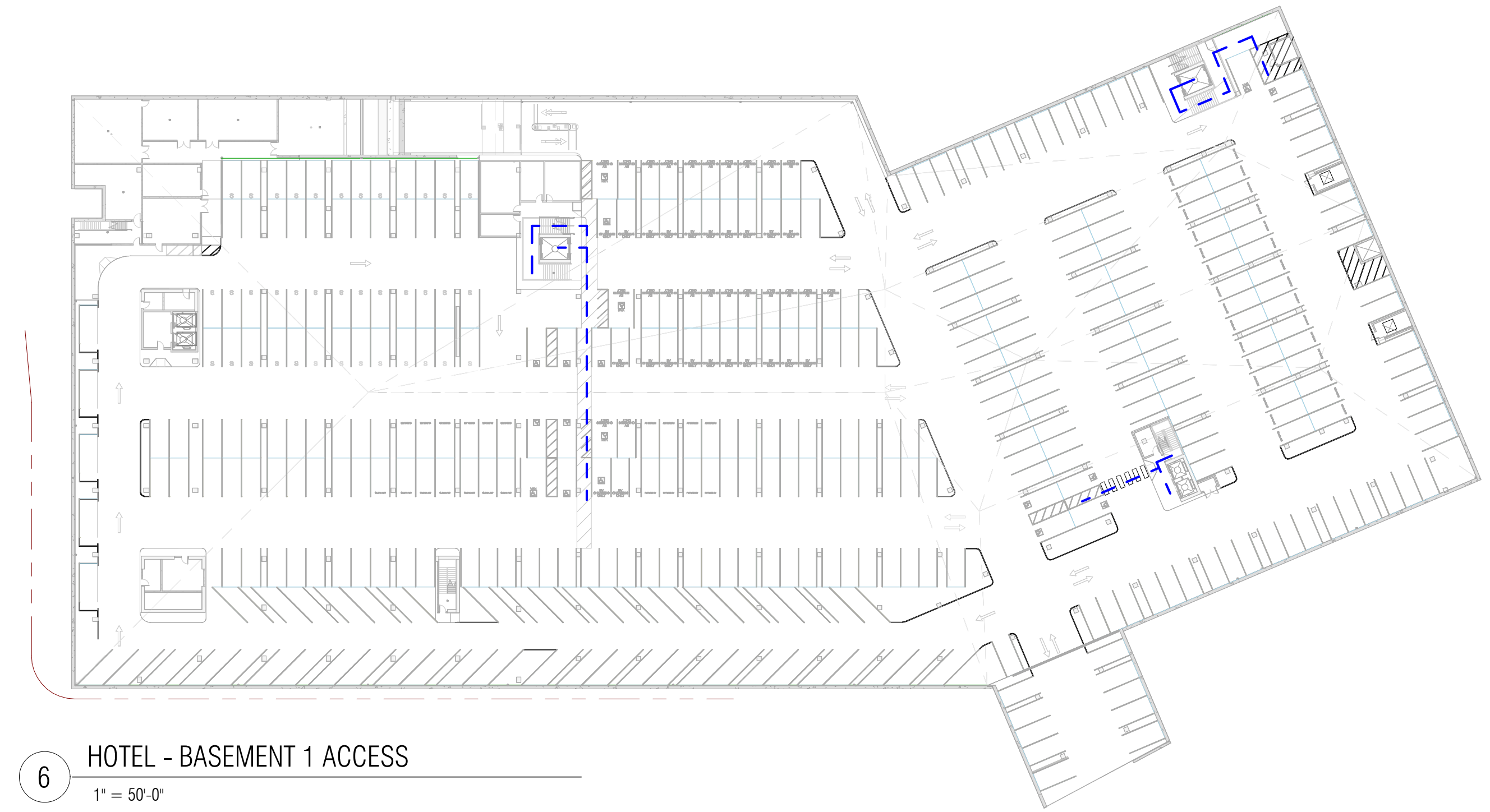
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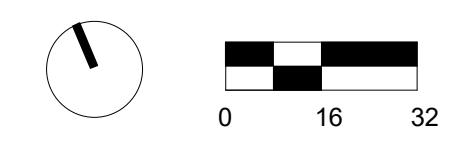
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1" = 50'-0"



2 HOTEL - LEVEL 2 ACCESS PLAN
1" = 50'-0"



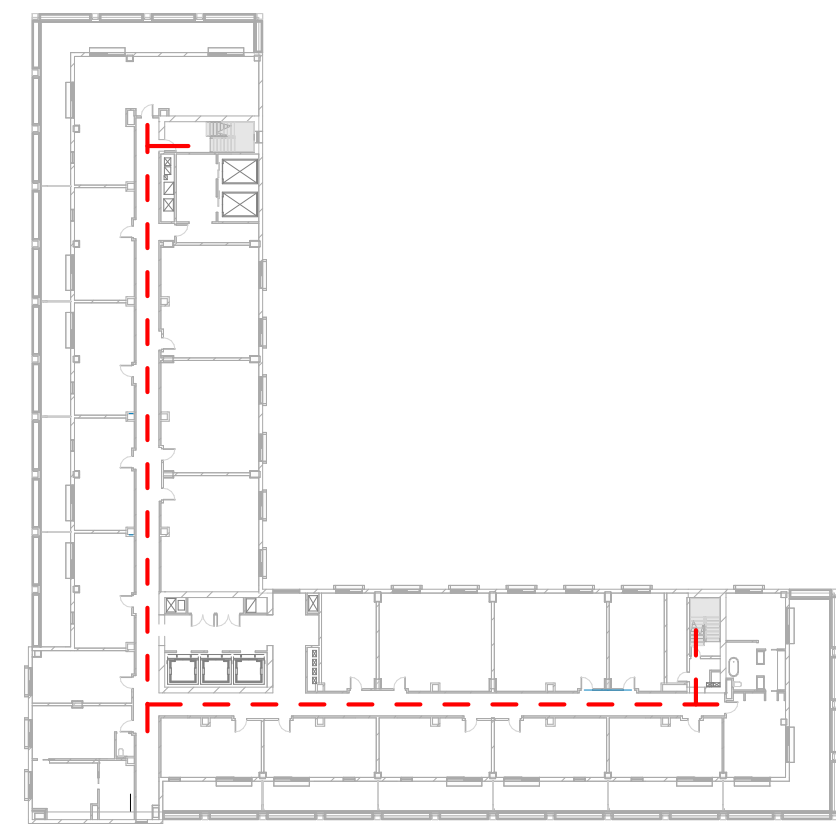
6 HOTEL - BASEMENT 1 ACCESS
1" = 50'-0"



SCALE: 1" = 50'-0"
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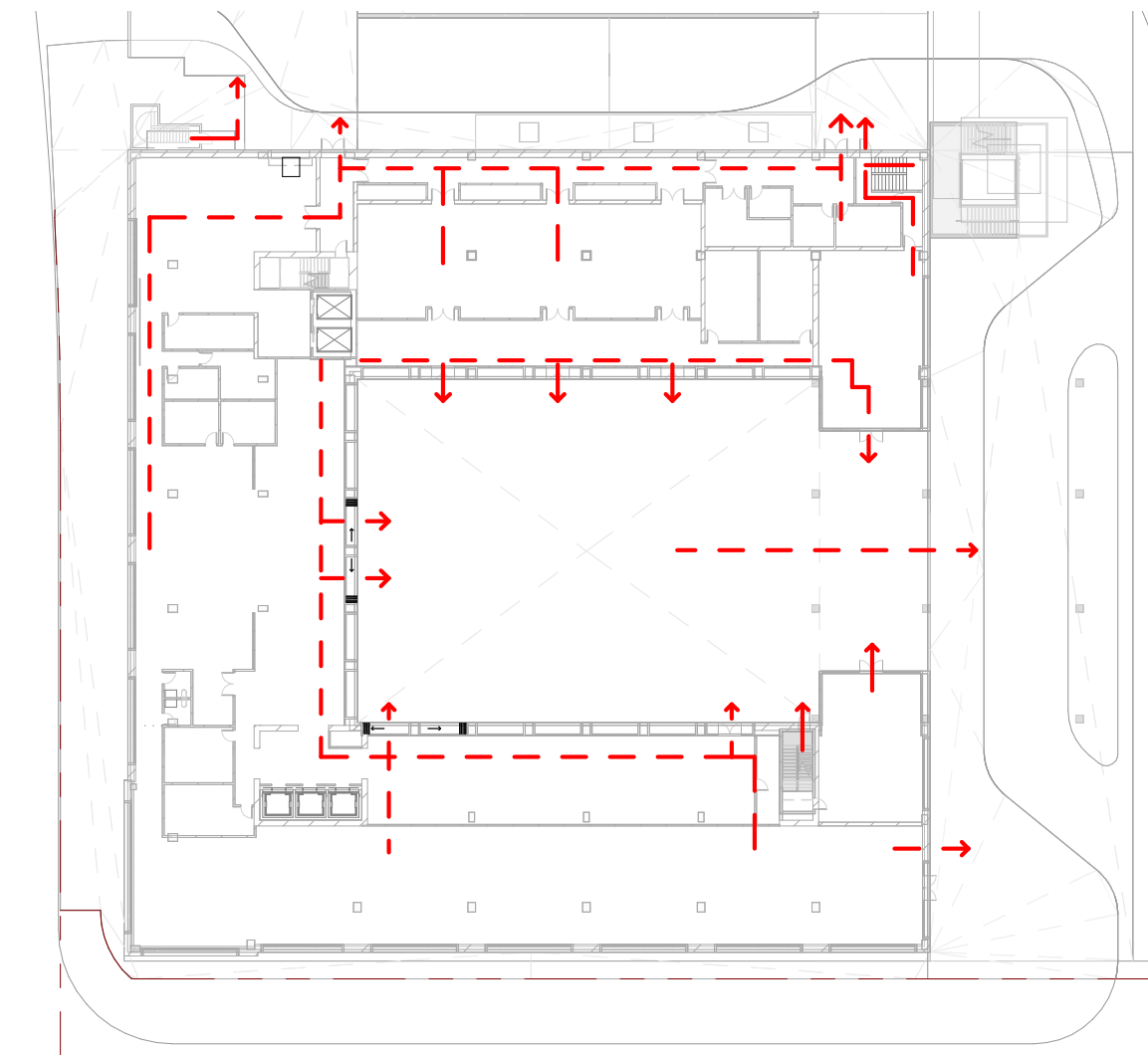
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5 HOTEL - LEVEL 6/7 EXIT PLAN
1" = 50'-0"



3 HOTEL - LEVEL 3 EXIT PLAN
1" = 50'-0"

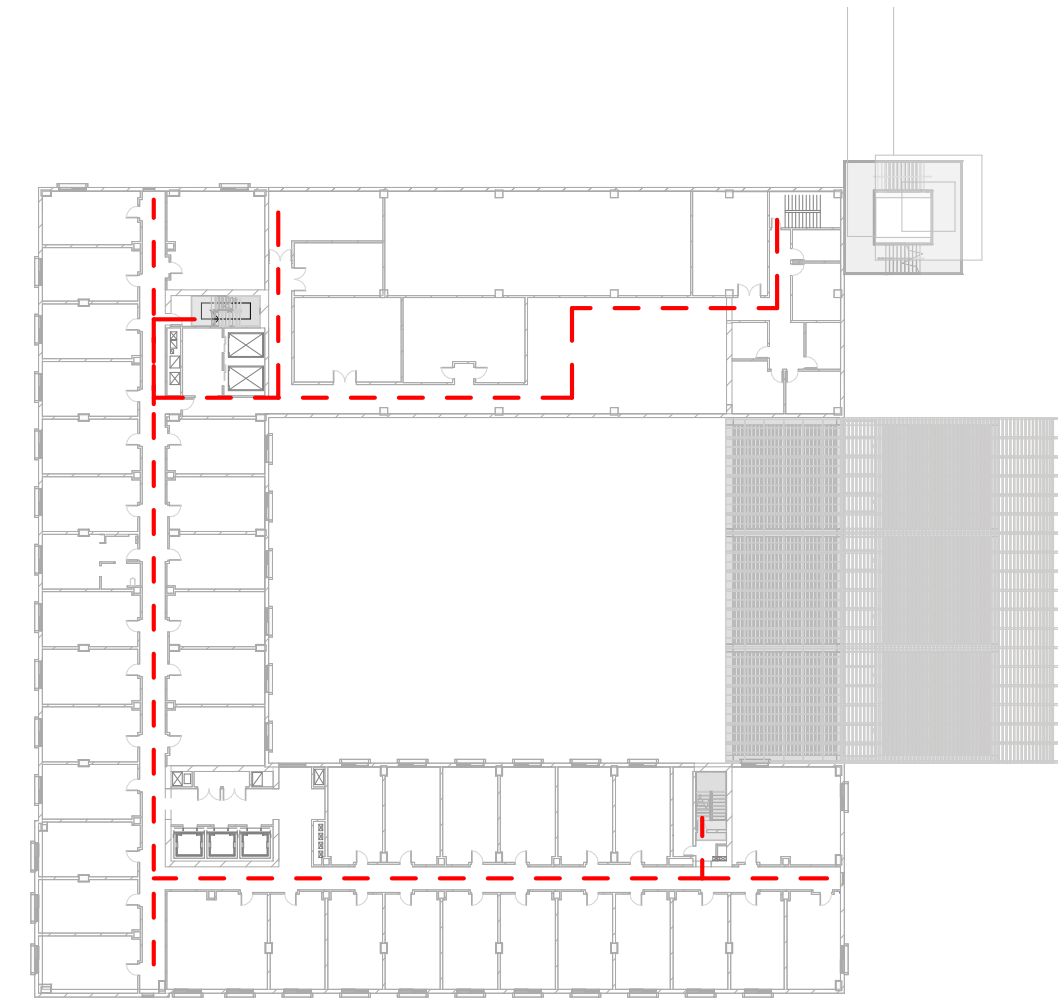


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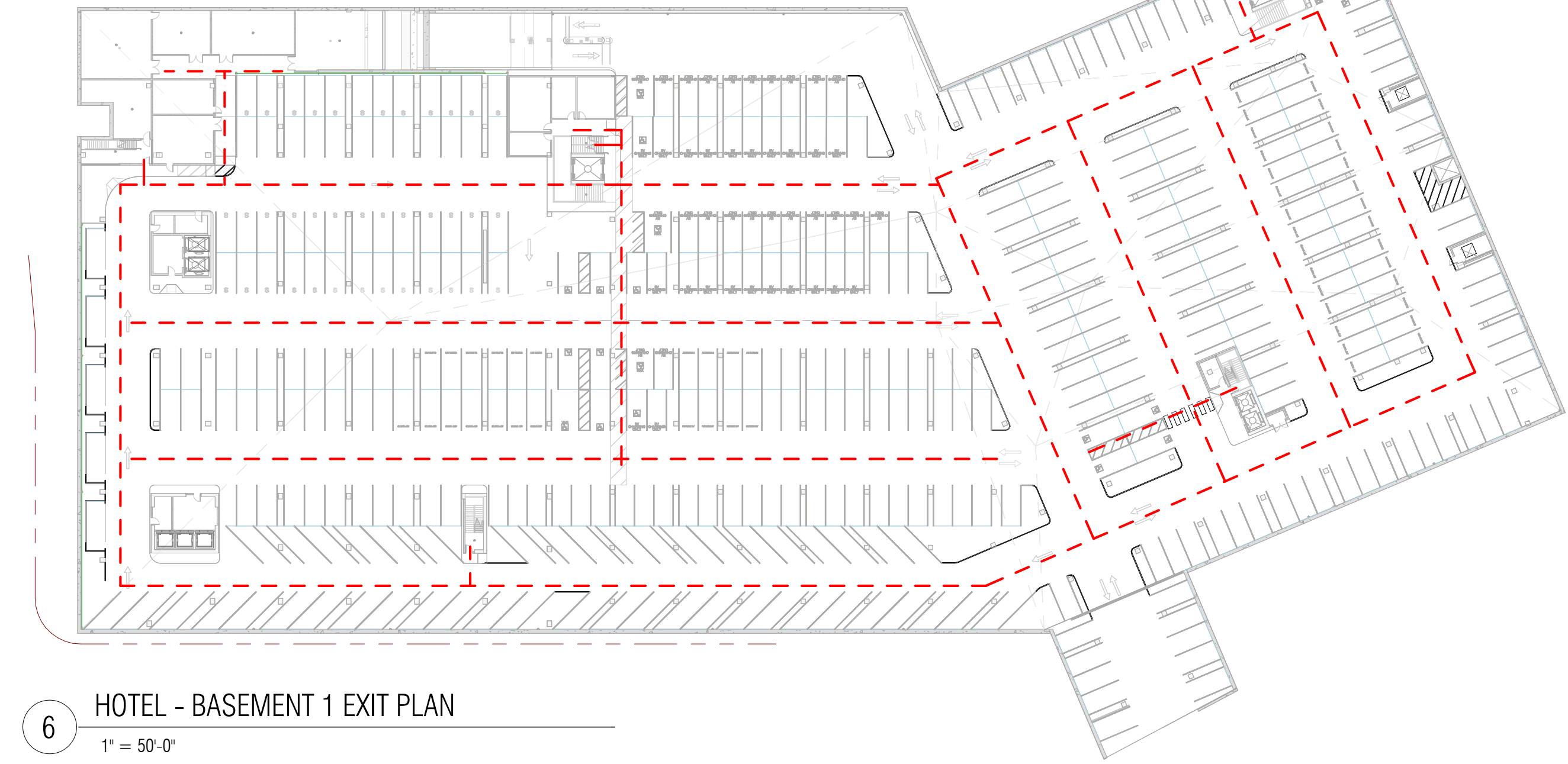
KEY
- - - - - EXIT ROUTE



4 HOTEL - LEVEL 4/5 EXIT PLAN
1" = 50'-0"



2 HOTEL - LEVEL 2 EXIT PLAN
1" = 50'-0"



6 HOTEL - BASEMENT 1 EXIT PLAN
1" = 50'-0"



SCALE: 1" = 50'-0"
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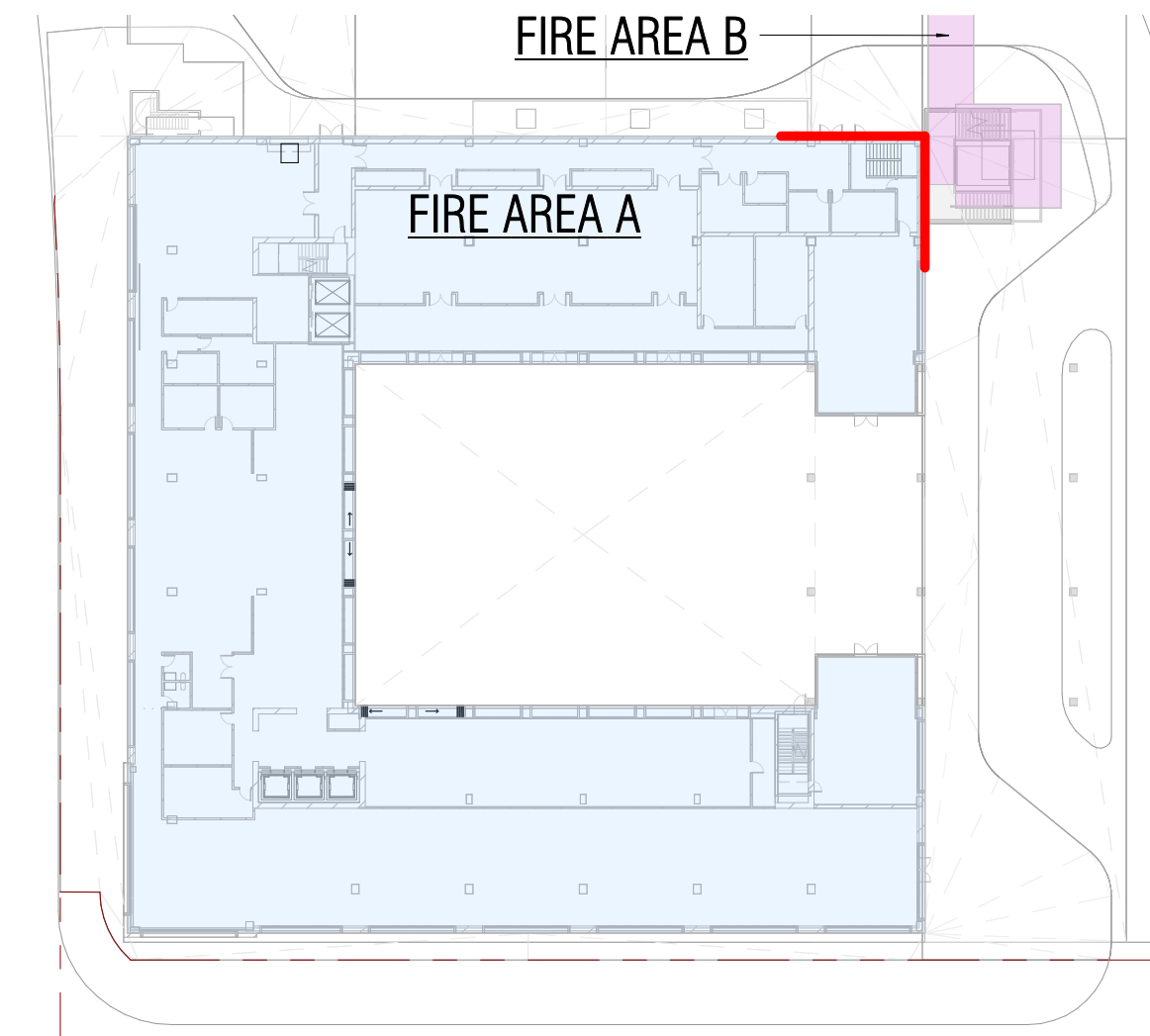
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5 HOTEL - LEVEL 6/7 AREA SEPARATION PLAN
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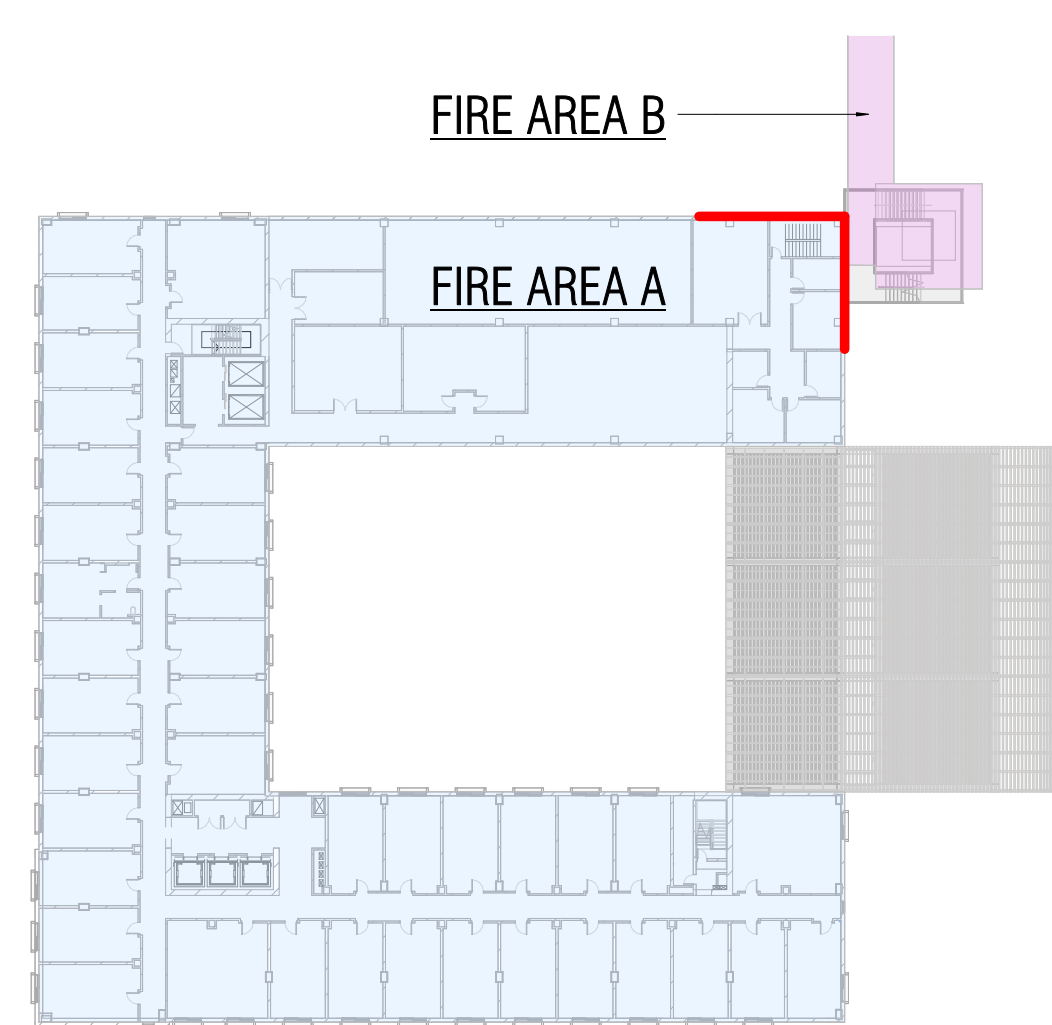
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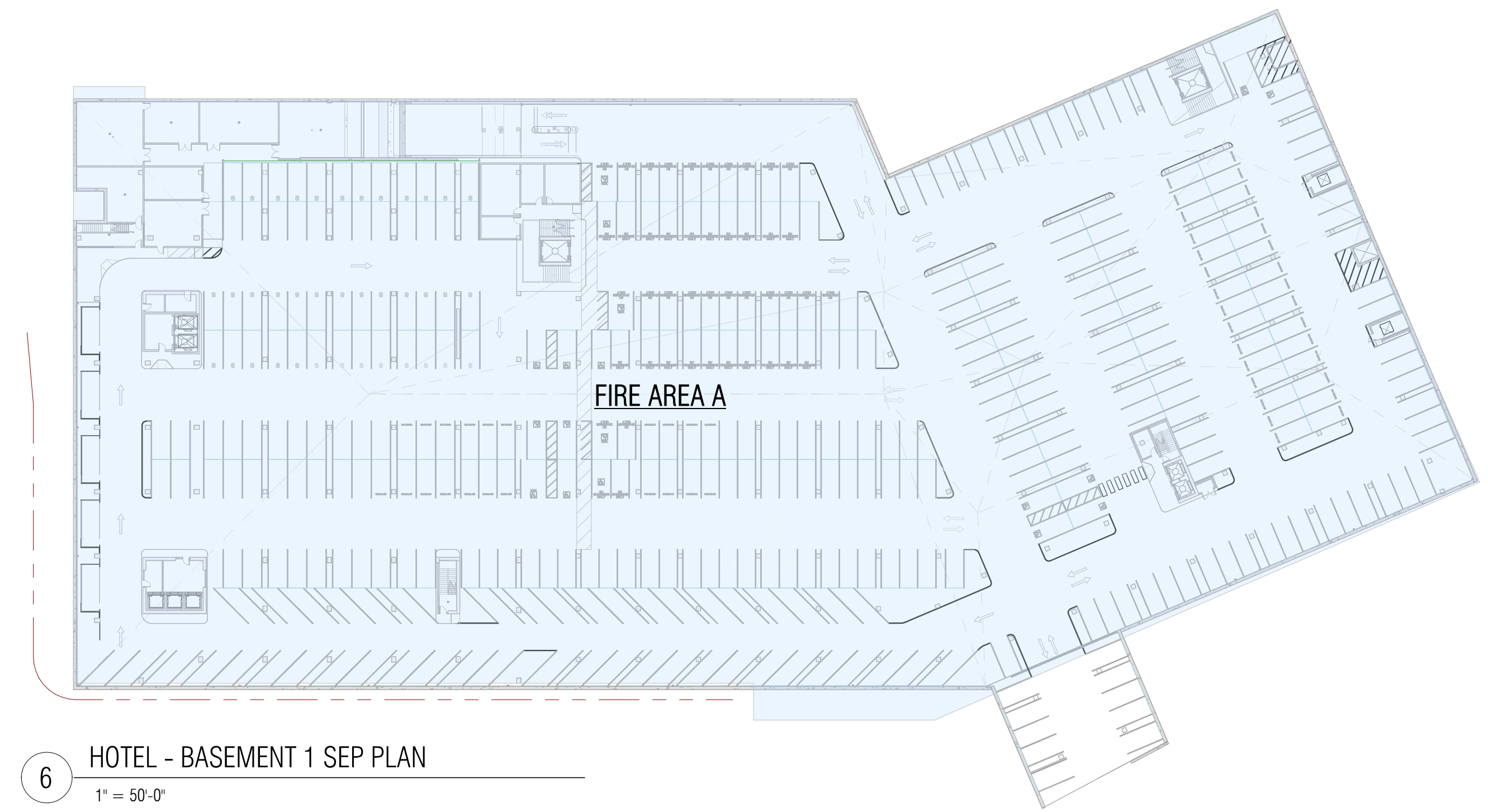
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1" = 50'-0"



3 HOTEL - LEVE 3 AREA SEPARATION PLAN
1" = 50'-0"



2 HOTEL - LEVE 2 AREA SEPARATION PLAN
1" = 50'-0"

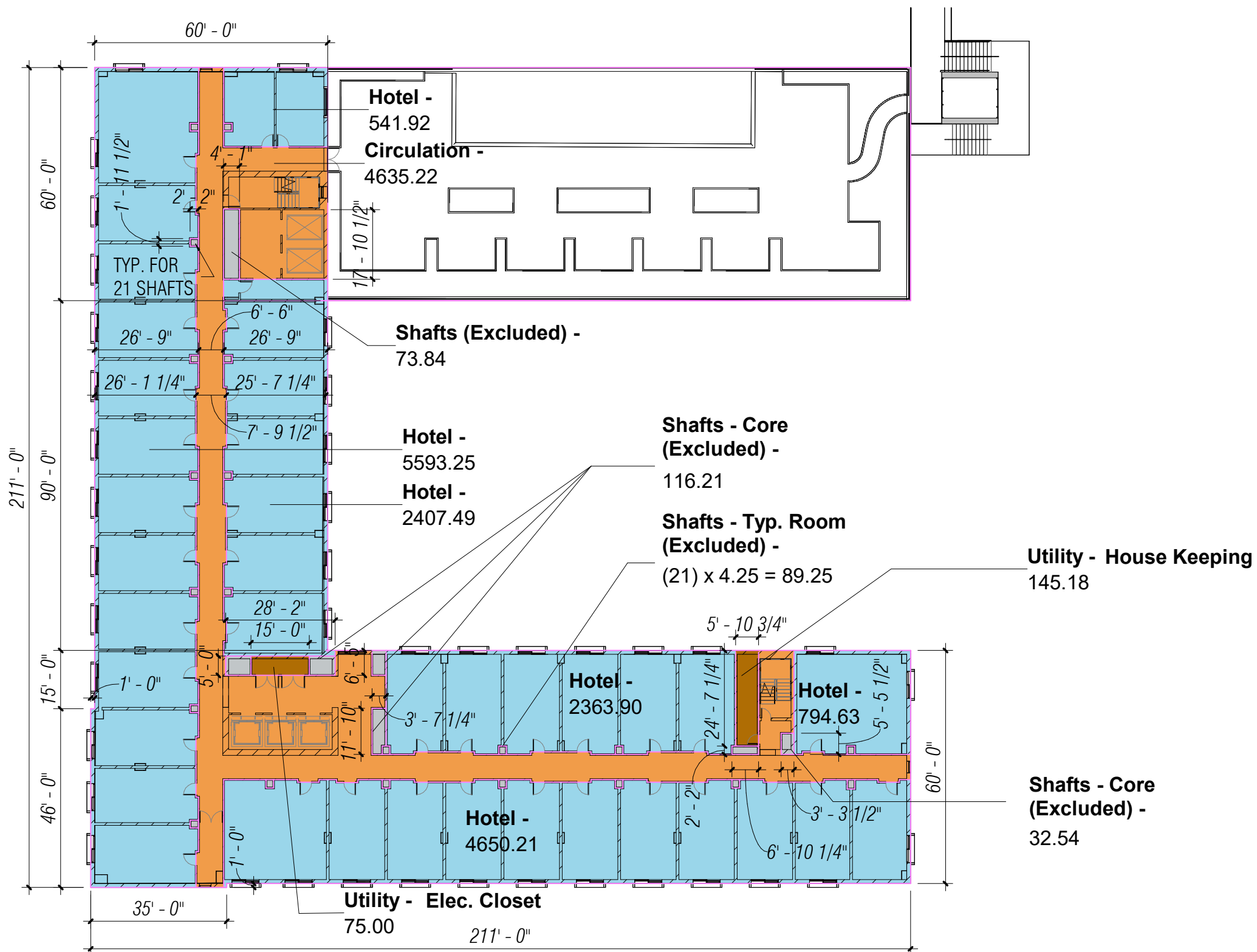


6 HOTEL - BASEMENT 1 SEP PLAN
1" = 50'-0"

SCALE: 1" = 50'-0"
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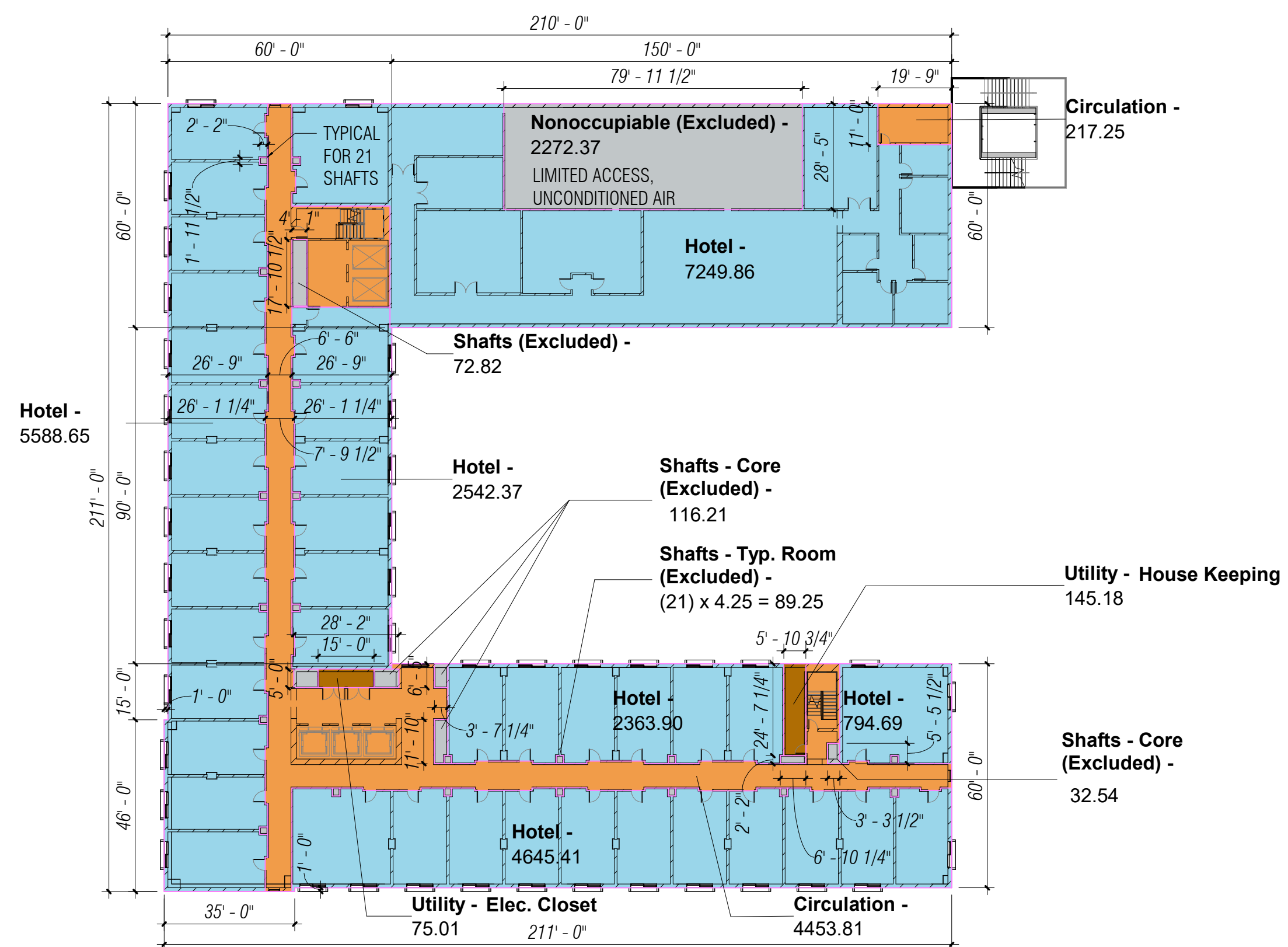
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4 HOTEL LEVEL 3 - AREA PLAN
1" = 30'-0"



2 HOTEL LEVEL 1 - AREA PLAN
1" = 30'-0"



3 HOTEL LEVEL 2 - AREA PLAN
1" = 30'-0"



1 BASEMENT - AREA PLAN
1" = 30'-0"

Key

- Hotel
- Retail
- Circulation/Lobby
- Utility/Service
- Excluded From GFA
- Common Area

ACP - GFA - Included

BASEMENT 1	HOTEL	RETAIL
Utility 50/50	2001.83 SF	2001.83 SF
LEVEL 1		
Program	4003.65 SF	13490.31 SF
Circulation Proportionately	1144.53 SF	3845.05 SF
Utility 50/50	3260.60 SF	3260.60 SF
Common Area 50/50	655.26 SF	655.26 SF
	9064.04 SF	21211.22 SF
LEVEL 2		
Program	23184.88 SF	0 SF
Circulation	4671.06 SF	0 SF
Utility	220.20 SF	0 SF
	28076.14 SF	0 SF
LEVEL 3		
Program	16499.92 SF	0 SF
Circulation	4635.22 SF	0 SF
Utility	220.18 SF	0 SF
	21355.32 SF	0 SF
LEVEL 4		
Program	16522.05 SF	0 SF
Circulation	4614.07 SF	0 SF
Utility	220.20 SF	0 SF
	21356.32 SF	0 SF
LEVEL 5		
Program	16522.28 SF	0 SF
Circulation	4612.66 SF	0 SF
Utility	220.20 SF	0 SF
	21355.14 SF	0 SF
LEVEL 6		
Program	12433.23 SF	0 SF
Circulation	4143.81 SF	0 SF
Utility	220.20 SF	0 SF
	16797.24 SF	0 SF
LEVEL 7		
Program	12435.37 SF	0 SF
Circulation	4141.89 SF	0 SF
Utility	220.20 SF	0 SF
	16797.46 SF	0 SF
	136803.49 SF	23213.05 SF
TOTAL	160016.54 SF	

ACP - GFA - Excluded

Name	Area
BASEMENT 1	
Bicycle Parking (Excluded) -	336.73 SF
Circulation (Excluded) -	554.12 SF
Elevator & Stairs (Excluded) -	2639.71 SF
Parking (Excluded) -	61406.85 SF
HOTEL LEVEL 1	
Shafts (Excluded) -	45.85 SF
Trash (Excluded) -	363.00 SF
HOTEL LEVEL 2	
Nonoccupiable (Excluded) -	2272.37 SF
Shafts (Excluded) -	323.73 SF
HOTEL LEVEL 3	
Shafts (Excluded) -	324.67 SF
HOTEL LEVEL 4	
Shafts (Excluded) -	323.70 SF
HOTEL LEVEL 5	
Shafts (Excluded) -	324.66 SF
HOTEL LEVEL 6	
Shafts (Excluded) -	326.83 SF
HOTEL LEVEL 7	
Shafts (Excluded) -	326.60 SF
	69568.81 SF

2272.37 SF DOES NOT EXCEED 3% OF THE MAX ALLOWABLE 172,000 GFA OF LOT

SCALE: As indicated
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES

DATE	ISSUE
07/17/2023	ACP

REVISIONS

NO.	DATE	ISSUE
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Key

- Hotel
- Retail
- Circulation/Lobby
- Utility/Service
- Excluded From GFA
- Common Area

ACP - GFA - Included

BASEMENT 1	HOTEL	RETAIL
Utility 50/50	2001.83 SF	2001.83 SF

LEVEL 1	HOTEL	RETAIL
Program	4003.65 SF	13450.31 SF
Circulation Proportionately	1144.53 SF	3845.05 SF
Utility 50/50	3260.60 SF	3260.60 SF
Common Area 50/50	655.26 SF	655.26 SF
	9064.04 SF	21211.22 SF

LEVEL 2	HOTEL	RETAIL
Program	23184.88 SF	0 SF
Circulation	4671.06 SF	0 SF
Utility	220.20 SF	0 SF
	28076.14 SF	0 SF

LEVEL 3	HOTEL	RETAIL
Program	16499.92 SF	0 SF
Circulation	4635.22 SF	0 SF
Utility	220.18 SF	0 SF
	21355.32 SF	0 SF

LEVEL 4	HOTEL	RETAIL
Program	16522.05 SF	0 SF
Circulation	4614.07 SF	0 SF
Utility	220.20 SF	0 SF
	21356.32 SF	0 SF

LEVEL 5	HOTEL	RETAIL
Program	16522.05 SF	0 SF
Circulation	4612.66 SF	0 SF
Utility	220.20 SF	0 SF
	21355.14 SF	0 SF

LEVEL 6	HOTEL	RETAIL
Program	12433.23 SF	0 SF
Circulation	4143.81 SF	0 SF
Utility	220.20 SF	0 SF
	16797.24 SF	0 SF

LEVEL 7	HOTEL	RETAIL
Program	12435.37 SF	0 SF
Circulation	4141.89 SF	0 SF
Utility	220.20 SF	0 SF
	16797.46 SF	0 SF

136803.49 SF	23213.05 SF
TOTAL	160016.54 SF

ACP - GFA - Excluded

Name	Area
------	------

BASEMENT 1	Area
Bicycle Parking (Excluded) -	336.73 SF
Circulation (Excluded) -	554.12 SF
Elevator & Stairs (Excluded) -	2639.71 SF
Parking (Excluded) -	61406.85 SF

HOTEL LEVEL 1	Area
Shafts (Excluded) -	45.85 SF
Trash (Excluded) -	363.00 SF

HOTEL LEVEL 2	Area
Nonoccupiable (Excluded) -	2272.37 SF
Shafts (Excluded) -	323.73 SF

HOTEL LEVEL 3	Area
Shafts (Excluded) -	324.67 SF

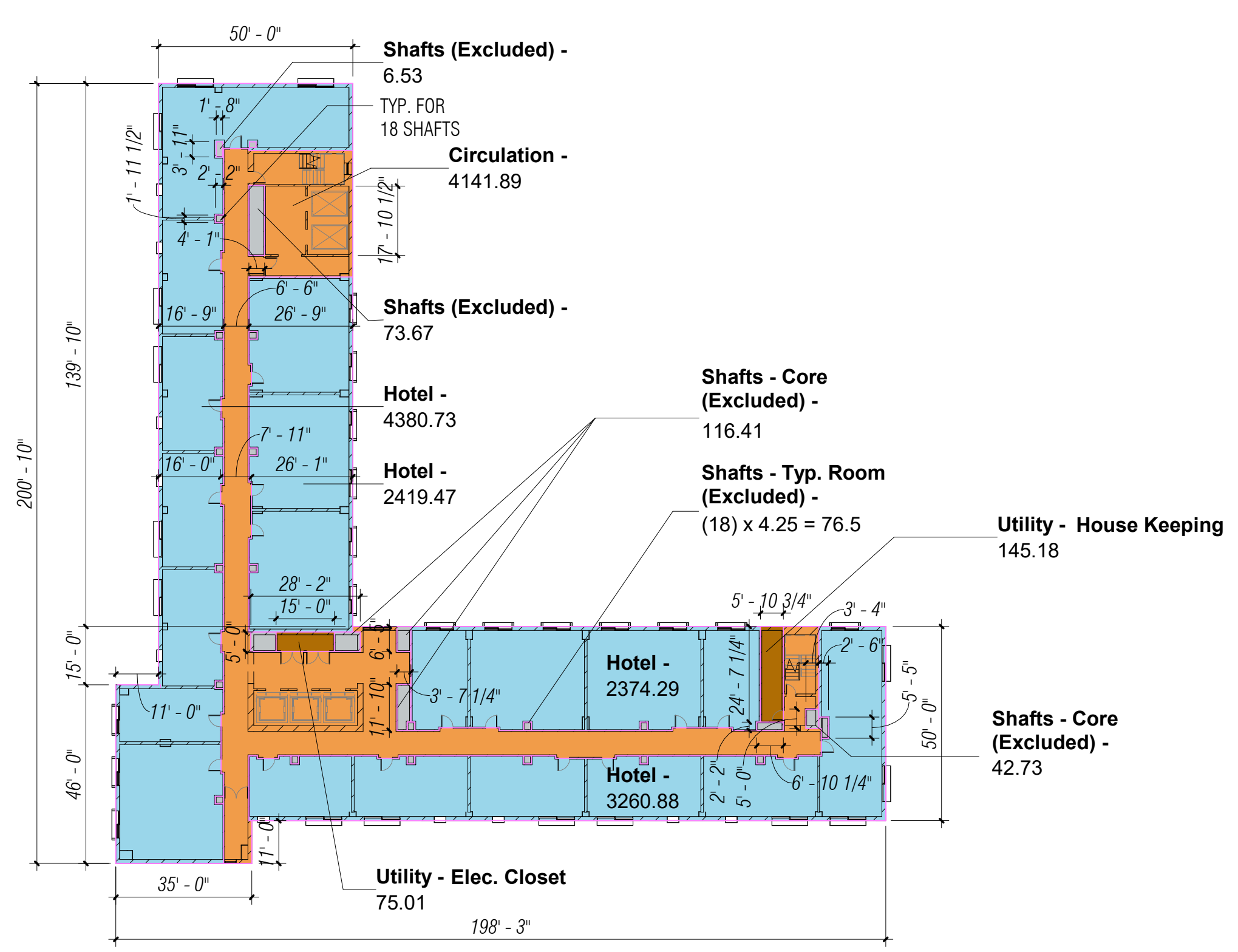
HOTEL LEVEL 4	Area
Shafts (Excluded) -	323.70 SF

HOTEL LEVEL 5	Area
Shafts (Excluded) -	324.66 SF

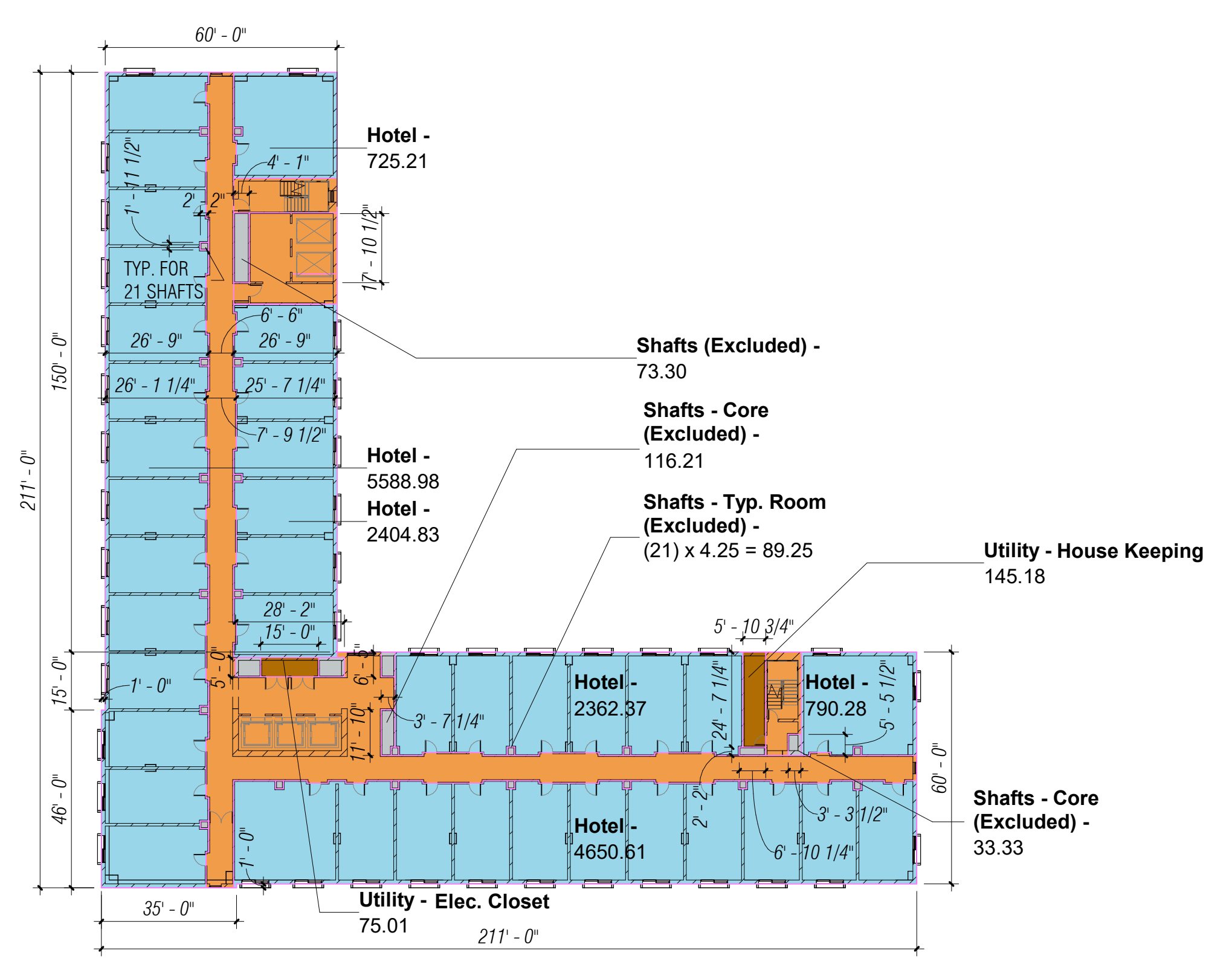
HOTEL LEVEL 6	Area
Shafts (Excluded) -	326.83 SF

HOTEL LEVEL 7	Area
Shafts (Excluded) -	326.60 SF
	69568.81 SF

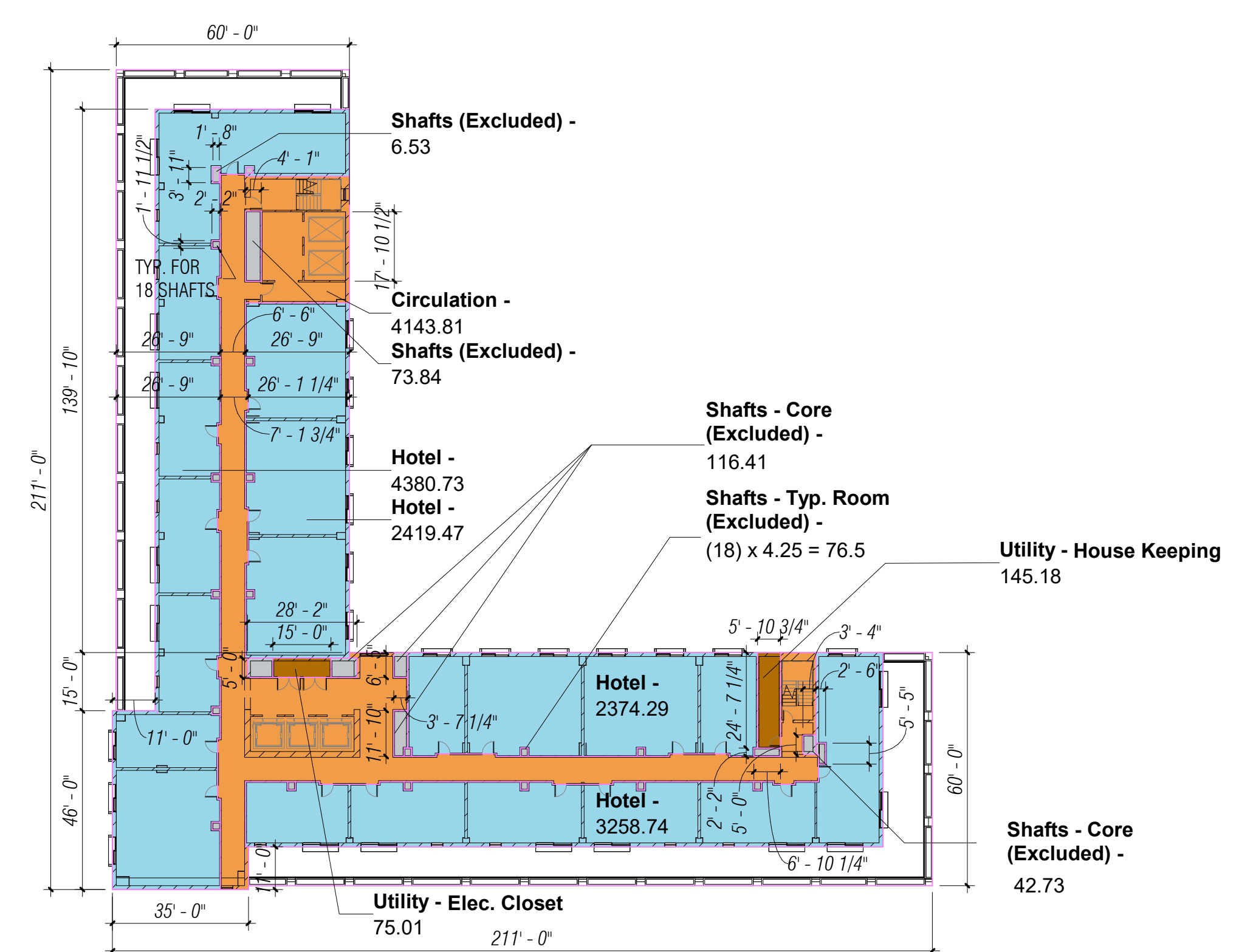
2272.37 SF DOES NOT EXCEED 3% OF THE MAX ALLOWABLE 172,000 GFA OF LOT



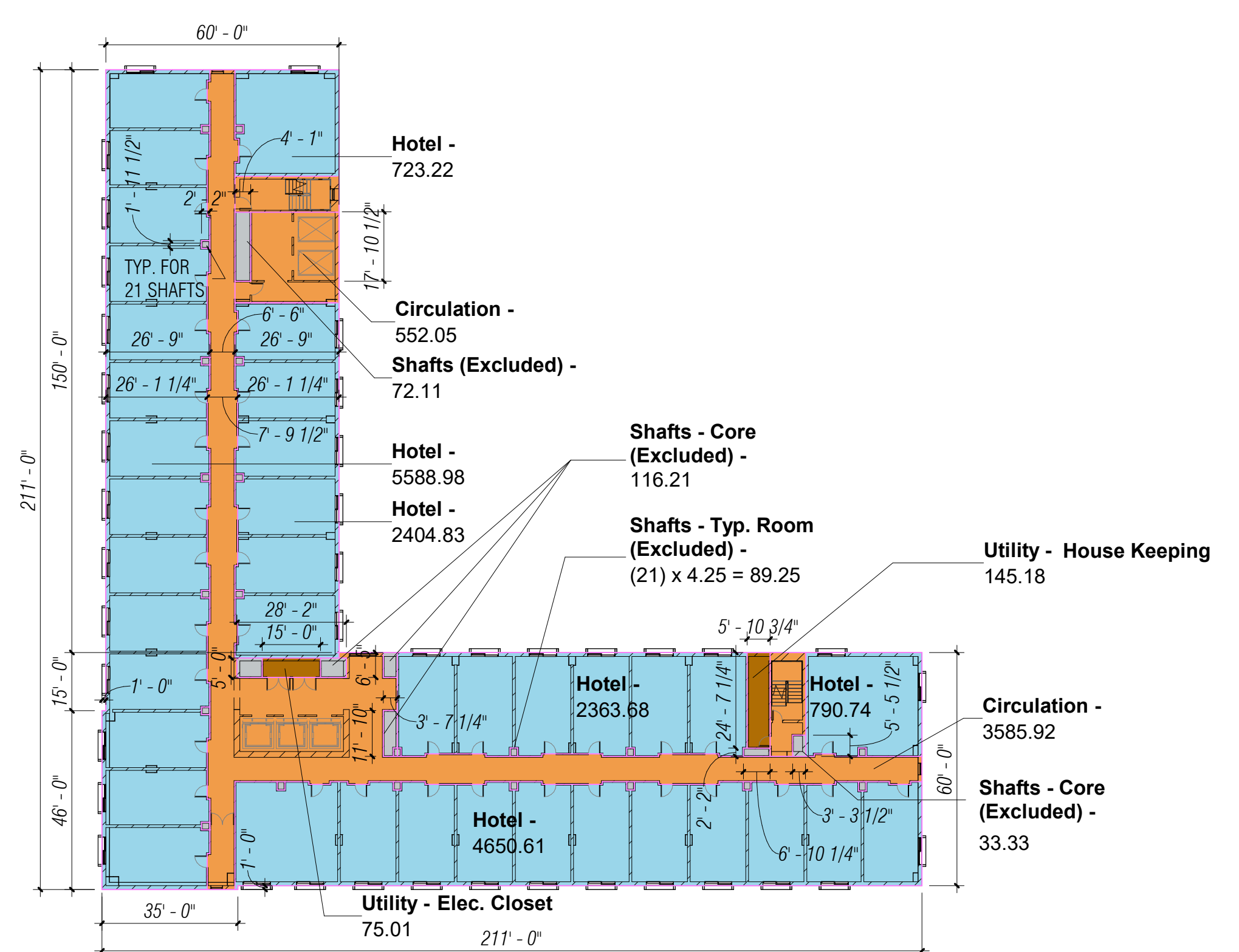
4 HOTEL LEVEL 7 - AREA PLAN
1" = 30'-0"



2 HOTEL LEVEL 5 - AREA PLAN
1" = 30'-0"



3 HOTEL LEVEL 6 - AREA PLAN
1" = 30'-0"



1 HOTEL LEVEL 4 - AREA PLAN
1" = 30'-0"

SCALE: As indicated
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE REQUIRED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

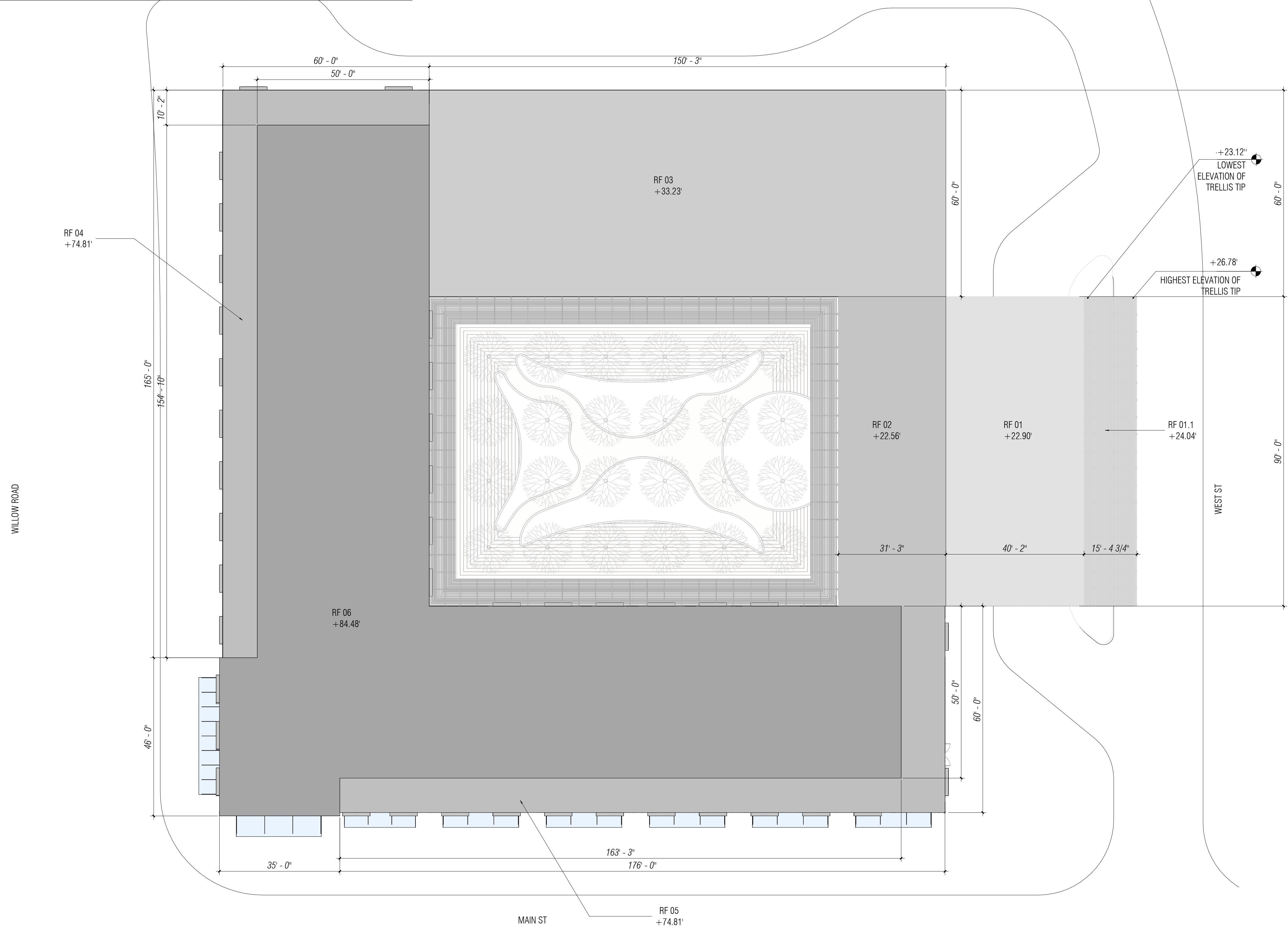
MILESTONES

DATE	ISSUE
07/17/2023	ACP

REVISIONS

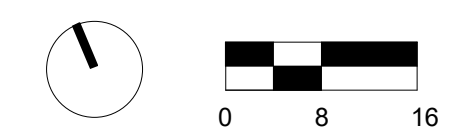
NO.	DATE	ISSUE

Building Height Analysis							
Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. To roof)	Roof Height (Nat. To roof)	Footprint (SF)	Roof Height x Footprint
RF 01	8.94'	14.50'	5.56'	17.34'	22.90'	3,615	82,784
RF 01.1	8.94'	14.50'	5.56'	18.48'	24.04'	1,385	33,296
RF 02	8.94'	14.50'	5.56'	17.00'	22.56'	2,812	63,439
RF 03	8.94'	14.50'	5.56'	27.67'	33.23'	9,015	299,569
RF 04	8.94'	14.50'	5.56'	69.25'	74.81'	2,160	161,590
RF 05	8.94'	14.50'	5.56'	69.25'	74.81'	2,400	179,544
RF 06	8.94'	14.50'	5.56'	78.92'	84.48'	17,125	1,446,720
Weighted Average Height						58.86'	
Proposed Maximum Height						84.48'	



3/13/2023 5:19:04 PM

1 BUILDING HEIGHT ANALYSIS PLAN
1/16" = 1'-0"



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 - Hotel
Menlo Park, CA

SCALE: 1/16" = 1'-0"
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE PROVIDED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

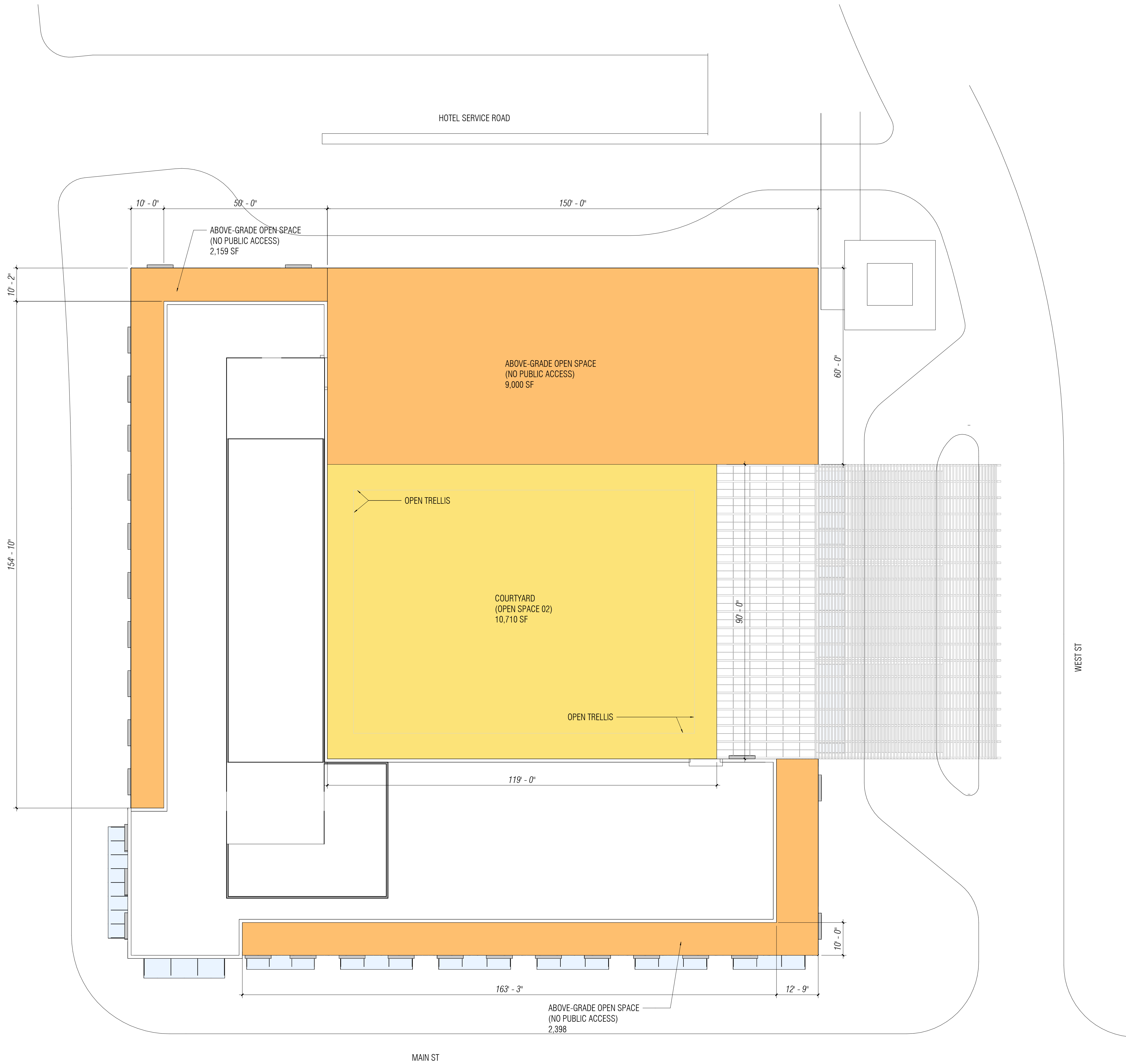
MILESTONES	
DATE	ISSUE
07/17/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
Willow Village Hotel
Building Height Analysis plan

DRAWING NO:
A9.05

OPEN SPACE SUMMARY - HOTEL		
	OPEN SPACE	AREA (FT ²)
	ABOVE-GRADE OPEN SPACE (NO PUBLIC ACCESS)	13,557
	AT-GRADE OPEN SPACE (NO PUBLIC ACCESS)	10,710
	TOTAL	24,267



1 OPEN SPACE DIAGRAM
1/16" = 1'-0"



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 - Hotel
Menlo Park, CA

SCALE: 1/16" = 1'-0"
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.


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DATE	ISSUE
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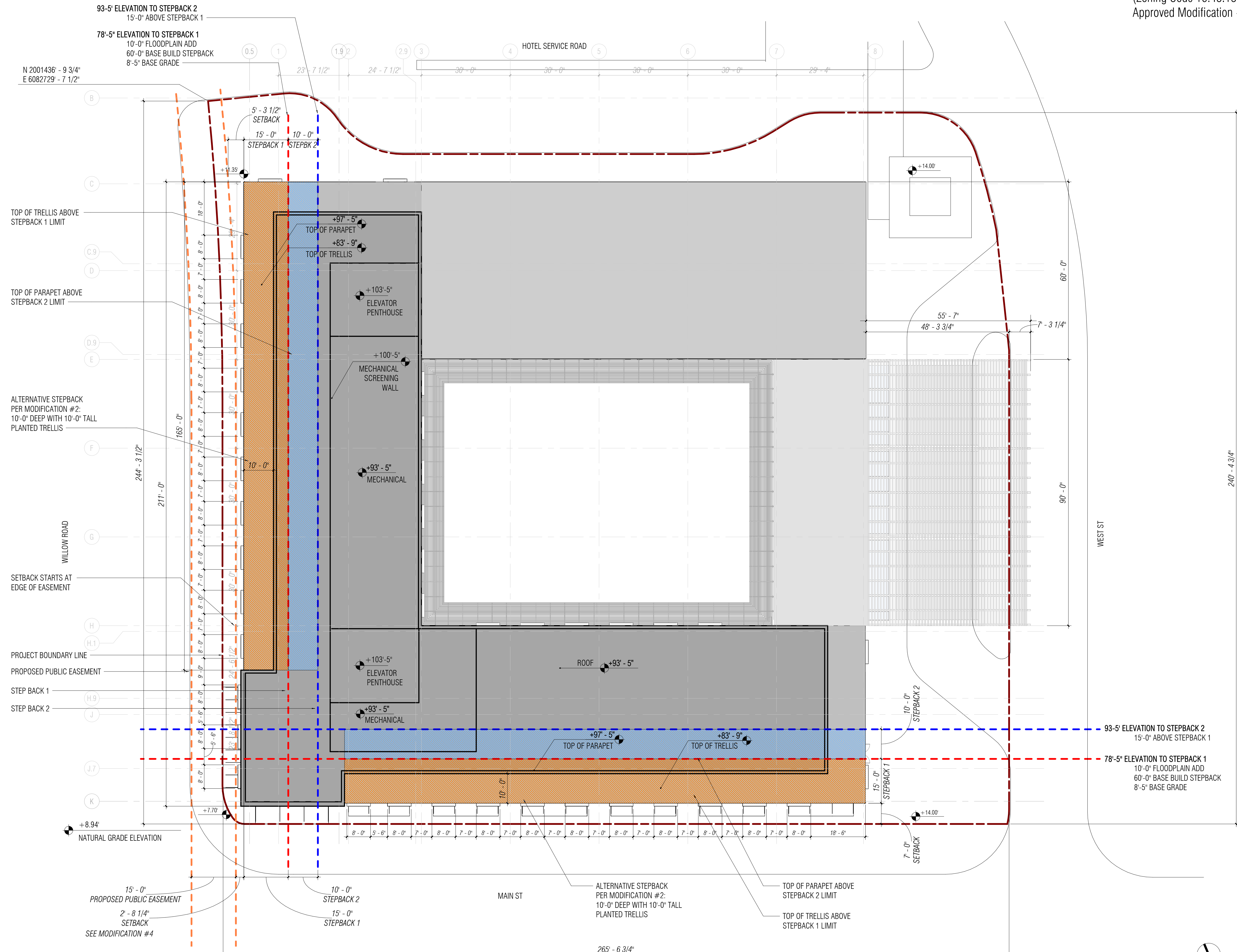
REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
Willow Village Hotel
Open Space Plan

DRAWING NO:
A9.06

Key

 Stepback Non-Compliant Area:
Trellis Above Stepback 1 Height
Parapet within Stepback 1 Zone
(Zoning Code 16.43.130)
Approved Modification #2



1 HOTEL - ROOF
1/16" = 1'-0"

PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 - Hotel
Menlo Park, CA

SCALE: As indicated
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
07/17/2023	ACP

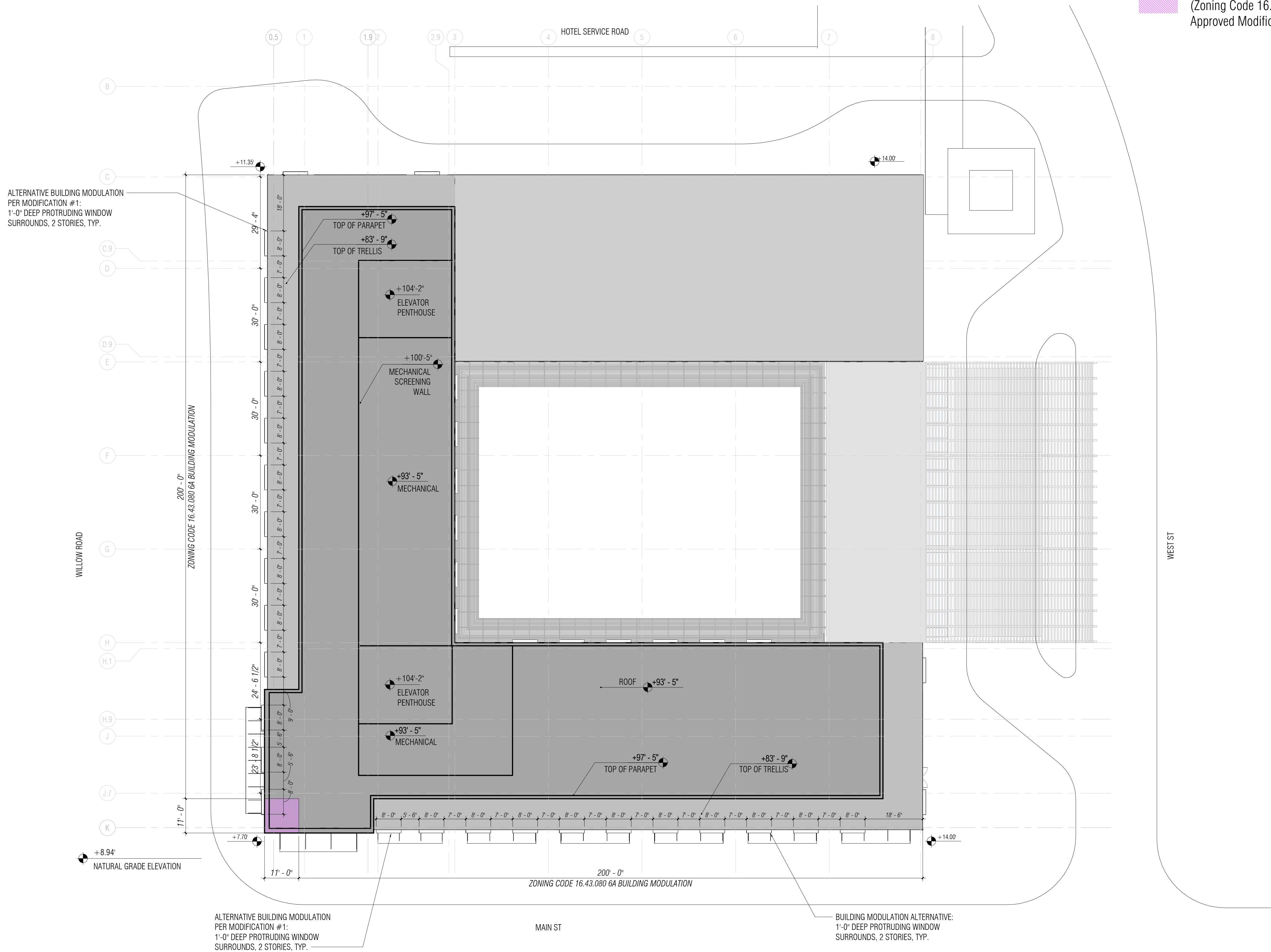
REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
Willow Village Hotel
Stepback Diagrams

DRAWING NO:
A9.07

3/14/2023 3:56:28 PM

3/14/2023 3:56:34 PM



Key

- Modulation (Minor) Not Required in O District (Zoning Code 16.43.080 6B)
- Modulation (Major) Non-Compliant Area (Zoning Code 16.43.080 6A) Approved Modification #1

ALTERNATIVE BUILDING MODULATION PER MODIFICATION #1: 1'-0" DEEP PROTRUDING WINDOW SURROUNDS, 2 STORIES, TYP.

ZONING CODE 16.43.080 6A BUILDING MODULATION

ZONING CODE 16.43.080 6A BUILDING MODULATION

ALTERNATIVE BUILDING MODULATION PER MODIFICATION #1: 1'-0" DEEP PROTRUDING WINDOW SURROUNDS, 2 STORIES, TYP.

BUILDING MODULATION ALTERNATIVE: 1'-0" DEEP PROTRUDING WINDOW SURROUNDS, 2 STORIES, TYP.

1 HOTEL - ROOF
1/16" = 1'-0"

PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 - Hotel
Menlo Park, CA

SCALE: As indicated
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

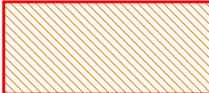
MILESTONES	
DATE	ISSUE
07/17/2023	ACP


REVISIONS		
NO.	DATE	ISSUE

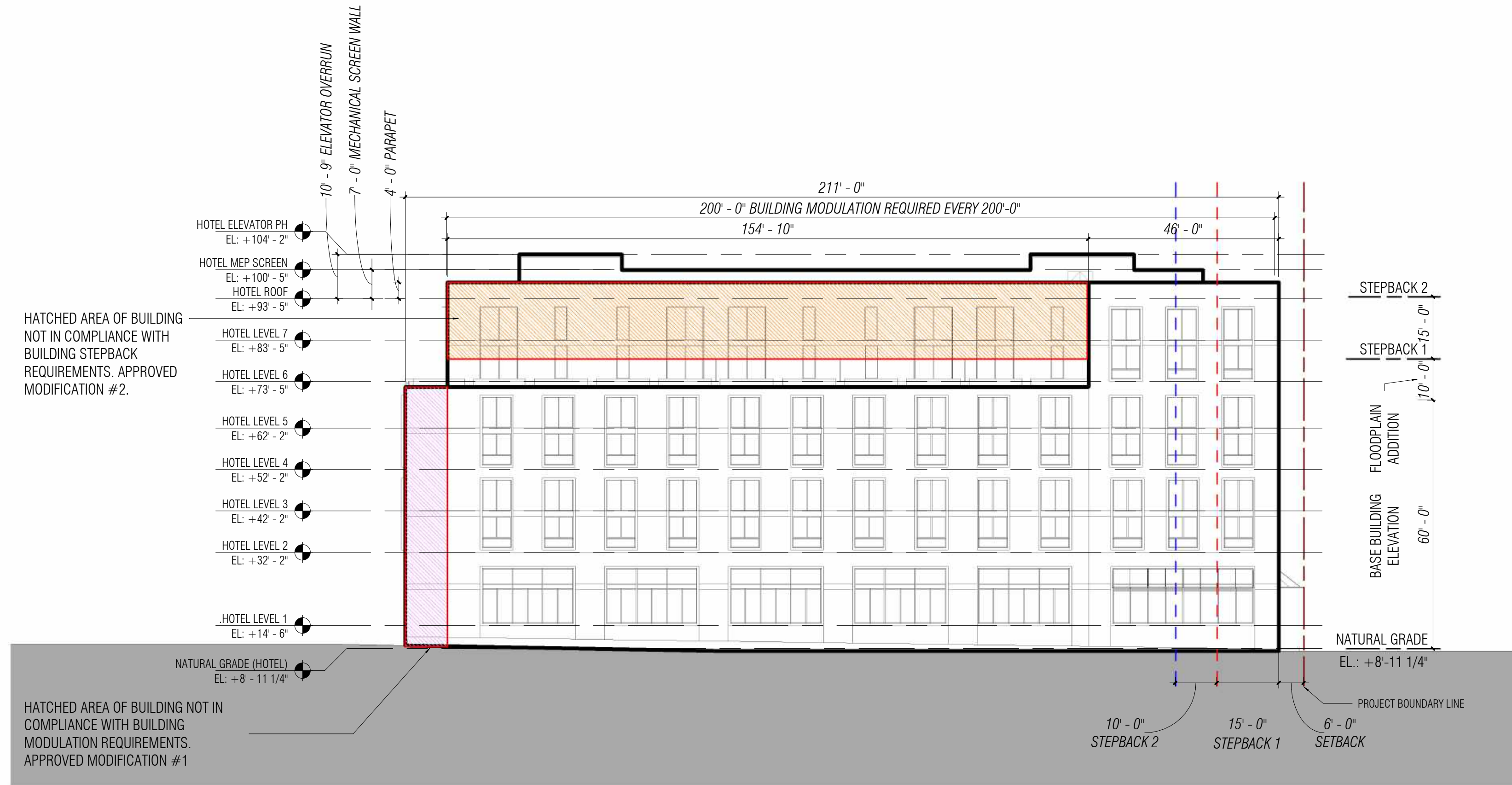
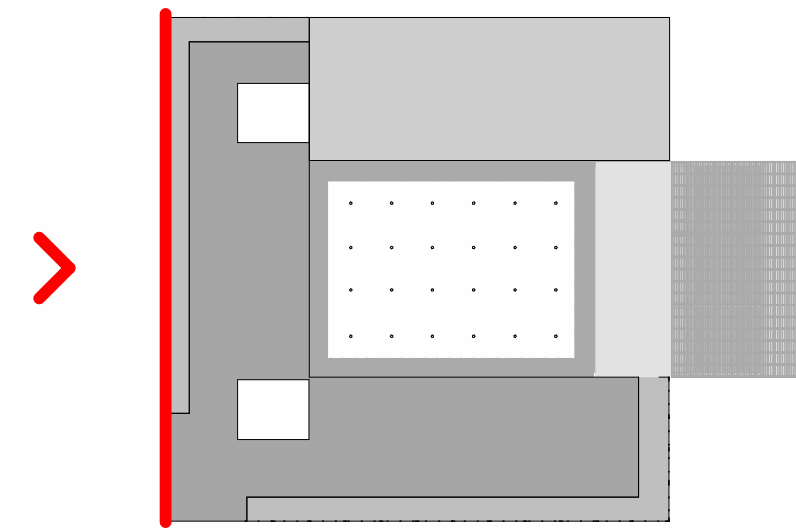
DRAWING TITLE:
Willow Village Hotel
Modulation Diagram - Plan

DRAWING NO:
A9.09

Key

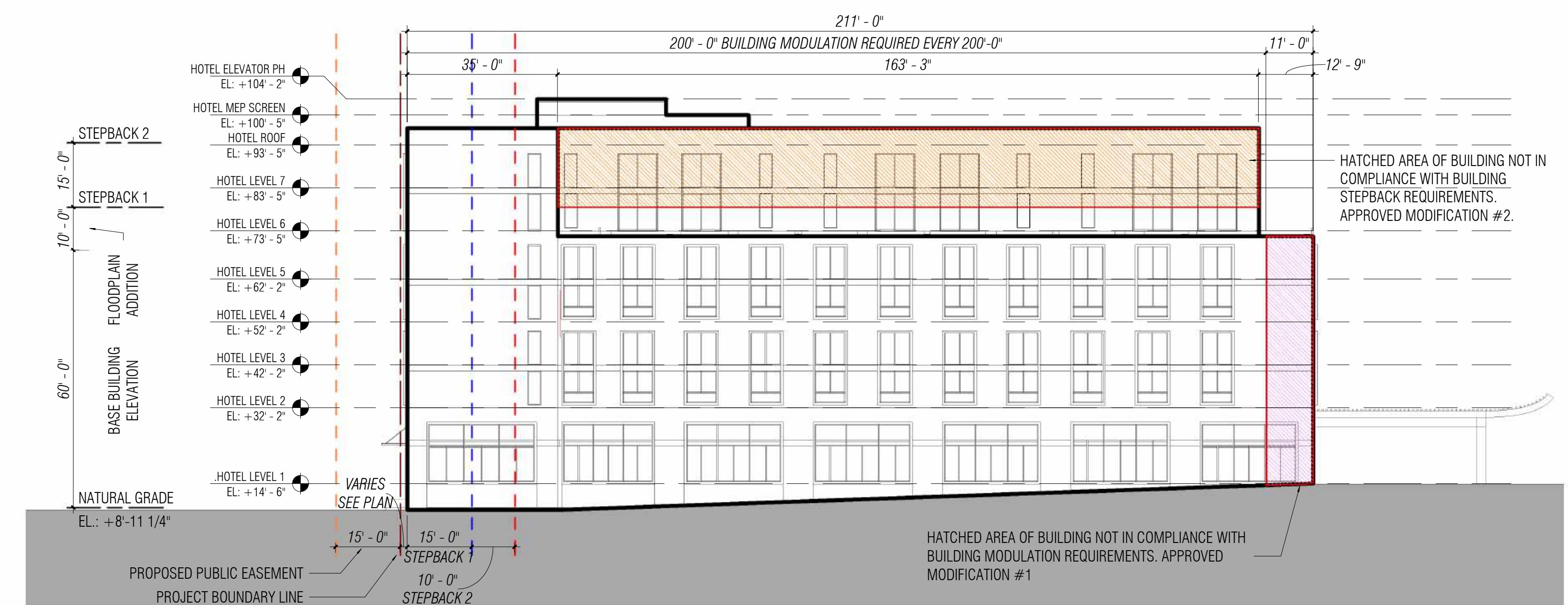
 Stepback Non-Compliant Area
(Zoning Code 16.43.130)
Approved Modification #2

 Modulation (Major) Non-Compliant Area
(Zoning Code 16.43.080 6A)
Approved Modification #1



2 HOTEL - WEST ELEVATION (WILLOW ROAD)

3/64" = 1'-0"



1 HOTEL - SOUTH ELEVATION


3/64" = 1'-0"


SCALE: As indicated
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE REQUIRED DIMENSIONS ONLY. FOR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

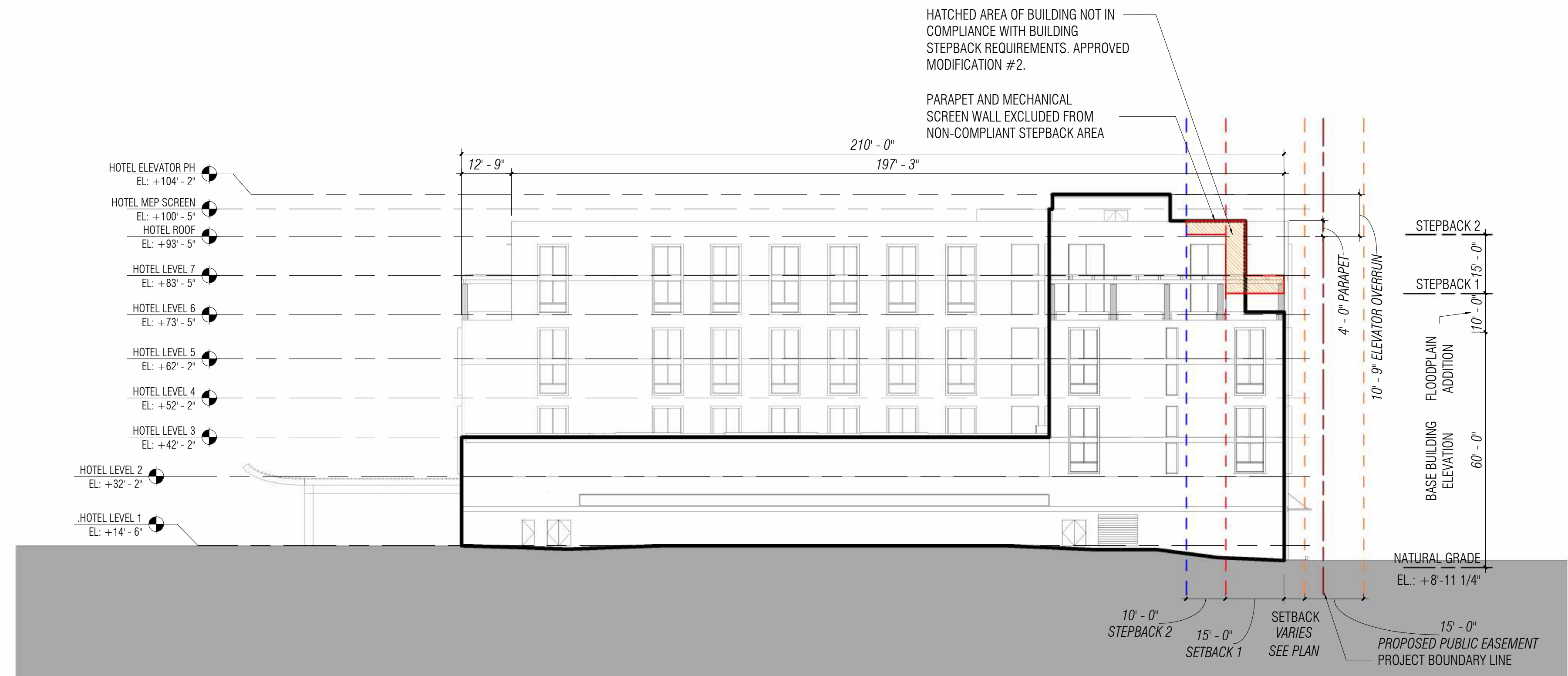
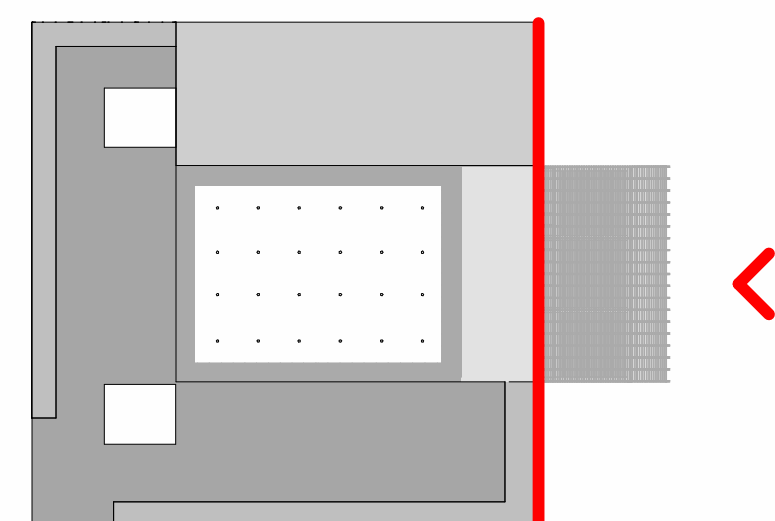
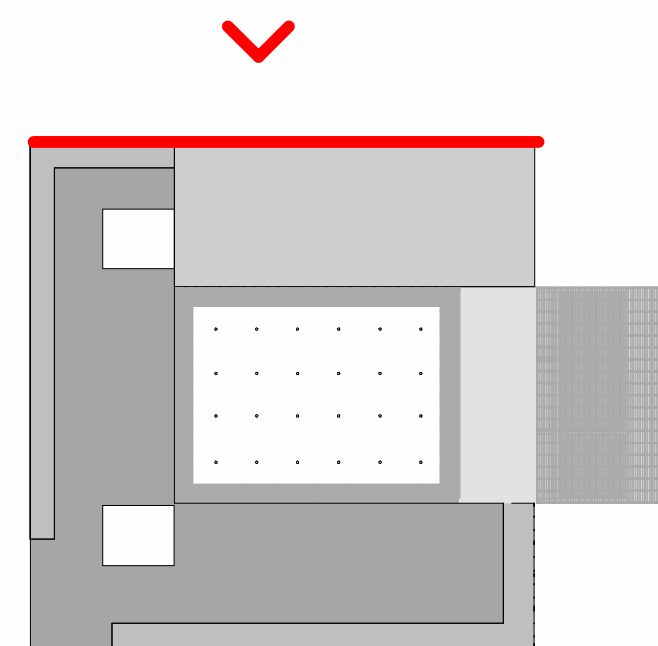
MILESTONES	
DATE	ISSUE
07/17/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

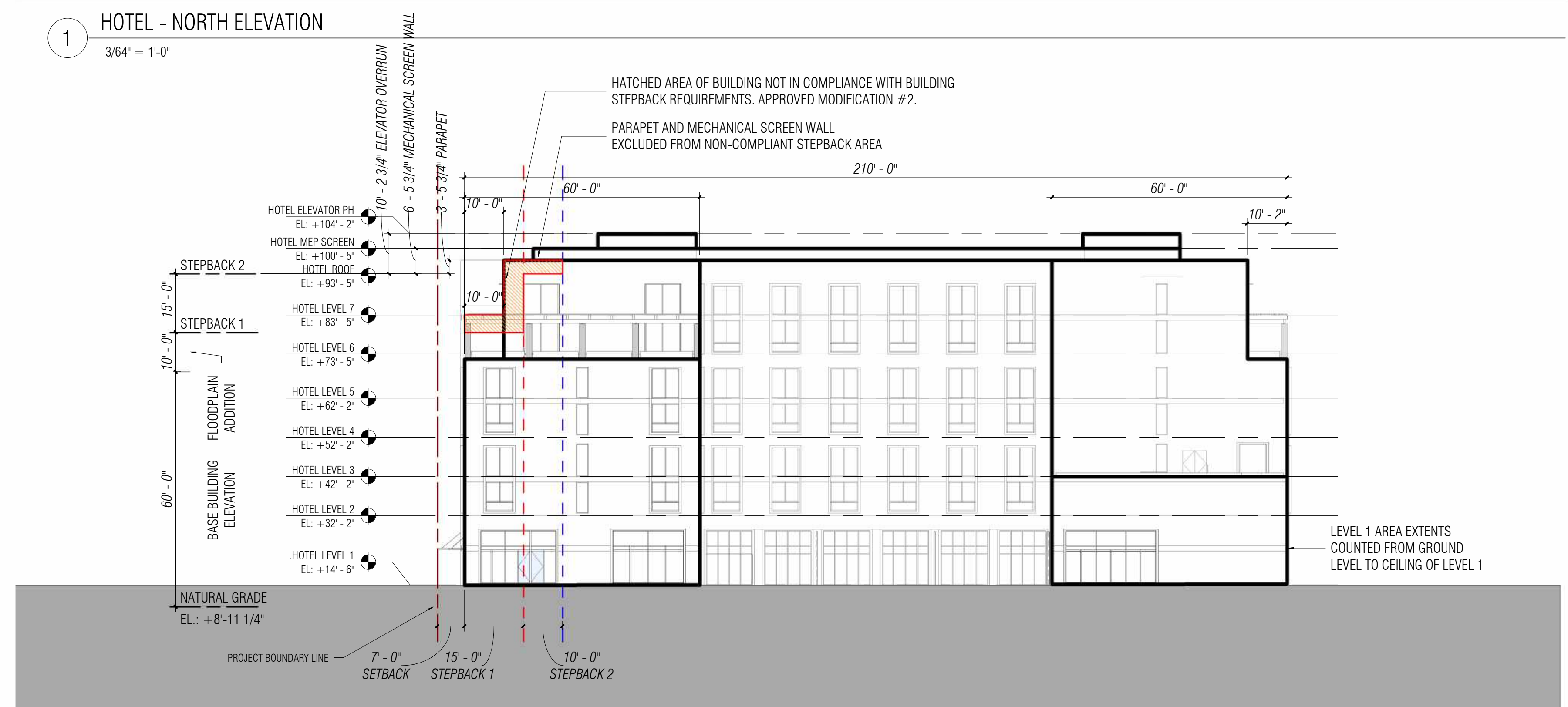
Key

 Stepback Non-Compliant Area
(Zoning Code 16.43.130)
Approved Modification #2

 Modulation (Major) Non-Compliant Area
(Zoning Code 16.43.080 6A)
Approved Modification #1



1 HOTEL - NORTH ELEVATION
3/64" = 1'-0"

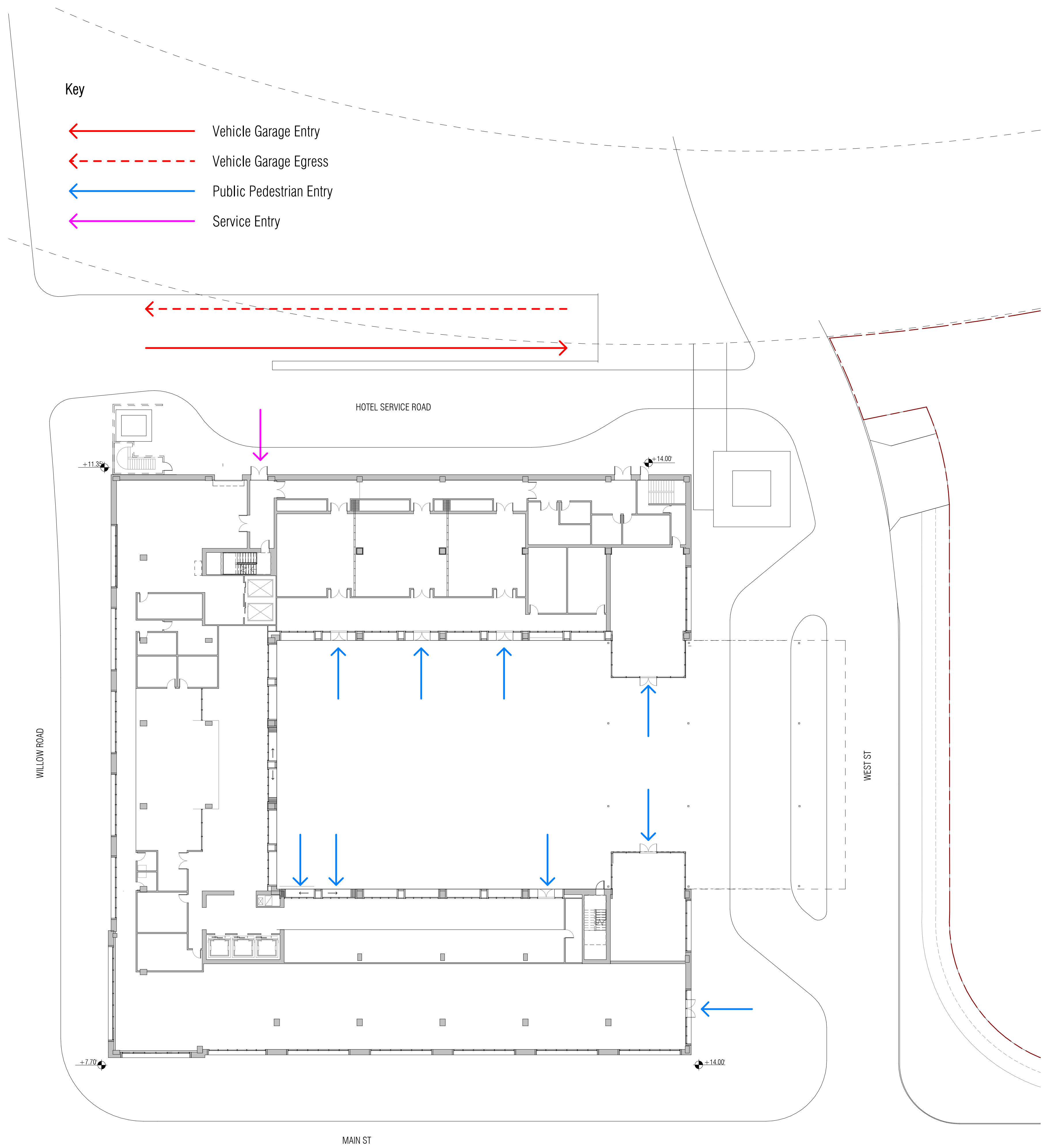


2 HOTEL - EAST ELEVATION
3/64" = 1'-0"

SCALE: As indicated
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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1 HOTEL LEVEL 01
1" = 20'-0"



- Key**
- ← Vehicle Garage Entry
 - - - ← Vehicle Garage Egress
 - ← Public Pedestrian Entry
 - ← Service Entry

SCALE: 1" = 20'-0"
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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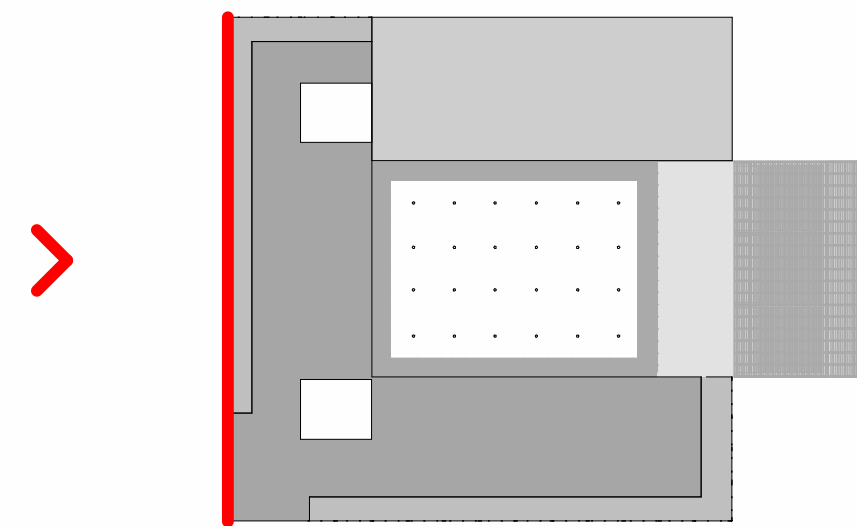
REVISIONS		
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Level 1 Transparency Analysis

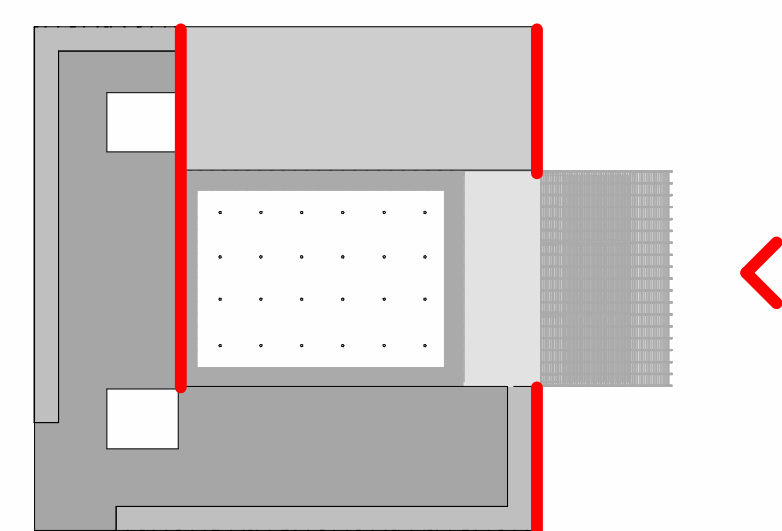
	East (sf)*	West (sf)	North (sf)**	South (sf)	West Courtyard (sf)	North Courtyard (sf)	South Courtyard (sf)	Total (sf)
Level 1 Area	1,559	3,025		3,010	1,290	2,150	2,150	13,184
Level 1 Transparent Area	662	1,573		1695	868	1,481	1,331	7,610
% of Level 1 Transparent Area	42%	52%		56%	67%	69%	62%	57%

*Refer to Modification #7

**North Elevation along Service Road is exempt from Transparency Requirements and not counted towards transparency percentage.



2 HOTEL - WEST ELEVATION (WILLOW ROAD)
3/64" = 1'-0"



1 HOTEL - EAST ELEVATION
3/64" = 1'-0"

SCALE: As indicated
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

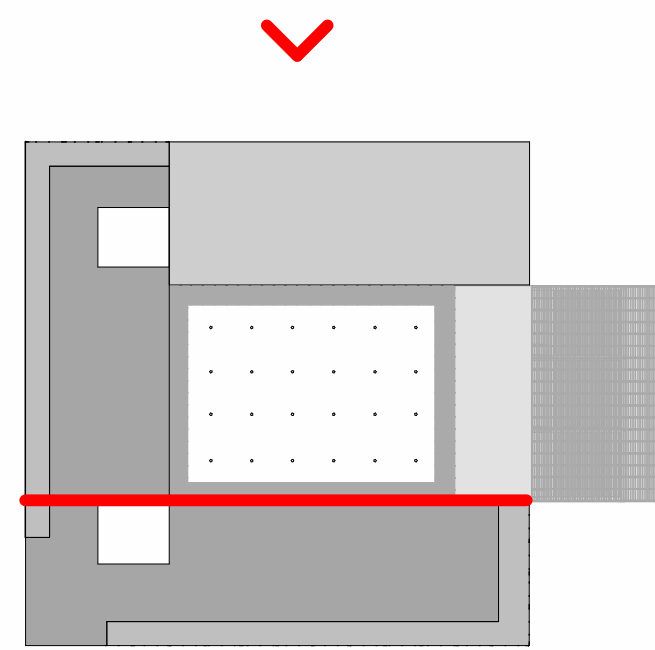
MILESTONES	
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NO.	DATE	ISSUE

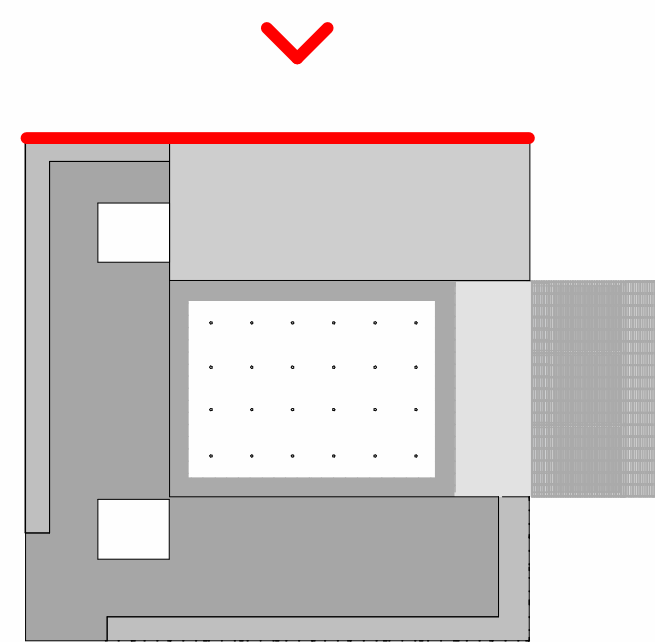
	Level 1 Transparency Analysis						Total (sf)
	East (sf)*	West (sf)	North (sf)**	South (sf)	West Courtyard (sf)	North Courtyard (sf)	
Level 1 Area	1,559	3,025		3,010	1,290	2,150	13,184
Level 1 Transparent Area	662	1,573		1,695	868	1,481	7,610
% of Level 1 Transparent Area	42%	52%		56%	67%	69%	57%

*Refer to Modification #7

**North Elevation along Service Road is exempt from Transparency Requirements and not counted towards transparency percentage.



2 HOTEL - SECTION - FROM NORTH
3/64" = 1'-0"



1 HOTEL - NORTH ELEVATION
3/64" = 1'-0"

SCALE: As indicated
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

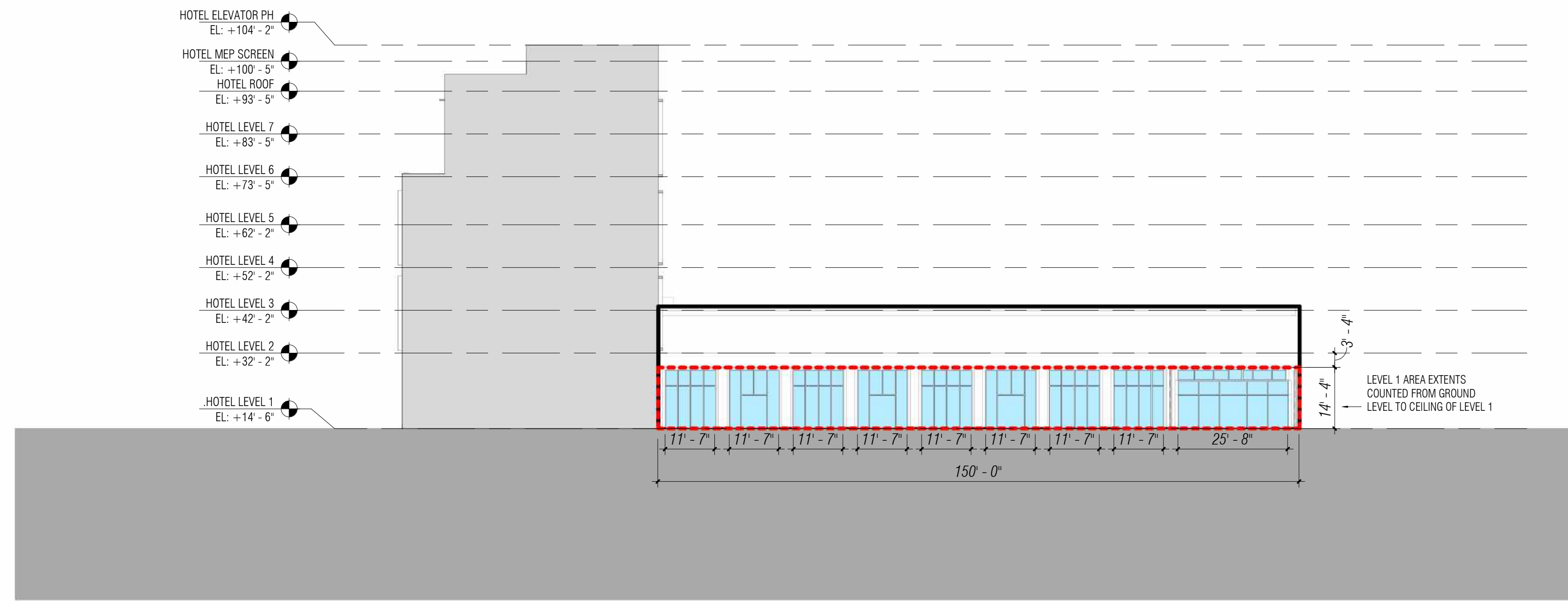
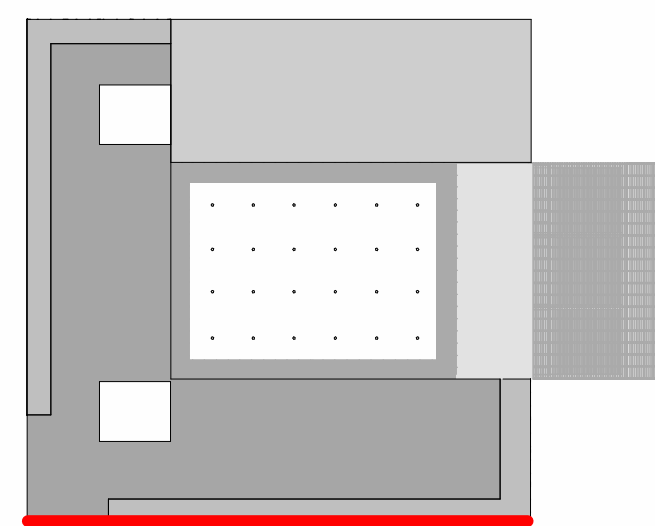
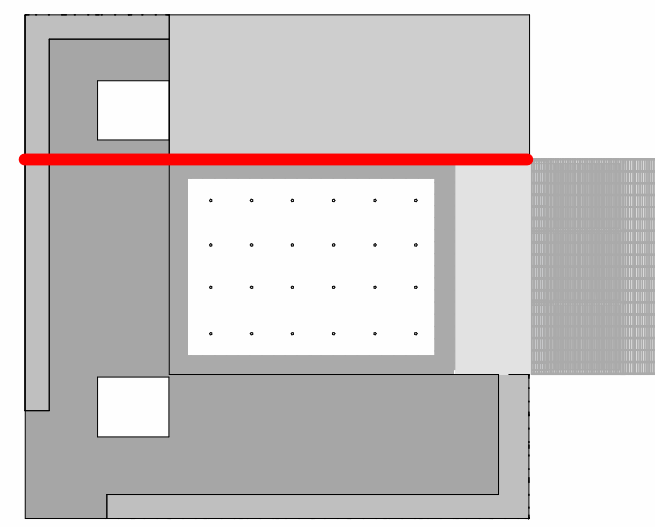
MILESTONES	
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NO.	DATE	ISSUE

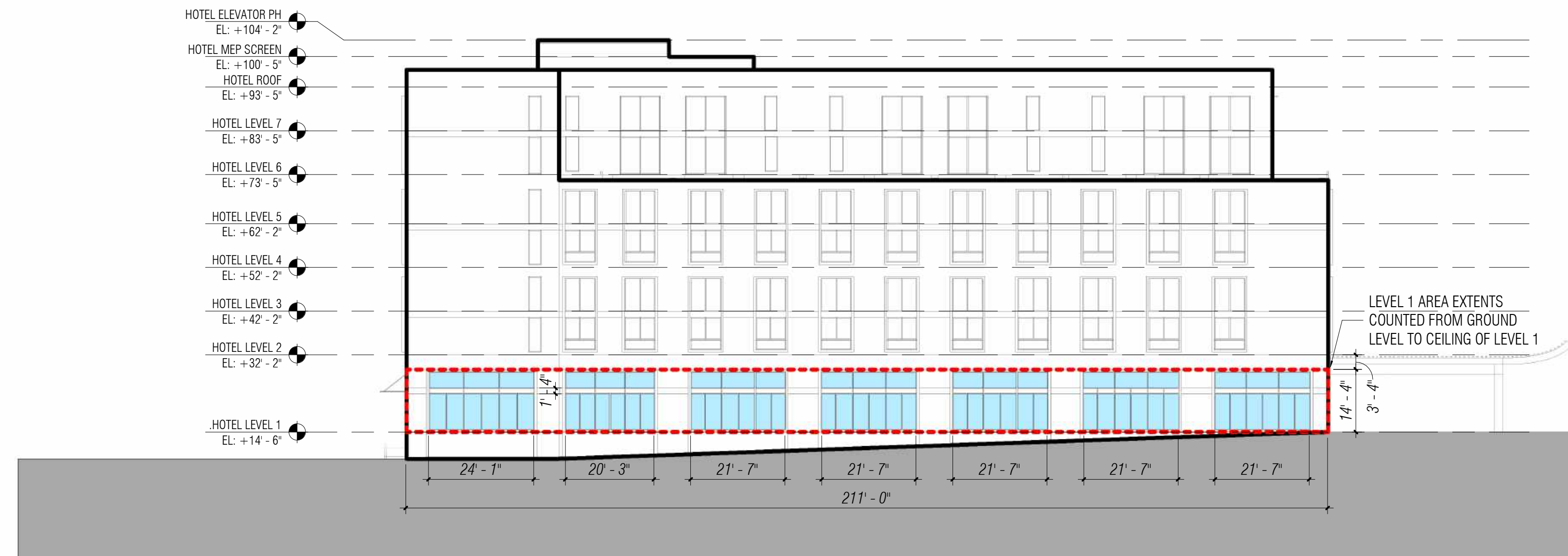
	Level 1 Transparency Analysis						Total (sf)
	East (sf)*	West (sf)	North (sf)**	South (sf)	West Courtyard (sf)	North Courtyard (sf)	
Level 1 Area	1,559	3,025		3,010	1,290	2,150	13,184
Level 1 Transparent Area	662	1,573		1,695	868	1,481	7,610
% of Level 1 Transparent Area	42%	52%		56%	67%	69%	57%

*Refer to Modification #7

**North Elevation along Service Road is exempt from Transparency Requirements and not counted towards transparency percentage.



3 HOTEL - SECTION - FROM SOUTH
3/64" = 1'-0"

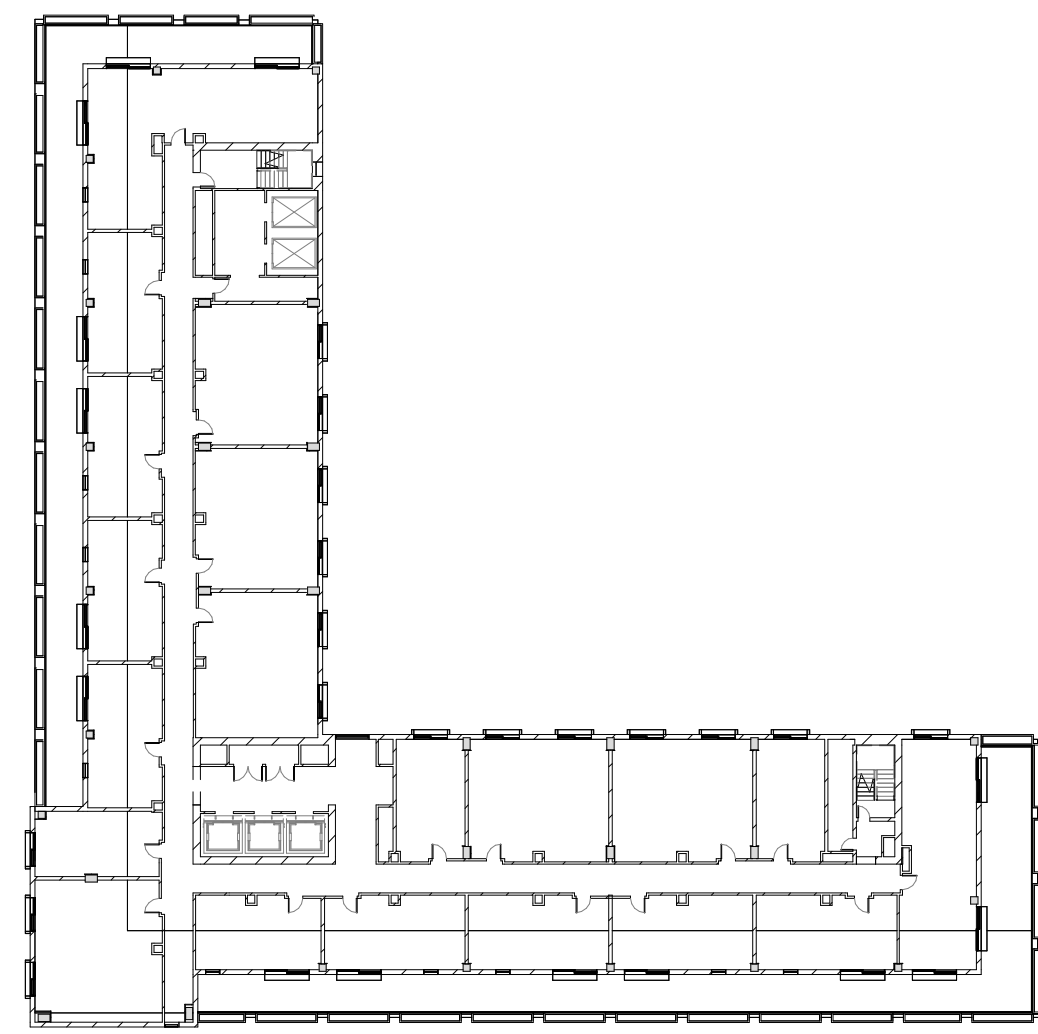


1 HOTEL - SOUTH ELEVATION
3/64" = 1'-0"

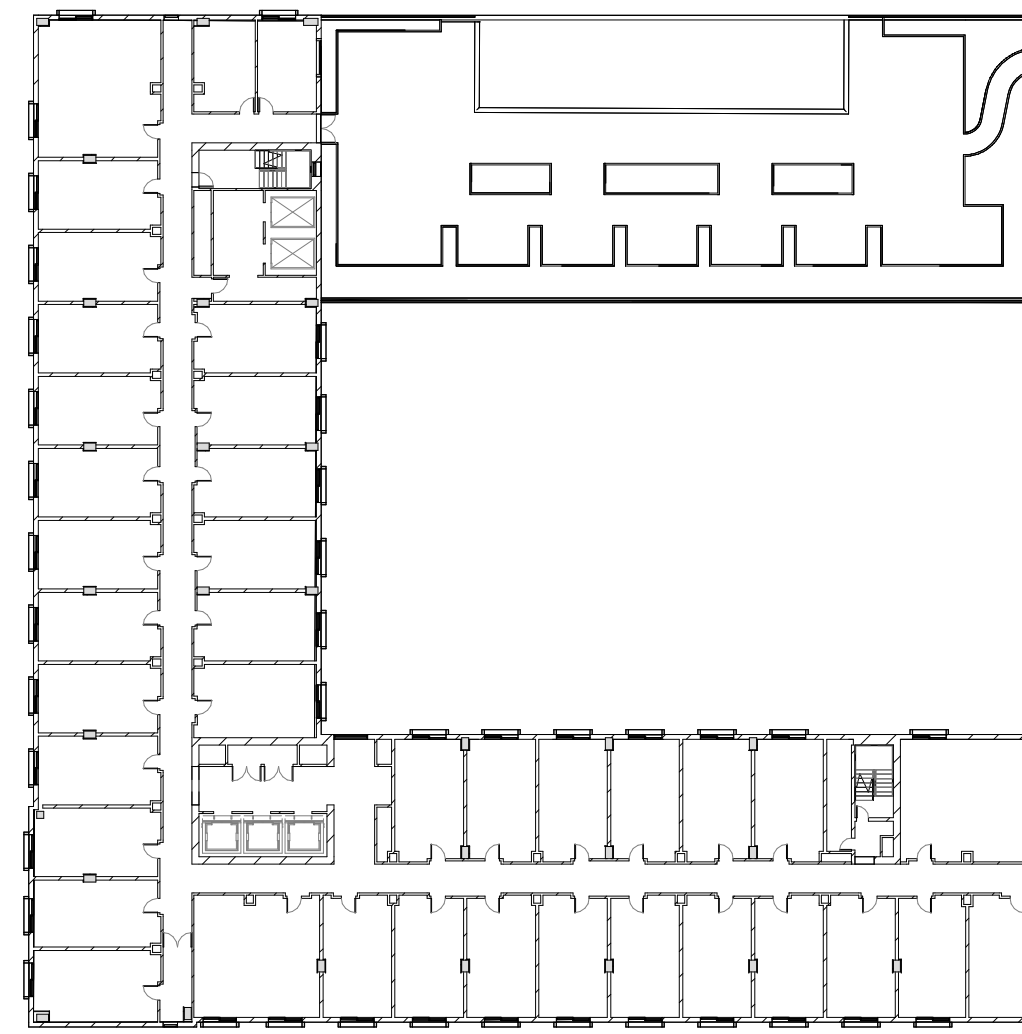
SCALE: As indicated
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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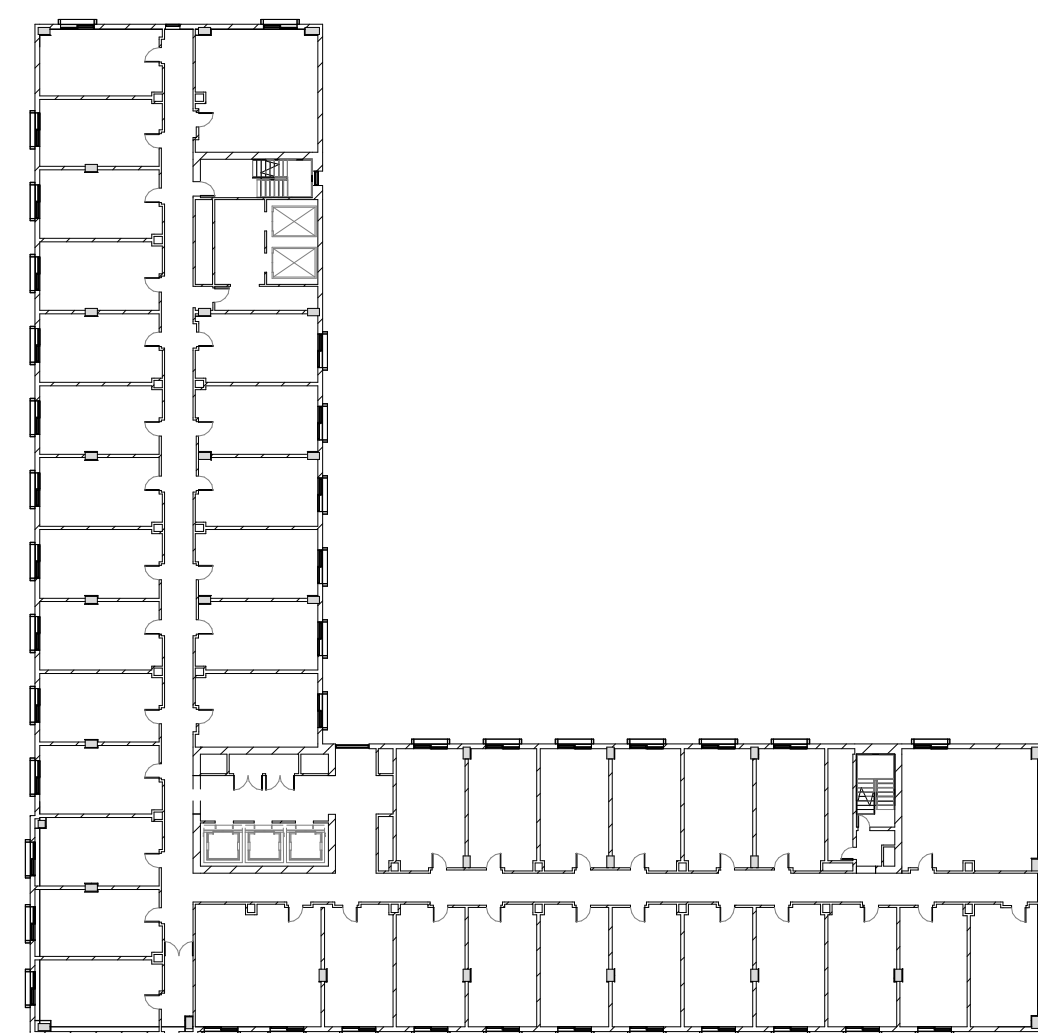
REVISIONS		
NO.	DATE	ISSUE



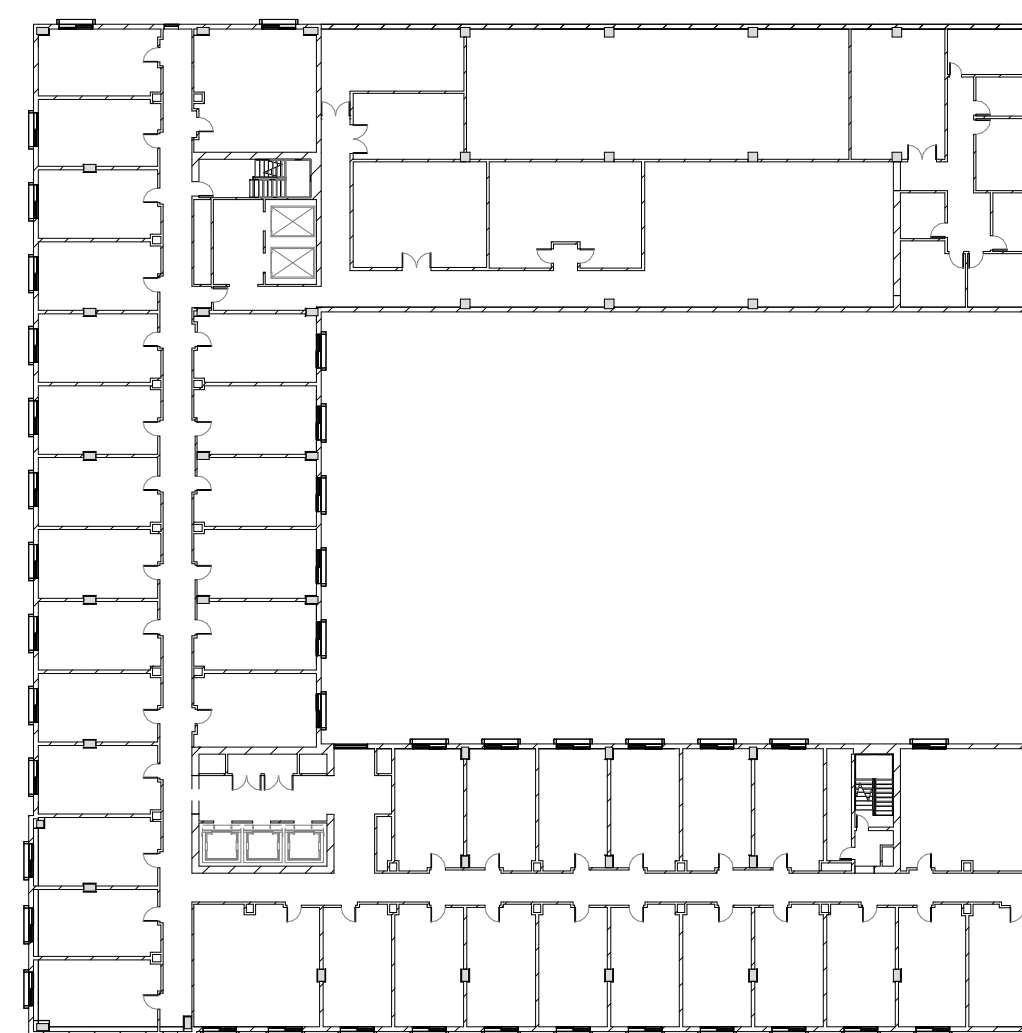
7 Hotel Level 6
1" = 40'-0"



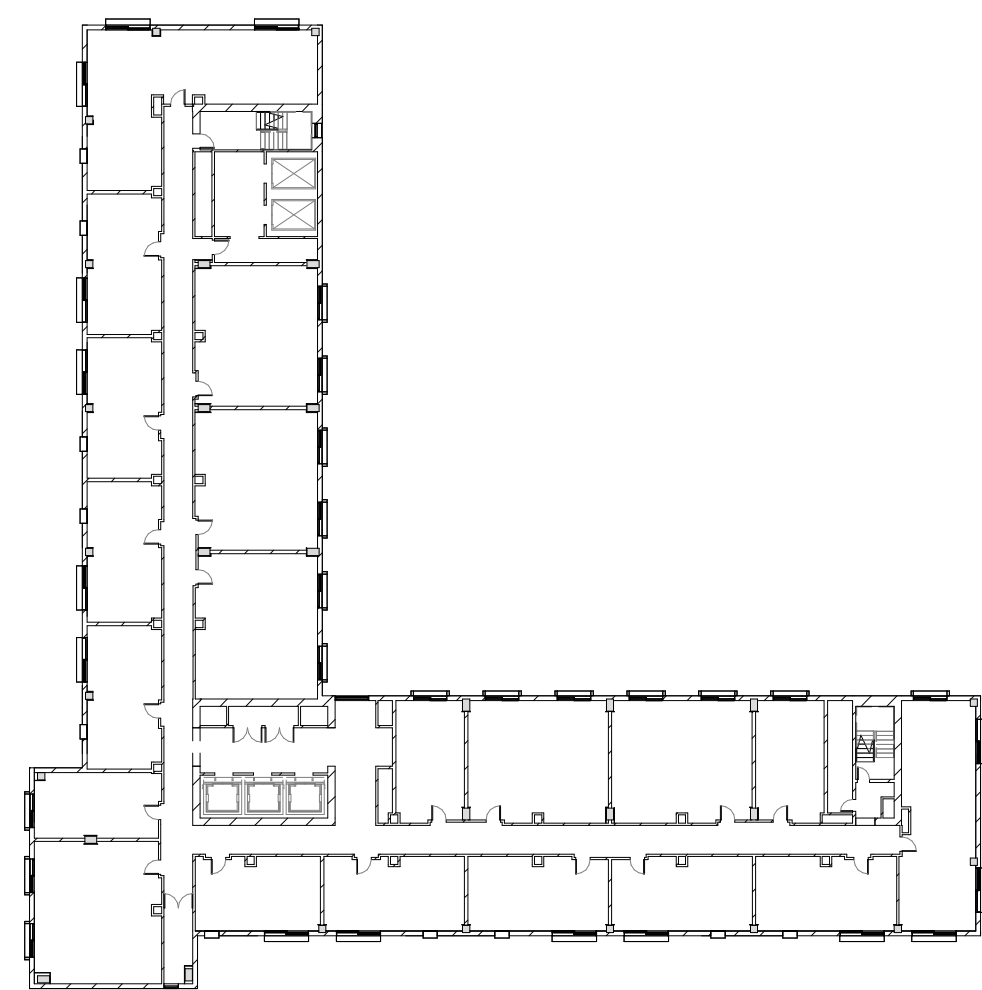
4 Hotel Level 3
1" = 40'-0"



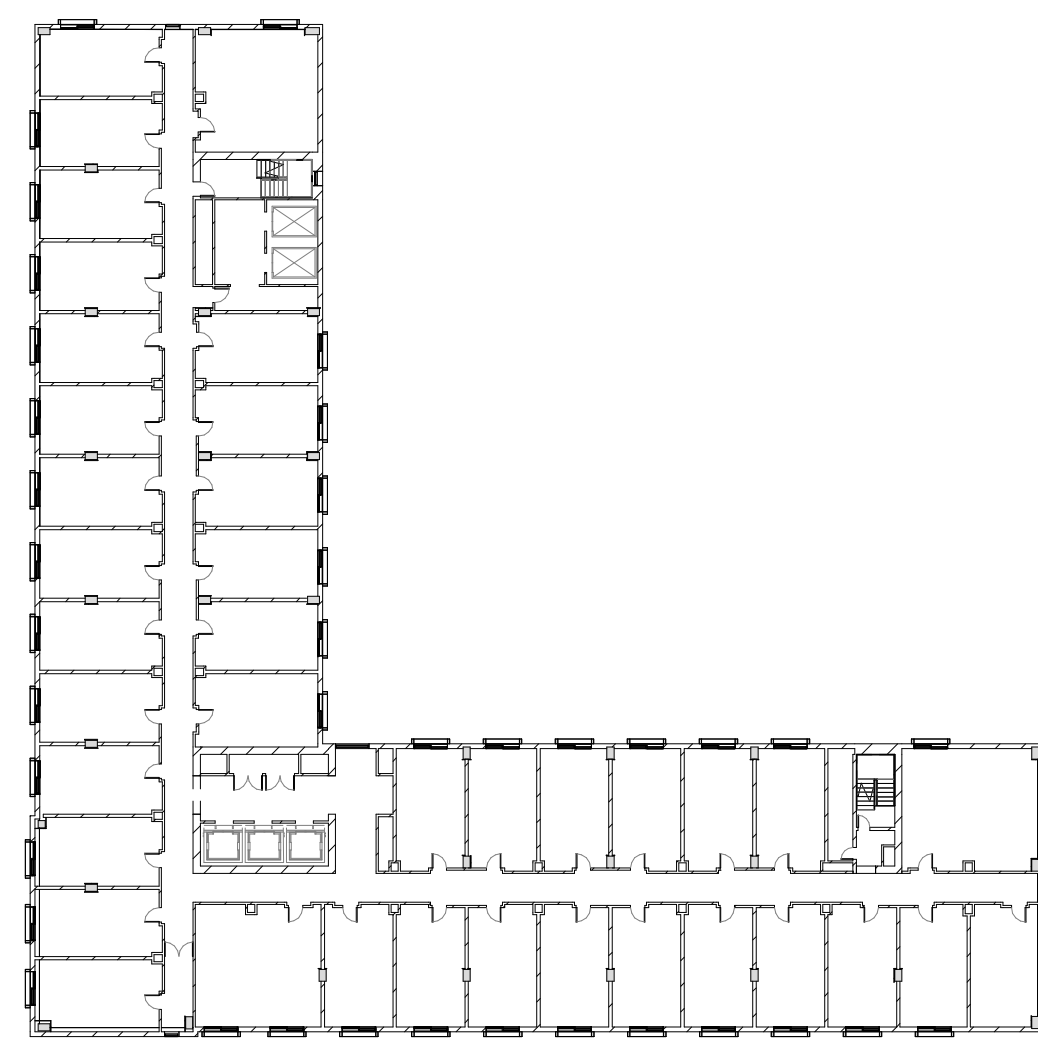
6 Hotel Level 5
1" = 40'-0"



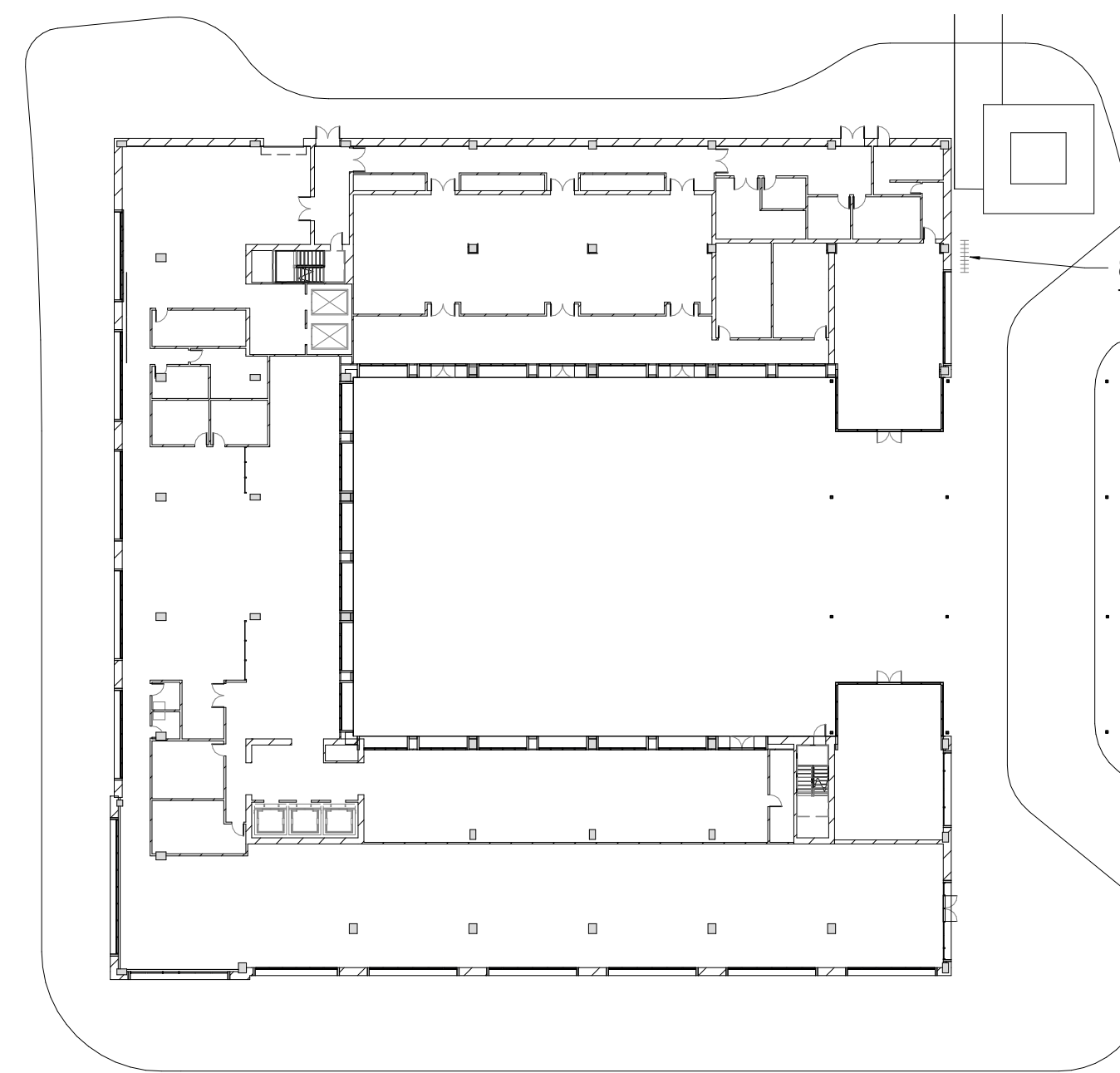
3 Hotel Level 2
1" = 40'-0"



8 Hotel Level 7
1" = 40'-0"



5 Hotel Level 4
1" = 40'-0"



2 Hotel Level 1
1" = 40'-0"

Hotel Parking		
16.43.090 Parking Standards		
Hotel	Minimum Spaces (Per Guest Room)	Maximum Spaces (Per Guest Room)
	0.75	1.1
Hotel 193 Guest Rooms	145 Spaces Minimum	212 Spaces Maximum

Hotel EVSE Spaces					
Per Menlo Park Municipal Code 12.18.110					
A minimum of 15% of total required number of parking stalls are to be EV Spaces with installed EVSE in 10% of the total required number of parking stalls, with a minimum of 1, in charging space(s).					
	Total Spaces	EV Spaces Calculation	Required EV Spaces	EVSE Spaces Calculation	Required EVSE Spaces
Hotel	145	145x15%=21.75	22	145x10%=14.5	15

Basement Parking Schedule				
Level	Type	Spaces per Parking Unit	Count	Total Space Count
Basement	EV Future 8.5x18	1	7	7
Basement	EV Standard 8.5x18	1	15	15
Basement	HC Standard 9x18	1	2	2
Basement	Stacker 9x18	2	37	74
Basement	Standard 8.5x18	1	70	70
Grand Total				168

Bike Parking Schedule				
	Area	Short Term	Long Term	Total
Retail*	13,966	2	1	3
Hotel**	151,604	6	24	30
Total	165,570	8	25	33

*20% long term and 80% short term for retail.
**80% long term and 20% short term for for hotel.

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HOTEL FOOTPRINT ABOVE

25 SPACES AT LONG TERM BIKE PARKING

1 Hotel Basement Plan
1" = 30'-0"

Hotel Parking		
16.43.090 Parking Standards		
Hotel	Minimum Spaces (Per Guest Room)	Maximum Spaces (Per Guest Room)
	0.75	1.1
Hotel 193 Guest Rooms	145 Spaces Minimum	212 Spaces Maximum

Hotel EVSE Spaces					
Per Menlo Park Municipal Code 12.18.110					
A minimum of 15% of total required number of parking stalls are to be EV Spaces with installed EVSE in 10% of the total required number of parking stalls, with a minimum of 1, in charging space(s).					
	Total Spaces	EV Spaces Calculation	Required EV Spaces	EVSE Spaces Calculation	Required EVSE Spaces
Hotel	145	145x15%=21.75	22	145x10%=14.5	15

Basement Parking Schedule				
Level	Type	Spaces per Parking Unit	Count	Total Space Count
Basement	EV Future 8.5x18	1	7	7
Basement	EV Standard 8.5x18	1	15	15
Basement	HC Standard 9x18	1	2	2
Basement	Stacker 9x18	2	37	74
Basement	Standard 8.5x18	1	70	70
Grand Total				168

Bike Parking Schedule				
	Area	Short Term	Long Term	Total
Retail*	13,966	2	1	3
Hotel**	151,604	6	24	30
Total	165,570	8	25	33

*20% long term and 80% short term for retail.
**80% long term and 20% short term for for hotel.

SCALE: 1" = 30'-0"
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
07/17/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

HOTEL ELEVATOR PH
EL: +104'-2"

HOTEL ROOF
EL: +93'-5"

HOTEL LEVEL 7
EL: +83'-5"

HOTEL LEVEL 6
EL: +73'-5"

HOTEL LEVEL 5
EL: +62'-2"

HOTEL LEVEL 4
EL: +52'-2"

HOTEL LEVEL 3
EL: +42'-2"

HOTEL LEVEL 2
EL: +32'-2"

HOTEL LEVEL 1
EL: +14'-6"

NATURAL GRADE (HOTEL)
EL: +8'-11 1/4"

6 HOTEL - SECTION - FROM NORTH
3/64" = 1'-0"

HOTEL ELEVATOR PH
EL: +104'-2"

HOTEL ROOF
EL: +93'-5"

HOTEL LEVEL 7
EL: +83'-5"

HOTEL LEVEL 6
EL: +73'-5"

HOTEL LEVEL 5
EL: +62'-2"

HOTEL LEVEL 4
EL: +52'-2"

HOTEL LEVEL 3
EL: +42'-2"

HOTEL LEVEL 2
EL: +32'-2"

HOTEL LEVEL 1
EL: +14'-6"

NATURAL GRADE (HOTEL)
EL: +8'-11 1/4"

3 HOTEL - NORTH ELEVATION
3/64" = 1'-0"

HOTEL ELEVATOR PH
EL: +104'-2"

HOTEL ROOF
EL: +93'-5"

HOTEL LEVEL 7
EL: +83'-5"

HOTEL LEVEL 6
EL: +73'-5"

HOTEL LEVEL 5
EL: +62'-2"

HOTEL LEVEL 4
EL: +52'-2"

HOTEL LEVEL 3
EL: +42'-2"

HOTEL LEVEL 2
EL: +32'-2"

HOTEL LEVEL 1
EL: +14'-6"

NATURAL GRADE (HOTEL)
EL: +8'-11 1/4"

5 HOTEL - EAST ELEVATION
3/64" = 1'-0"

HOTEL ELEVATOR PH
EL: +104'-2"

HOTEL ROOF
EL: +93'-5"

HOTEL LEVEL 7
EL: +83'-5"

HOTEL LEVEL 6
EL: +73'-5"

HOTEL LEVEL 5
EL: +62'-2"

HOTEL LEVEL 4
EL: +52'-2"

HOTEL LEVEL 3
EL: +42'-2"


HOTEL LEVEL 2
EL: +32'-2"

HOTEL LEVEL 1
EL: +14'-6"

NATURAL GRADE (HOTEL)
EL: +8'-11 1/4"

2 HOTEL - WEST ELEVATION (WILLOW ROAD)
3/64" = 1'-0"

Key

 Bird-Friendly Glazing:

- Vertical Elements of the window patterns will be at least 0.25 inches wide at a maximum spacing of 4 inches and/or have horizontal elements at least 0.125 inches wide at a maximum spacing of 2 inches OR
- Bird Safe Glazing shall have a Threat Factor ≤ 30

AND

- Visible Reflectance $\leq 15\%$

Total Facade Area = 78,749.34
 Total Non Bird-Friendly Glazing Area = 13,782.81
 Total Percentage Facade Surface Area that will be Non Bird-Friendly Glazing = 17.5%

HOTEL ELEVATOR PH
EL: +104'-2"

HOTEL ROOF
EL: +93'-5"

HOTEL LEVEL 7
EL: +83'-5"

HOTEL LEVEL 6
EL: +73'-5"

HOTEL LEVEL 5
EL: +62'-2"

HOTEL LEVEL 4
EL: +52'-2"

HOTEL LEVEL 3
EL: +42'-2"

HOTEL LEVEL 2
EL: +32'-2"

HOTEL LEVEL 1
EL: +14'-6"

NATURAL GRADE (HOTEL)
EL: +8'-11 1/4"

4 HOTEL - SECTION - FROM SOUTH
3/64" = 1'-0"

HOTEL ELEVATOR PH
EL: +104'-2"

HOTEL ROOF
EL: +93'-5"

HOTEL LEVEL 7
EL: +83'-5"

HOTEL LEVEL 6
EL: +73'-5"

HOTEL LEVEL 5
EL: +62'-2"

HOTEL LEVEL 4
EL: +52'-2"

HOTEL LEVEL 3
EL: +42'-2"

HOTEL LEVEL 2
EL: +32'-2"

HOTEL LEVEL 1
EL: +14'-6"

NATURAL GRADE (HOTEL)
EL: +8'-11 1/4"

1 HOTEL - SOUTH ELEVATION
3/64" = 1'-0"

The project will implement the lighting measures provided in the Willow Village Master Plan Bird-Safe Design Assessment including:
 The lighting design principles in Section 6.2.1,
 Mitigation Measures 6-9 in Section 6.3.1.2,
 Mitigation Measure 10 in Section 6.3.2.2,
 Mitigation Measures 11 and 12 in Section 6.3.3.2,
 City occupancy sensor requirements (either via compliance with City lighting requirements [i.e., requirement C] or the implementation of the proposed alternative City measures in Section 6.2.2).
 A subsequent report prepared by a qualified biologist will accompany the project's building permit submittal to document compliance of the lighting design for the Office Campus with these requirements.

3/21/2022 4:52:56 PM

SCALE: As indicated
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
07/17/2023	ACP

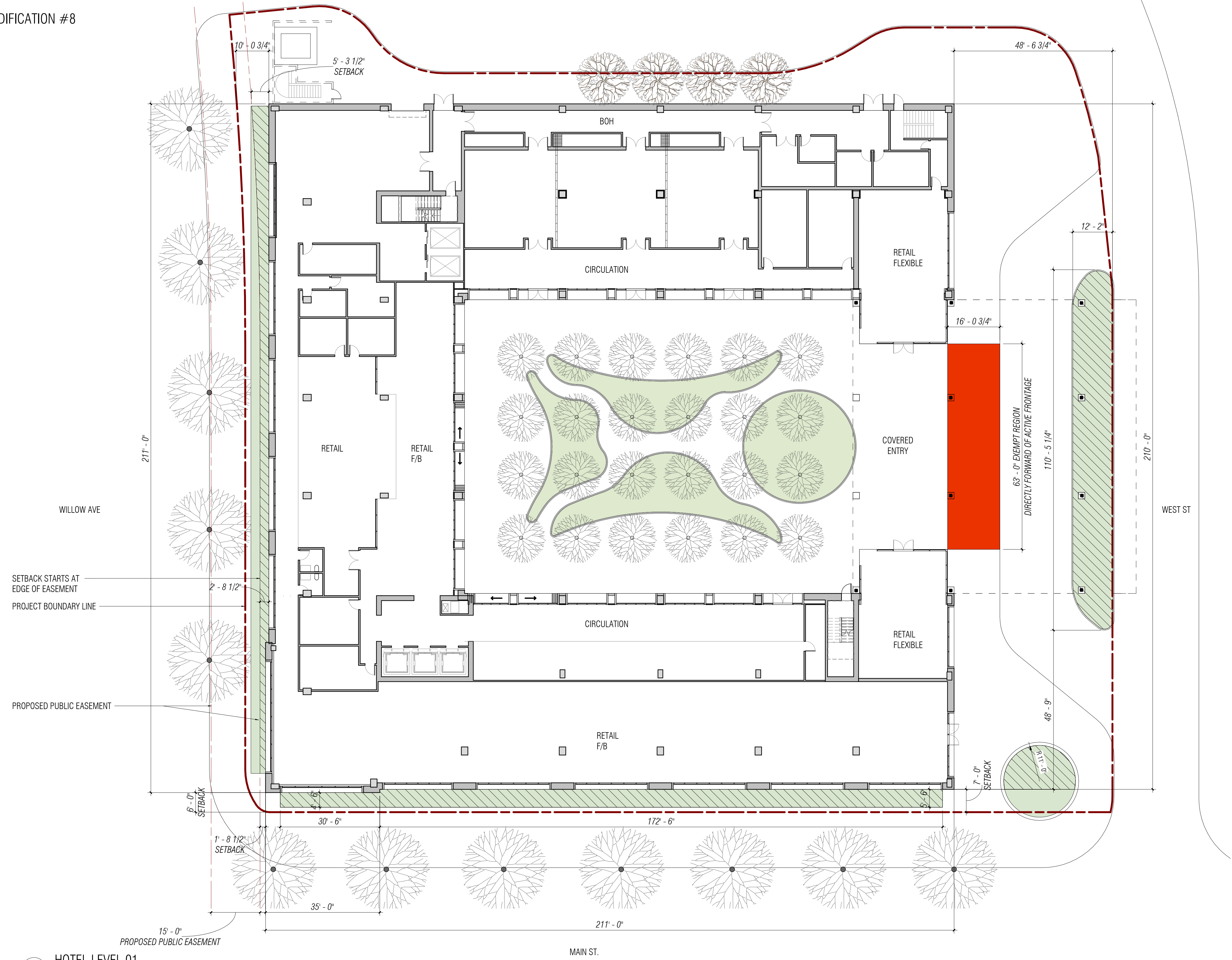
REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
 Willow Village Hotel
 Bird Friendly Glazing

DRAWING NO:
A9.15

FRONTAGE LANDSCAPE SUMMARY - HOTEL			
LOCATION	SETBACK AREA	FRONTAGE AREA	% FRONTAGE
WILLOW AVE	590 sf	574 sf	97%
MAIN ST	1,442 sf	1,086 sf	75%
WEST ST	9,169 sf	1,516 sf	16%*

* SEE MODIFICATION #8



1 HOTEL LEVEL 01
1/16" = 1'-0"



3/13/2023 5:20:17 PM

PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 - Hotel
Menlo Park, CA

SCALE: 1/16" = 1'-0"
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
07/17/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
Willow Village Hotel
Frontage Diagram

DRAWING NO:
A9.16

1 HOTEL LEVEL 01
1/16" = 1'-0"

TRASH SORTING FOR
COMPOSTING, TRASH,
AND RECYCLING



- Key
- Trash Room
 - Trash Collection Area
 - Trash Circulation



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 - Hotel
Menlo Park, CA

SCALE: As indicated
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MILESTONES	
DATE	ISSUE
07/17/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
Willow Village Hotel
Refuse, Recycling and Zero Waste
Diagram

DRAWING NO:
A9.20

DRAWING NAME: \\Bk1-c\vol1\157064\Willow_Village\ENR\2-Home\1 - SD\SHEETS\01_Hotel\Entitlements_Set\1.00_EXISTING_CONDITIONS.dwg
 PLOT DATE: 03-24-23 PLOTTED BY: jhlo

PENINSULA INNOVATION PARTNERS, LLC
 APN 055-440-190
 DOC. 2015-010817
 AREA = 1.650± ACRES
 PTN. PARCEL N
 99 M 81

BASIS OF SURVEY

BASIS OF BEARINGS

THE BEARING OF NORTH 10° 07' 20" EAST TAKEN ON THE MONUMENT LINE OF HAMILTON AVENUE AS SHOWN ON THAT CERTAIN SUBDIVISION MAP OF MENLO INDUSTRIAL CENTER FILED FOR RECORD ON OCTOBER 1, 1979, IN BOOK 99 OF SUBDIVISION MAPS AT PAGE 81, OFFICIAL RECORDS OF SAN MATEO COUNTY WAS TAKEN AS THE BASIS FOR ALL BEARINGS SHOWN HEREON.

BENCHMARK

BRASS DISK IN CONCRETE POST, STAMPED "W150". 575'± SOUTHWEST OF THE INTERSECTION OF WILLOW ROAD AND HIGHWAY 84. 90'± WEST OF THE CENTERLINE OF WILLOW ROAD. 19'± NORTH OF THE NORTHERLY RAIL OF THE RAILROAD TRACKS.
 ELEVATION= 9.67 (NAVD88).

TOPOGRAPHIC SURVEY

TOPOGRAPHIC INFORMATION SHOWN PER SURVEY PERFORMED BY FREYER & LAURETTA, DATED 6/24/21.

PENINSULA INNOVATION PARTNERS, LLC
 APN 055-440-230
 DOC. 2015-010817
 AREA = 3.526± ACRES
 PARCEL K
 52 PM 83
 PARCEL SUBJECT TO RECIPROCAL UTILITY EASEMENT 2018-042223 O.R.

DEMOLITION AND PARCELIZATION PER SEPARATE PACKAGE

PENINSULA INNOVATION PARTNERS, LLC
 APN 055-440-130
 DOC. 2015-010817
 AREA = 1.470± ACRES
 PARCEL P
 99 M 81
 PARCEL SUBJECT TO RECIPROCAL UTILITY EASEMENT 2018-042223 O.R.

PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 - Hotel
 Menlo Park, CA

SCALE:
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DIMENSIONS USE FIGURED DIMENSIONS ONLY. OR BEER CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

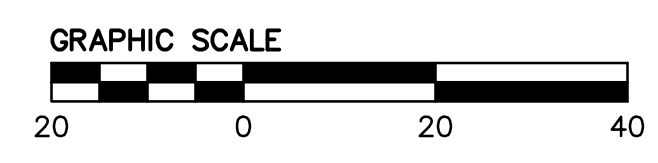
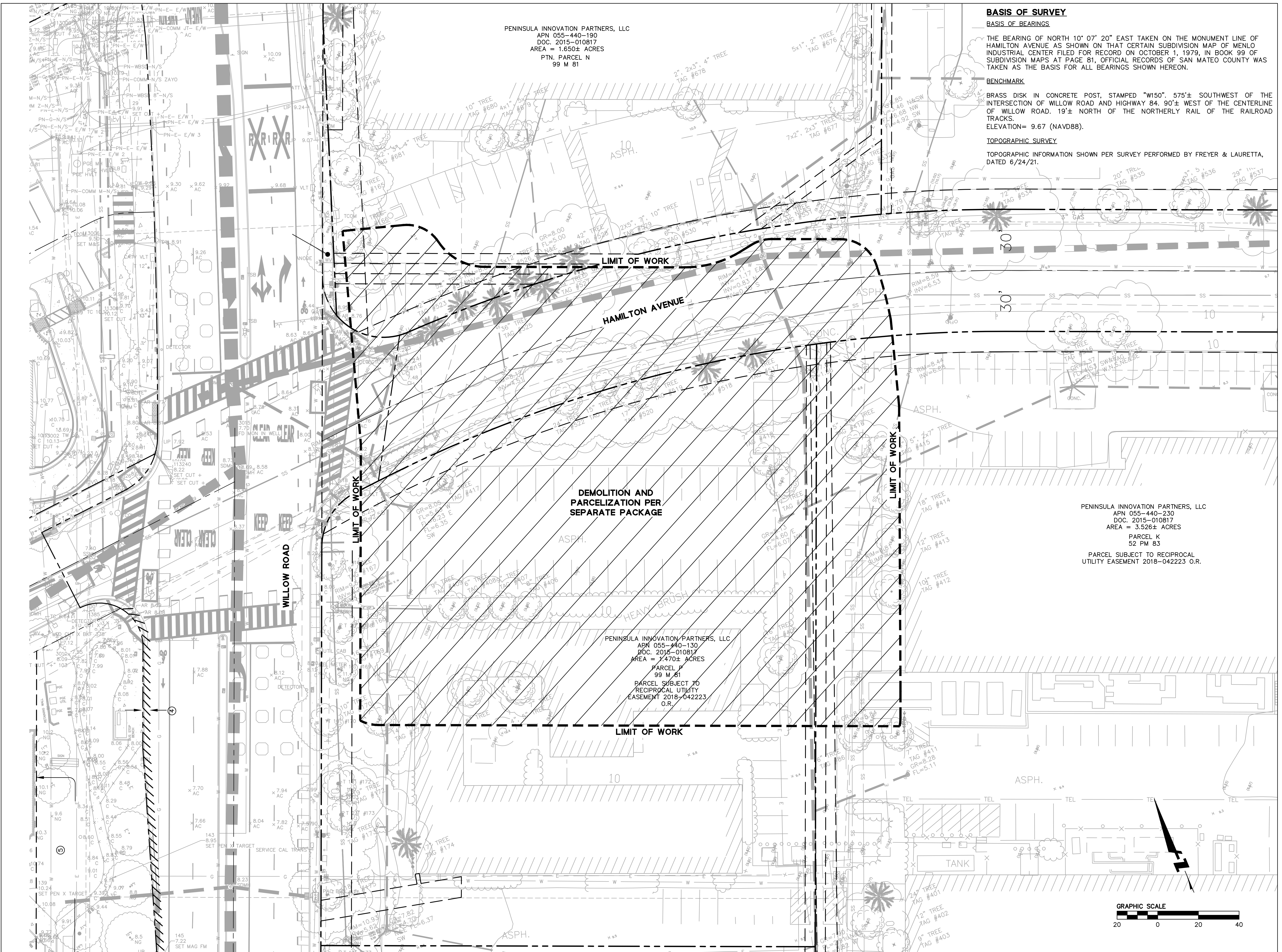
MILESTONES	
DATE	ISSUE
07/17/2023	ACP

REVISIONS

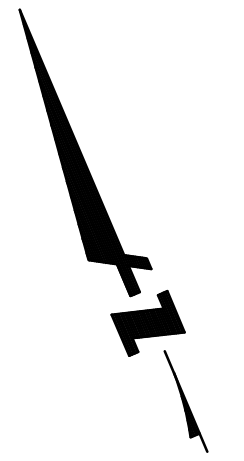
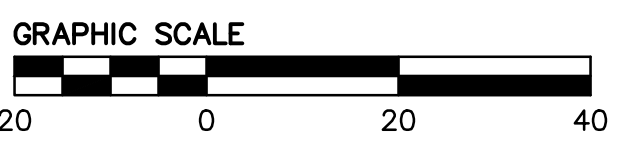
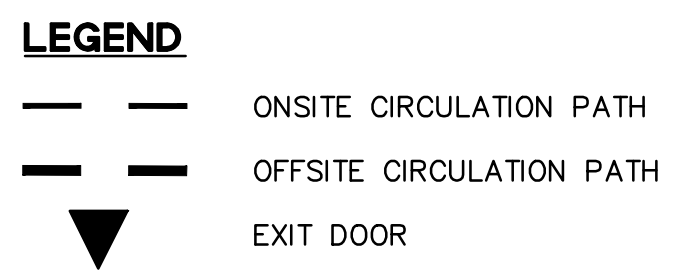
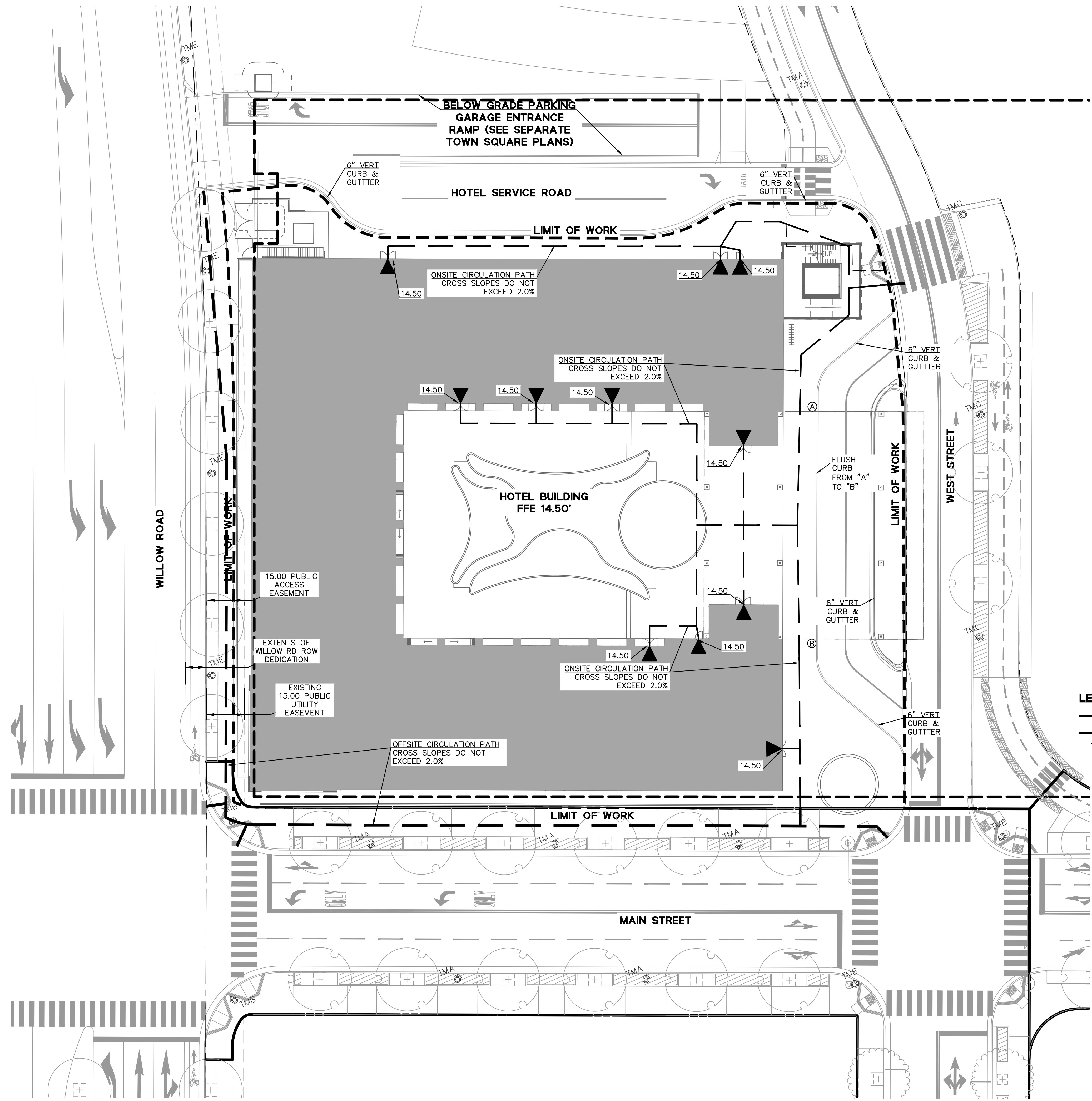
NO.	DATE	ISSUE

DRAWING TITLE:
TOPOGRAPHIC SURVEY

DRAWING NO:
C1.00



DRAWING NAME: \\Bk1-c\vol\A\2015\157064_Willow_Village\ENG\2-Hotel\1 - SD\SHEETS\01_Hotel_Entitlements_Set\C1.01 SITE CIRCULATION PLAN.dwg
 PLOT DATE: 03-24-23 PLOTTED BY: thlo



WILLOW VILLAGE
 Architectural Control Package - Parcel 1 - Hotel
 Menlo Park, CA

PENINSULA INNOVATION PARTNERS

SCALE:
 NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES

DATE	ISSUE
07/17/2023	ACP

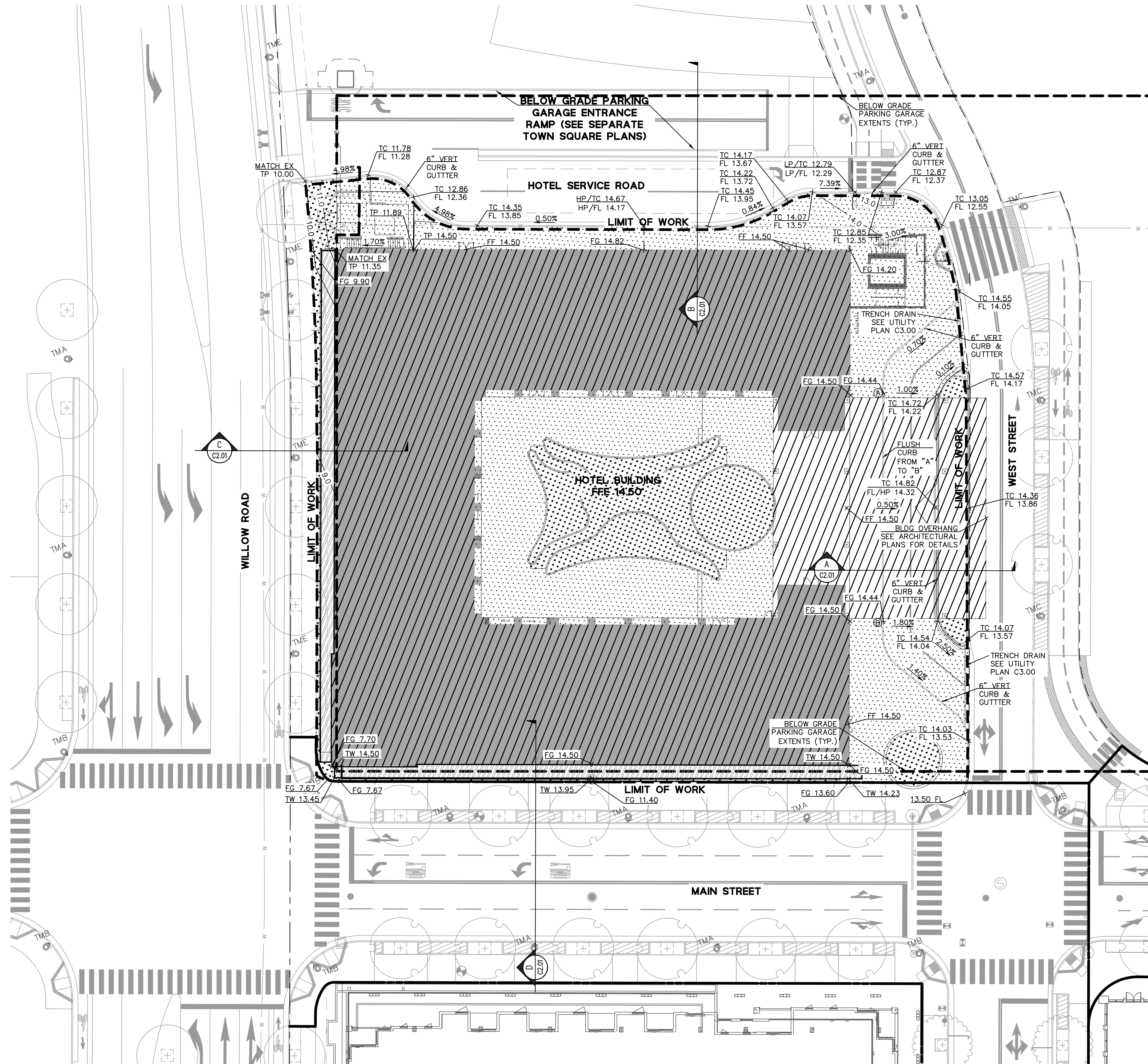
REVISIONS

NO.	DATE	ISSUE

DRAWING TITLE:
SITE CIRCULATION PLAN

DRAWING NO:
C1.01

DRAWING NAME: \\Bk1-c\vol\157064\Willow_Village\ENG\2-Hotel\1 - SD\SHEETS\01_Hotel\Entitlements_Set\C2.00 GRADING PLAN.dwg
 PLOT DATE: 03-24-23 PLOTTED BY: jhlo



LEGEND:

- IMPERVIOUS AREA (PAVEMENT)
- IMPERVIOUS AREA (ROOF)
- PERVIOUS AREA (LANDSCAPE)
- TREATMENT CONTROL MEASURE
- LIMIT OF WORK

NOTE:
 THE PROJECT IS IN FLOOD ZONE AE AND WILL BE DESIGNED AND CONSTRUCTED IN COMPLIANCE WITH CURRENT FEMA REGULATIONS, THE CITY'S FLOOD DAMAGE PREVENTION ORDINANCE, AND THE MPC 16.45.130(4) (HAZARD MITIGATION AND SEA LEVEL RISE RESILIENCY).

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 - Hotel
 Menlo Park, CA

PENINSULA INNOVATION PARTNERS

SCALE:
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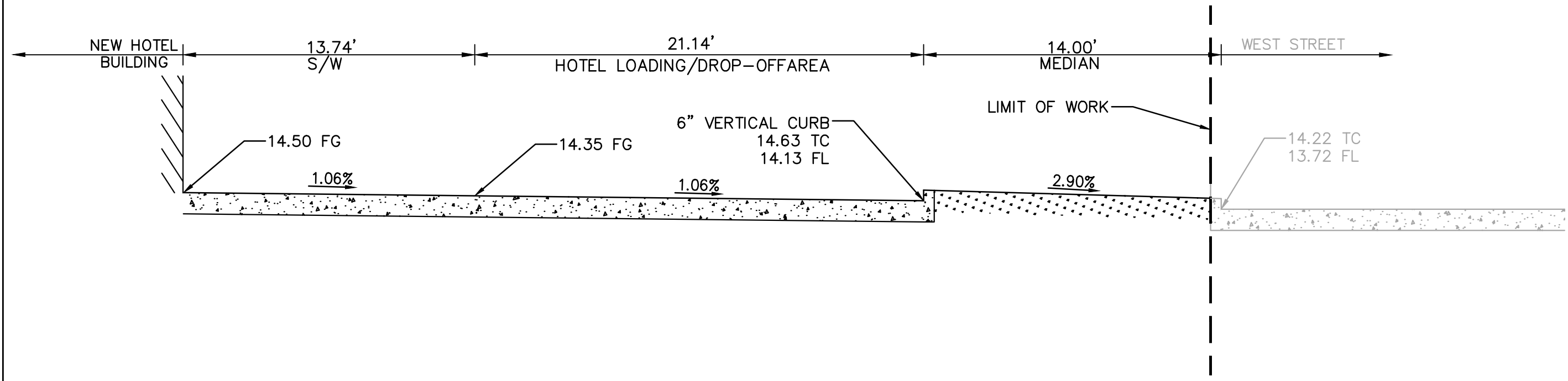
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DATE	ISSUE
07/17/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

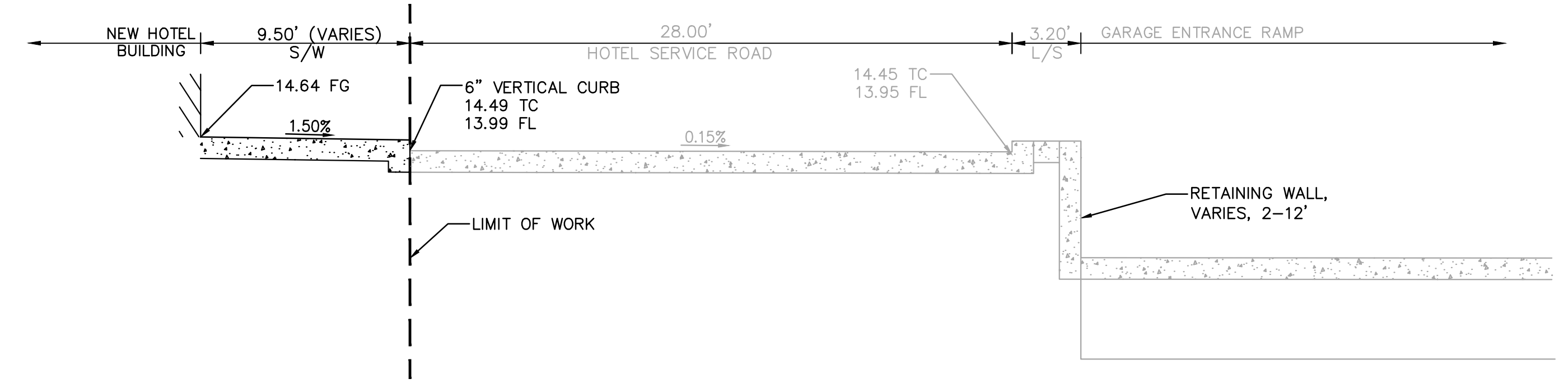
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GRADING AND DRAINAGE PLAN

DRAWING NO:
C2.00

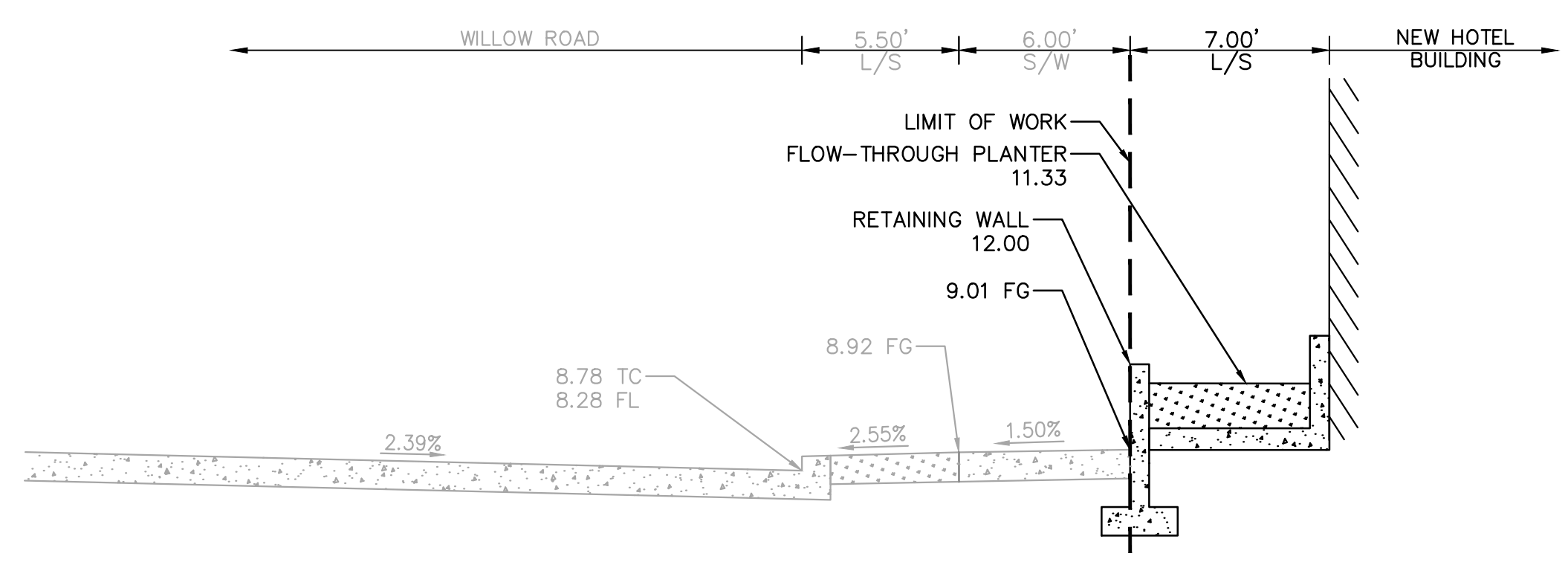
DRAWING NAME: \\Bk1-c\vol\A\2015\157064-Willow_Village\log\ENG\2-Hotel\1 - SD\SHEETS\01_Hotel_Entitlements_Set\C2.01 GRADING SECTIONS.dwg
 PLOT DATE: 03-24-23 PLOTTED BY: jhlo



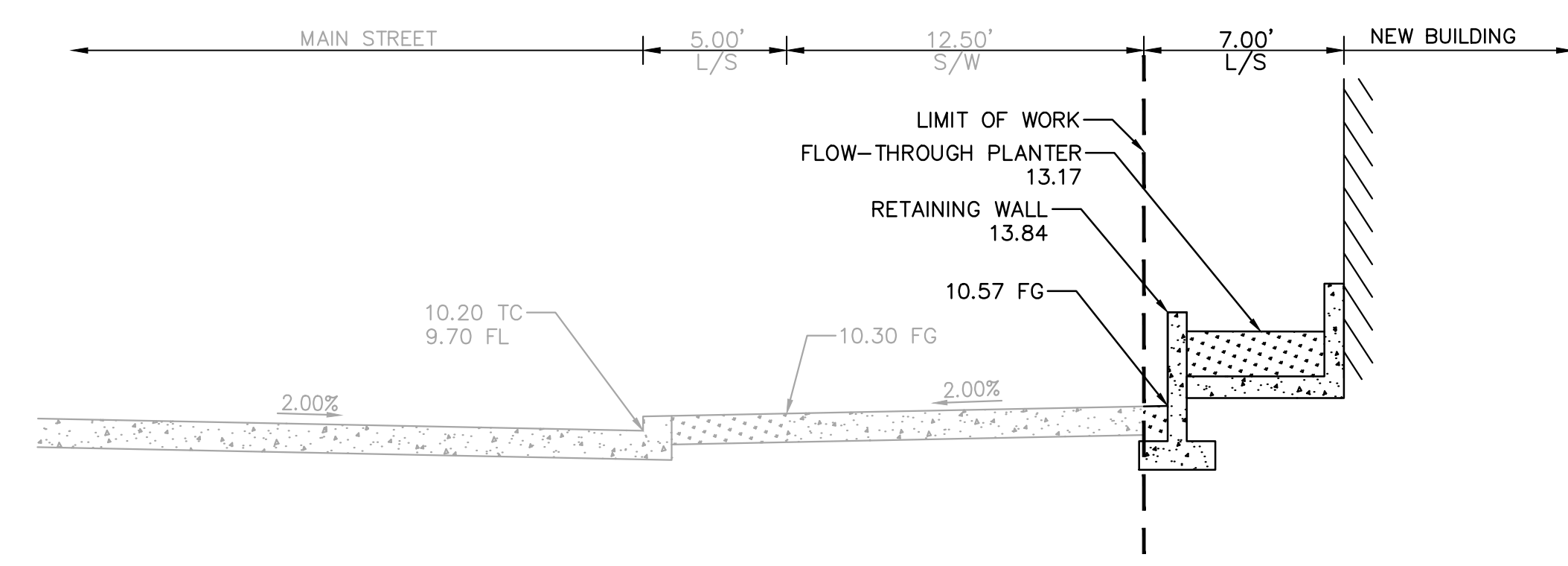
A
C1.0 CROSS SECTION A



B
C1.0 CROSS SECTION B



C
C1.0 CROSS SECTION C



D
C3.0 CROSS SECTION D

PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 - Hotel
 Menlo Park, CA

SCALE:
 NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

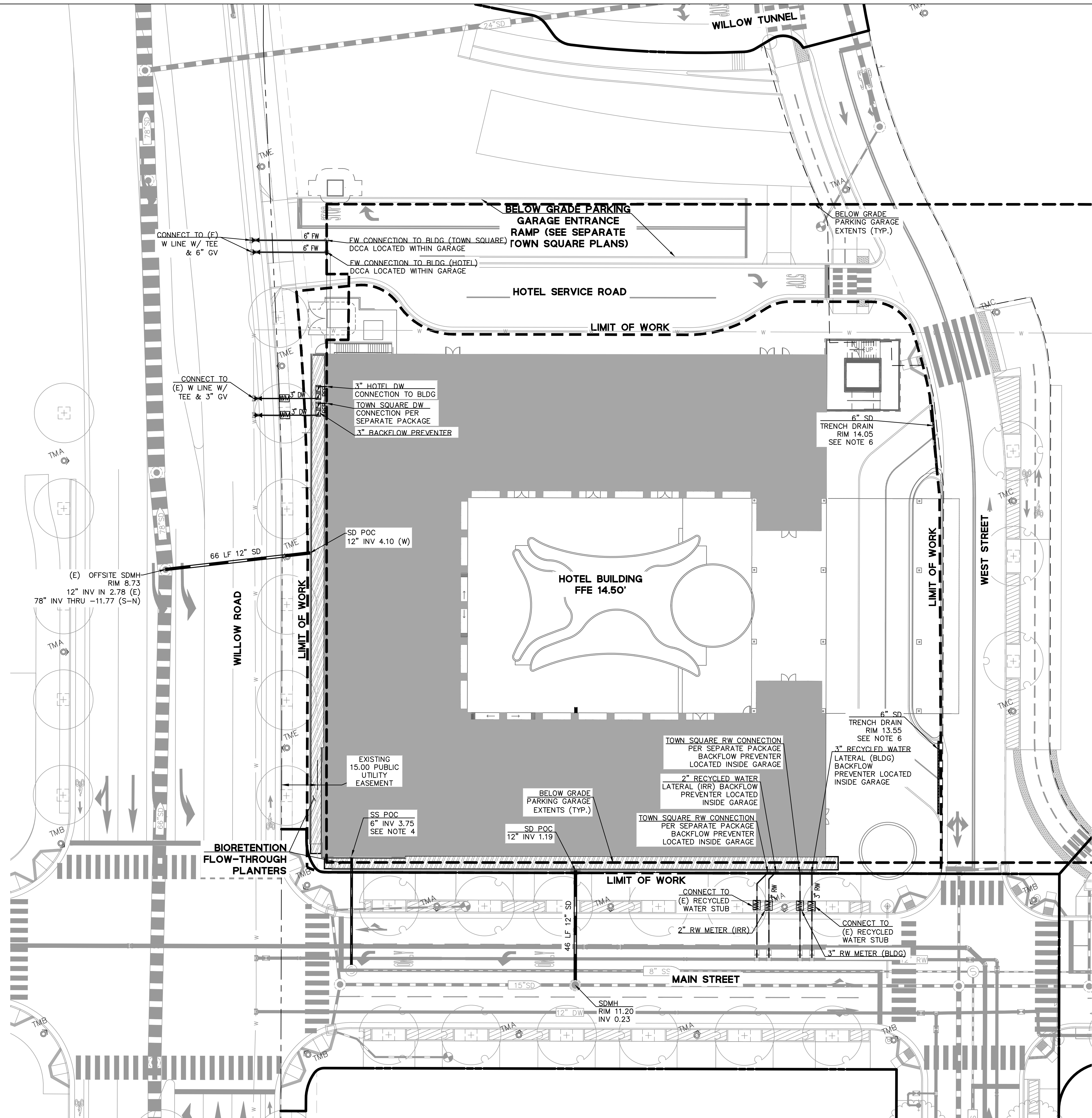
MILESTONES	
DATE	ISSUE
07/17/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
GRADING SECTIONS

DRAWING NO:
C2.01

DRAWING NAME: \\Bk1-c\vol\2015\157064_Willow_Village\ENR\2-Hotel\1 - SD\SHEETS\01_Hotel_Entitlements_Set\C3.00 UTILITY PLAN.dwg
 PLOT DATE: 03-24-23 PLOTTED BY: jhlo

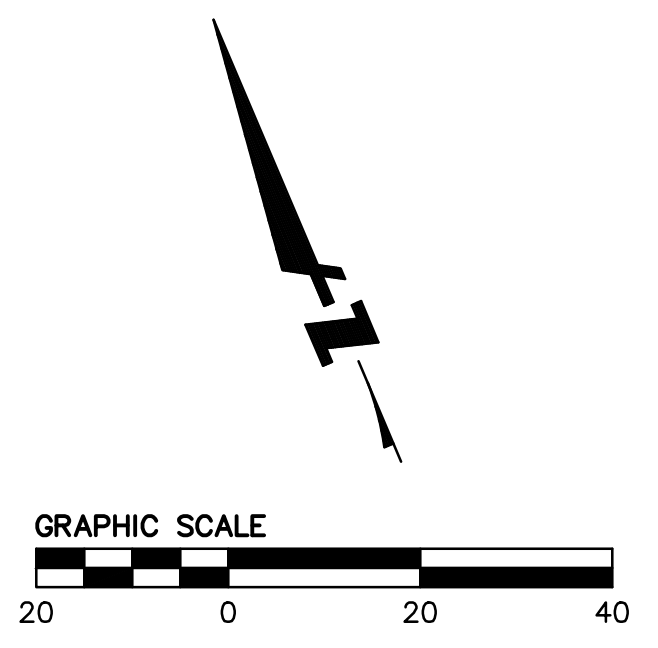


LEGEND

- PROPERTY LINE
- LIMIT OF WORK
- STORM DRAIN LINE
- SANITARY SEWER LINE
- DOMESTIC WATER LINE
- FIRE WATER LINE
- RECYCLED WATER LINE
- TREATMENT AREA (FLOW-THROUGH PLANTER)
- TRENCH DRAIN

NOTES:

1. PROPOSED GRADING IS PRELIMINARY AND SUBJECT TO FINAL DESIGN. FINAL GRADING MAY REQUIRE ADDITIONAL ADA ACCESSIBLE RAMPS AND/OR SLOPING OF THE BUILDING SLABS. FINAL FINISH FLOOR ELEVATIONS ARE SUBJECT TO FINAL CIVIL, STRUCTURAL AND ARCHITECTURAL COORDINATION. DUE TO THE BASE FLOOD ELEVATIONS LIMITS ADDITIONAL EXTERIOR RAMPING/STAIRS MAY BE REQUIRED WHEN INTERNAL FLOOD PROOFING CANNOT BE PROVIDED.
2. DOMESTIC WATER AND STORM MAINS WITHIN PRIVATE STREETS ARE PRIVATE UNLESS OTHERWISE NOTED.
3. BUILDING SEWER TO BE COLLECTED BY PLUMBING AND DISCHARGED TO THE OFFSITE SEWER VIA GARAGE PLUMBING.
4. SEPARATE IRRIGATION LATERALS PROVIDED THROUGH THE GARAGE.
5. TRENCH DRAINS TO BE COLLECTED BY PLUMBING AND PUMPED TO FLOW THROUGH PLANTERS FOR TREATMENT VIA GARAGE PLUMBING.



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 - Hotel
 Menlo Park, CA

SCALE:
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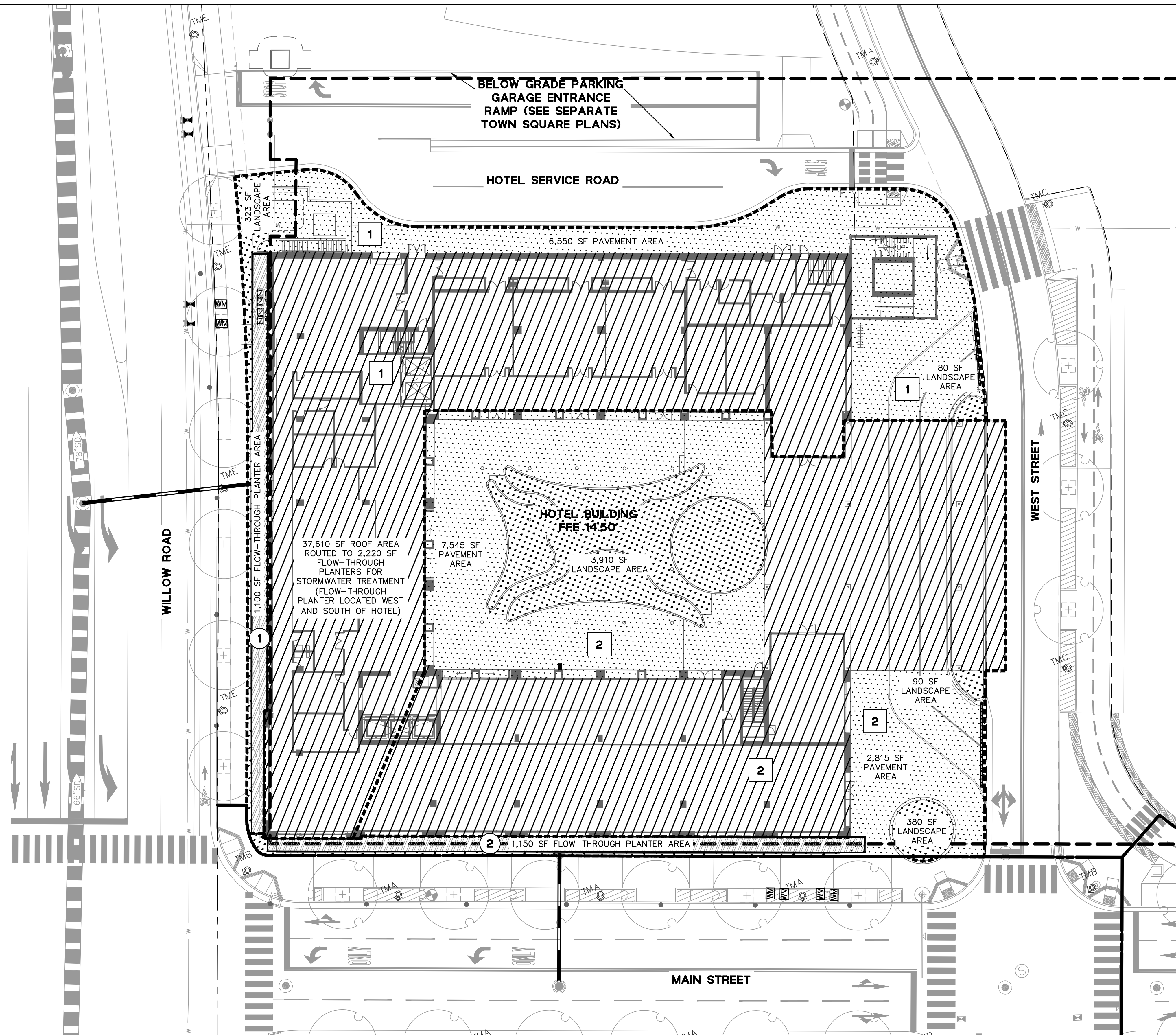
MILESTONES	
DATE	ISSUE
07/17/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

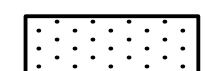

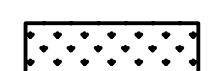


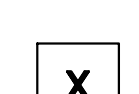

DRAWING TITLE:
UTILITY PLAN

DRAWING NO:
C3.00

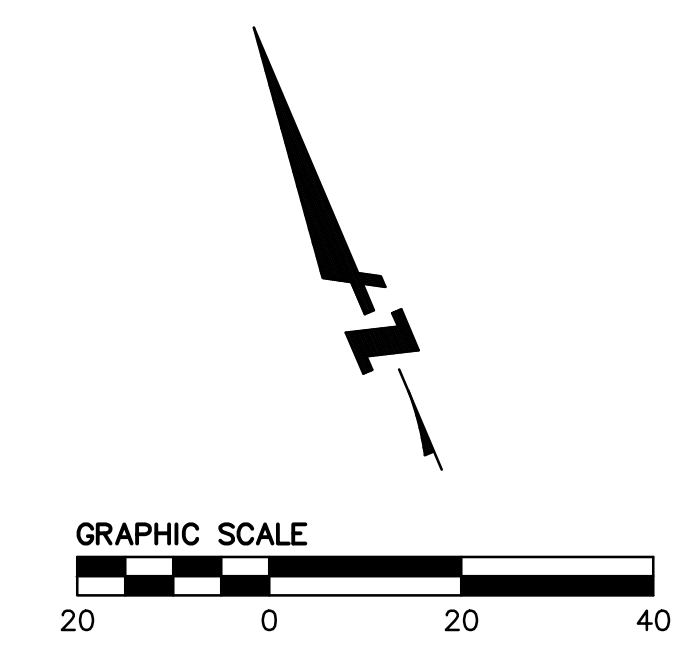
DRAWING NAME: \\Bk1-c\vol1\2015\157064_Willow_Village\ENG\2-Hotel\1 - SD\SHEETS\01_Hotel\Entitlements_Set\C4.00 STORMWATER CONTROL PLAN.dwg
 PLOT DATE: 03-24-23 PLOTTED BY: thlo



LEGEND:

-  IMPERVIOUS AREA (PAVEMENT)
-  IMPERVIOUS AREA (ROOF)
-  PERVIOUS AREA (LANDSCAPE)
-  TREATMENT CONTROL MEASURE (FLOW-THROUGH PLANTER)
-  DRAINAGE MANAGEMENT BOUNDARY
-  DRAINAGE MANAGEMENT AREA "X"
-  TREATMENT CONTROL MEASURE "X"

PRELIMINARY STORMWATER CALCULATIONS							
DMA	TREATMENT CONTROL MEASURE TYPE	DMA AREA (SF)	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	EFFECTIVE IMPERVIOUS AREA (SF)	REQUIRED TREATMENT AREA (SF, 4% EFFECTIVE IMPERVIOUS AREA)	PROVIDED TCM AREA (SF)
1	FLOW-THROUGH PLANTER	28,828	27,325	1,503	27,475	1099	1,100
2		33,598	28,098	5,530	28,651	1,146	1,150
TOTAL		62,426	55,423	7,033	56,123	2,245	2,250



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 - Hotel
 Menlo Park, CA

SCALE:
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

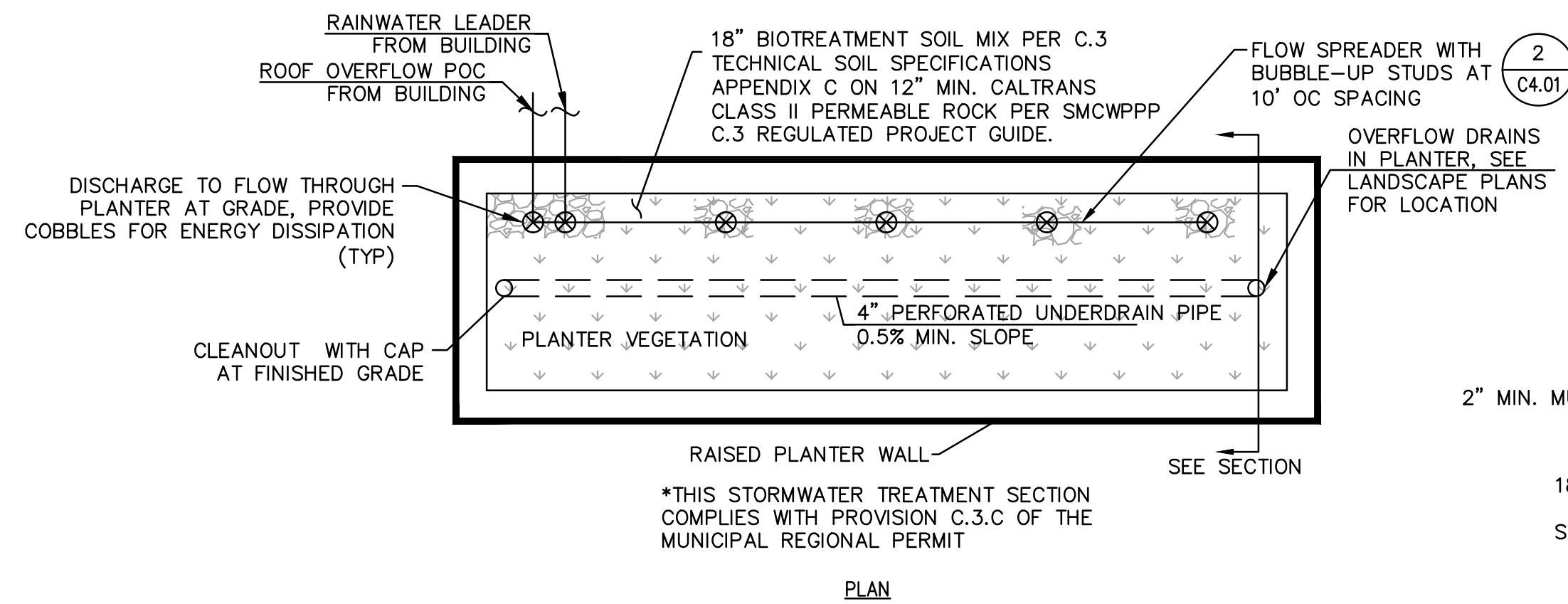
MILESTONES	
DATE	ISSUE
07/17/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
STORMWATER CONTROL PLAN

DRAWING NO:
C4.00

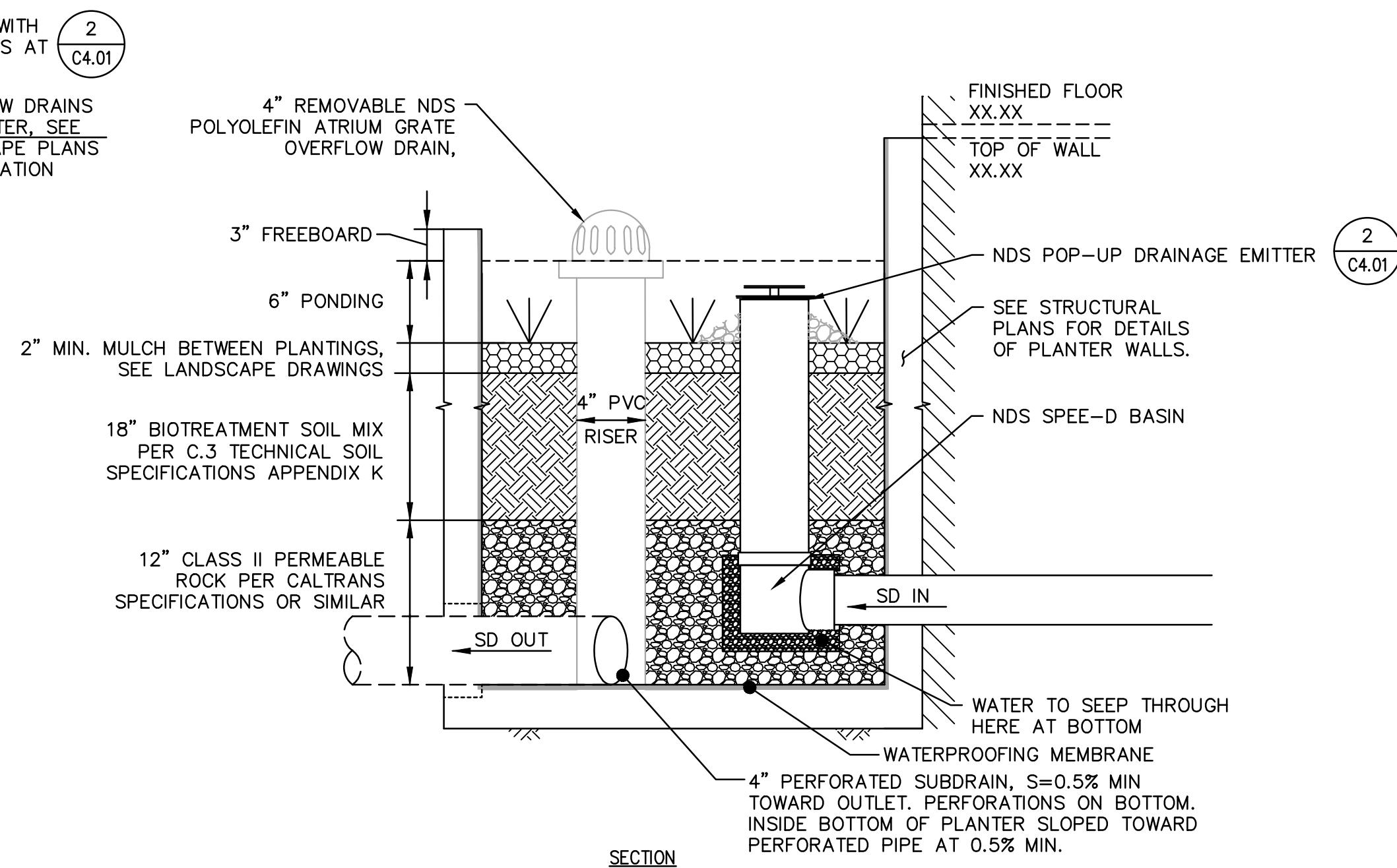
DRAWING NAME: \\Bk1-c\vol\A\2015\157064_Willow_Village\log\ENG\2-Hotel\1 - SD\SHEETS\01_Hotel\Entitlements_Set\C4.01_STORMWATER_CONTROL_DETAILS.dwg
 PLOT DATE: 03-24-23 PLOTTED BY: jhlo



NOTES:

1. FITTINGS ARE SCHEMATIC. CONFIRM SIZING AND DIMENSIONS WITH MANUFACTURER.
2. DETAILS SHOW APPROXIMATE LAYOUT OF PERFORATED PIPE, OVERFLOW INLETS, AND BUBBLE-UP STRUCTURES. REFER TO UTILITY PLAN FOR EXACT LOCATIONS. REFER TO HORIZONTAL CONTROL AND GRADING PLANS FOR CURB LAYOUT.
3. CONTRACTOR SHALL CONTACT CIVIL ENGINEER FOR OBSERVATION OF PERFORATED PIPE LAYOUT (PRIOR TO BACKFILL) AND OVERFLOW INLET INSTALLATION. PROVIDE 2 DAYS MINIMUM NOTICE.
4. BOTTOM OF PLANTER SHALL BE SLOPED ALONG LENGTH OF PLANTER TO OUTLET AT LOW POINT TO PROVIDE 0.5% SLOPE OF PERFORATED SUBDRAIN PIPE. BOTTOM OF PLANTER ELEVATION NOTED IS FOR LOW POINT OF PLANTER. HIGH POINT FOR BOTTOM OF PLANTER WILL BE UP TO 11" HIGHER, DEPENDING ON THE LENGTH OF PLANTER.
5. SEAL PIPE PENETRATION THRU BEAM AT BUILDING PER STRUCTURAL/PLUMBING DETAILS.

1
FLOW THROUGH PLANTER
 SCALE: NTS



2
NDS POP-UP DRAINAGE EMITTERS
 SCALE: NTS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 - Hotel
 Menlo Park, CA
 PENINSULA INNOVATION PARTNERS

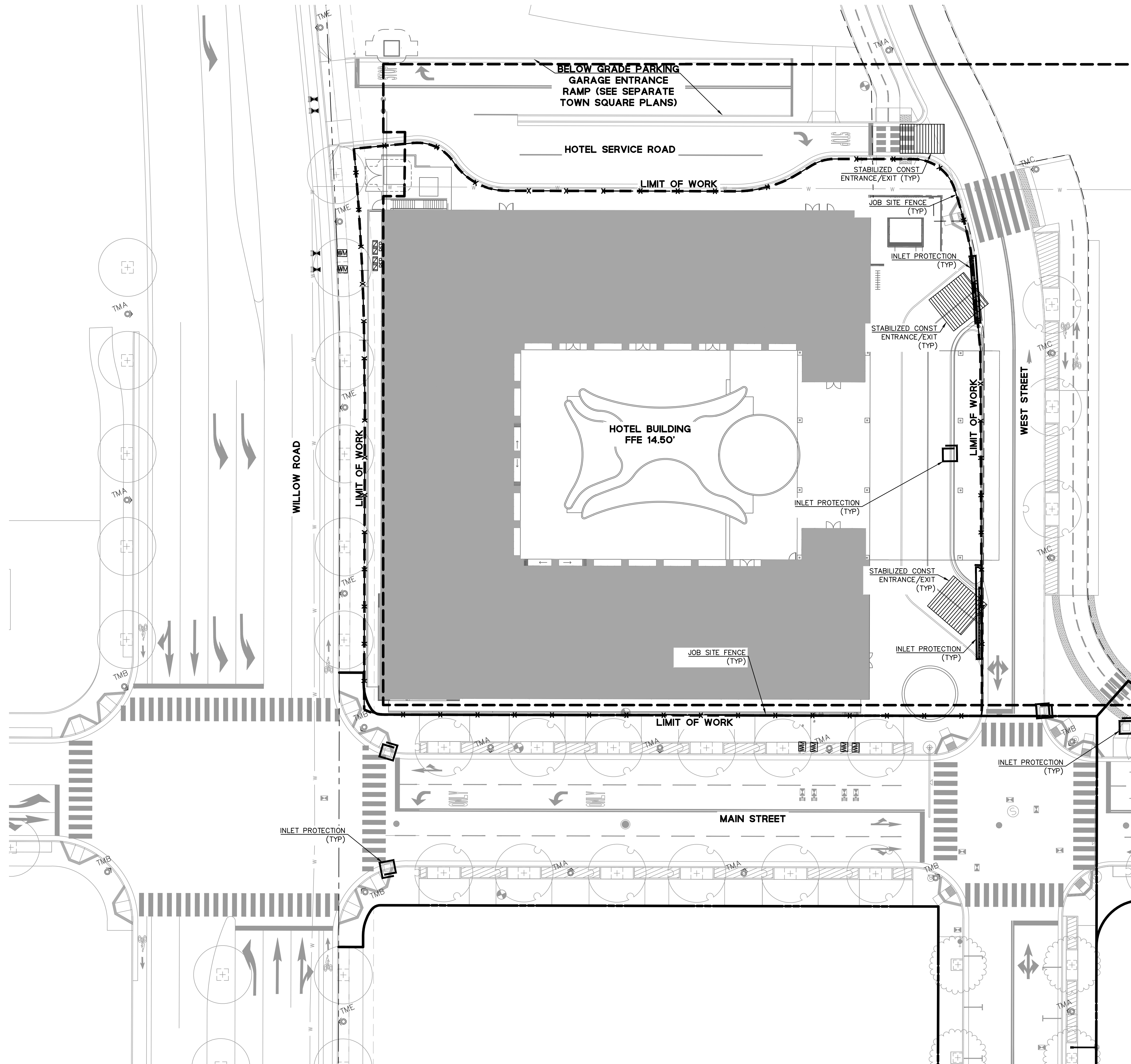
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MILESTONES	
DATE	ISSUE
07/17/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
STORMWATER CONTROL DETAILS
 DRAWING NO:
C4.01

DRAWING NAME: \\Bk1-c\vol1\2015\157064_Willow_Village\ENG\2-Hotel\1 - SD\SHEETS\01_Hotel\Entitlements_Set\C5.00 EROSION CONTROL PLAN.dwg
 PLOT DATE: 03-24-23 PLOTTED BY: jhlo

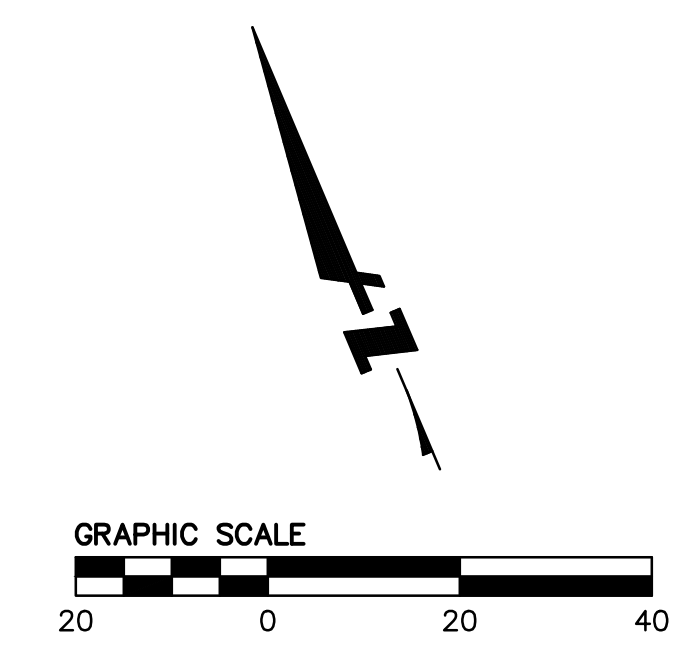


EROSION CONTROL LEGEND:

- JOB SITE FENCE (WITH SILT FENCE & FIBER ROLL)
- STABILIZED CONSTRUCTION ENTRANCE/EXIT
- INLET PROTECTION

EROSION CONTROL NOTES:

1. THE EROSION CONTROL SHOWN ON THIS SHEET IS ONE SCENARIO. EROSION CONTROL SHALL BE UPDATED FOR EACH STAGE OF CONSTRUCTION, AND CONSTRUCTION ENTRANCES AND EXITS SHALL BE UTILIZED TO MATCH THE CURRENT CONSTRUCTION STAGING PLAN. UPDATE EROSION CONTROL MEASURES TO MATCH CURRENT SITE CONDITIONS, AS REQUIRED IN THE PROJECT SWPPP AND STATE CONSTRUCTION GENERAL PERMIT.



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 - Hotel
 Menlo Park, CA

SCALE:
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
07/17/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
EROSION CONTROL PLAN

DRAWING NO:
C5.00

DRAWING NAME: \\Bk1-c\vol1\2015\157064\Willow_Village\ENG\2-Hotel\1 - SD\SHEETS\01_Hotel\Entitlements_Set\C6.00 FIRE ACCESS PLAN.dwg
 PLOT DATE: 03-24-23 PLOTTED BY: jho

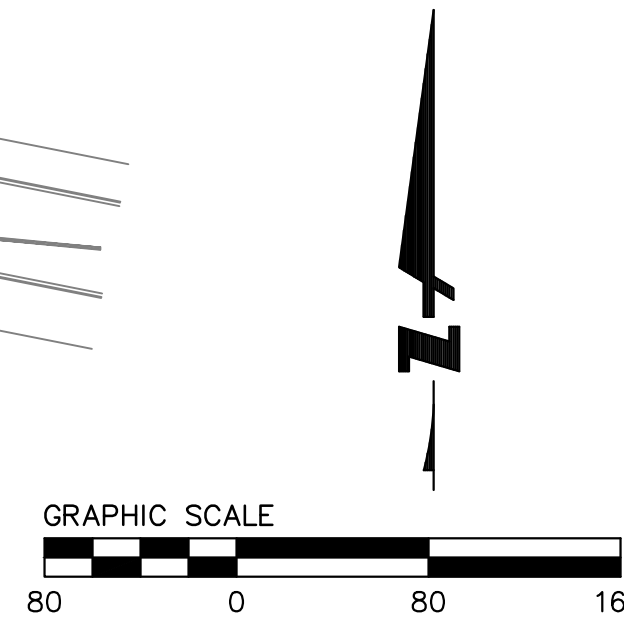


LEGEND

- FIRE ACCESS ROAD
- EMERGENCY VEHICLE ACCESS EASEMENT (EVAE)
- FIRE HOSE LENGTH FROM FIRE ACCESS
- 30 FT OFFSET OF FIRE LANE
- FIRE HYDRANT (PUBLIC)
- FIRE HYDRANT (PRIVATE)
- 150' RADIUS AROUND FH
- PROPERTY LINE

NOTES

1. THE ROADWAY SECTION WILL COMPLY WITH MENLO PARK FIRE DISTRICT STANDARD SECTION 101.6 REQUIREMENT FOR THE IMPOSED LOAD OF A FIRE APPARATUS WEIGHING AT LEAST 75,000 LBS.



WILLOW VILLAGE
 Architectural Control Package - Parcel 1 - Hotel
 Menlo Park, CA

PENINSULA INNOVATION PARTNERS

SCALE:
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. CRISIS CALIBRATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

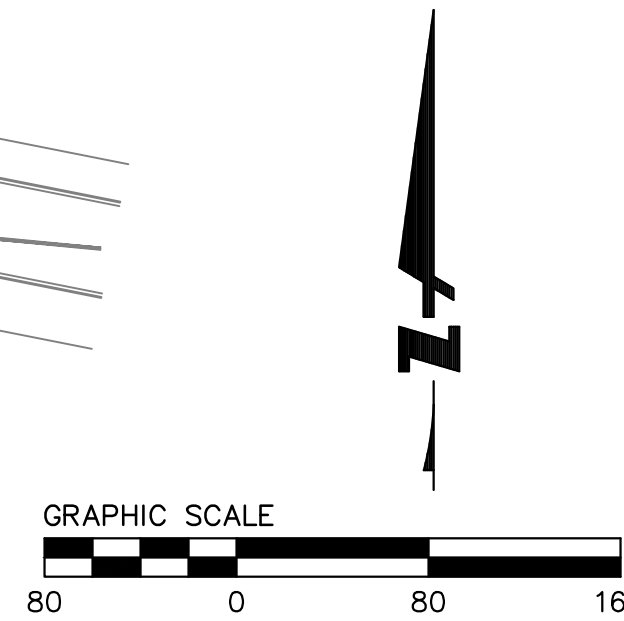
MILESTONES	
DATE	ISSUE
07/17/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
FIRE ACCESS PLAN

DRAWING NO:
C6.00

DRAWING NAME: \\Bk1-c\vol\A\2015\157064\Willow_Village\ENG\2-Home\1 - SD\SHEETS\01_Hotel\Entitlements_Set\C6.01_FIRE_HYDRANT_PLAN.dwg
 PLOT DATE: 03-24-23 PLOTTED BY: jhlo



- LEGEND**
- FIRE ACCESS ROAD
 - EMERGENCY VEHICLE ACCESS EASEMENT (EVAE)
 - FIRE HOSE LENGTH FROM FIRE ACCESS
 - 30 FT OFFSET OF FIRE LANE
 - FIRE HYDRANT (PUBLIC)
 - FIRE HYDRANT (PRIVATE)
 - 150' RADIUS AROUND FH
 - PROPERTY LINE
- NOTES**
1. THE ROADWAY SECTION WILL COMPLY WITH MENLO PARK FIRE DISTRICT STANDARD SECTION 101.6 REQUIREMENT FOR THE IMPOSED LOAD OF A FIRE APPARATUS WEIGHING AT LEAST 75,000 LBS.

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 - Hotel
 Menlo Park, CA

SCALE:
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. OR SEE CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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DATE	ISSUE
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NO.	DATE	ISSUE

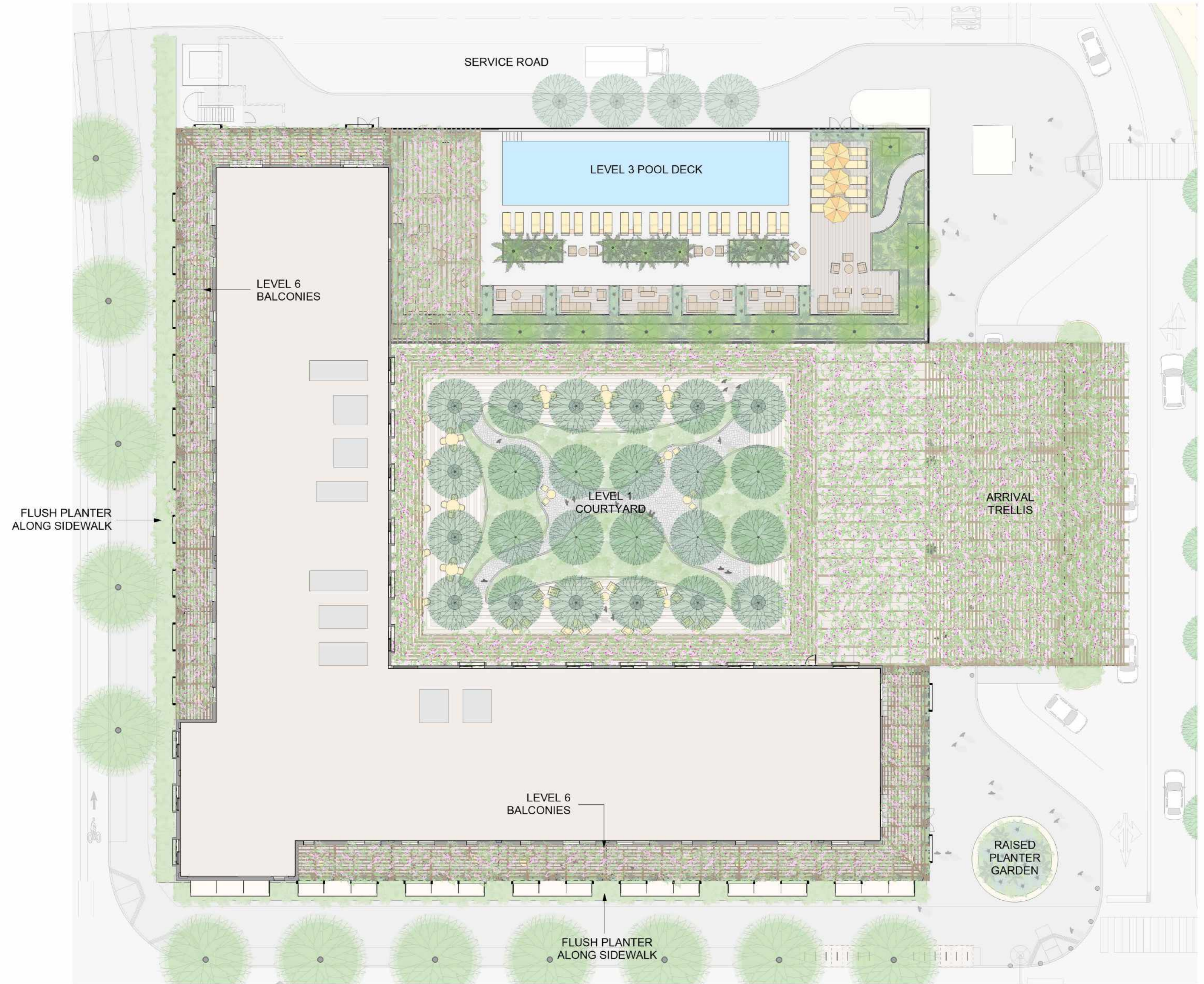
DRAWING TITLE:
FIRE HYDRANT PLAN

DRAWING NO:
C6.01

PENINSULA INNOVATION PARTNERS

TARLTON PROPERTIES, INC.
 APN: 055-472-0330

VALACAL COMPANY
 APN: 055-471-050



1 Landscape Masterplan
 SCALE: 1/16"=1'
 0' 10' 20' 40' 60' PLAN

PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 - Hotel
 Menlo Park, CA

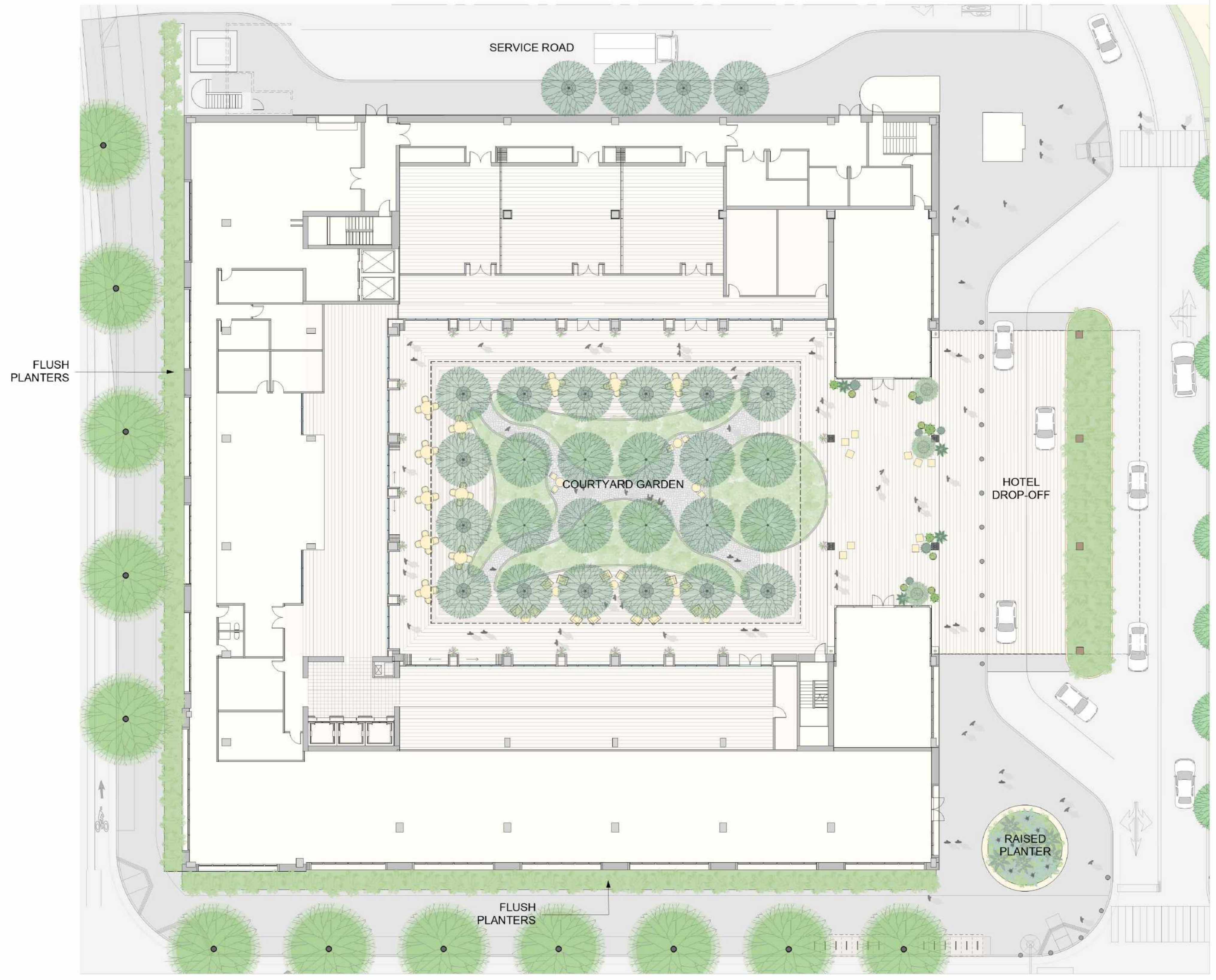
SCALE: 1/16" = 1'
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MILESTONES	
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DRAWING TITLE:
WILLOW VILLAGE HOTEL
LANDSCAPE MASTER PLAN

DRAWING NO:
L1.00



1 Level 1 Plan
 SCALE: 1/16"=1'
 0' 10' 20' 40' 60' PLAN

PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 - Hotel
 Menlo Park, CA

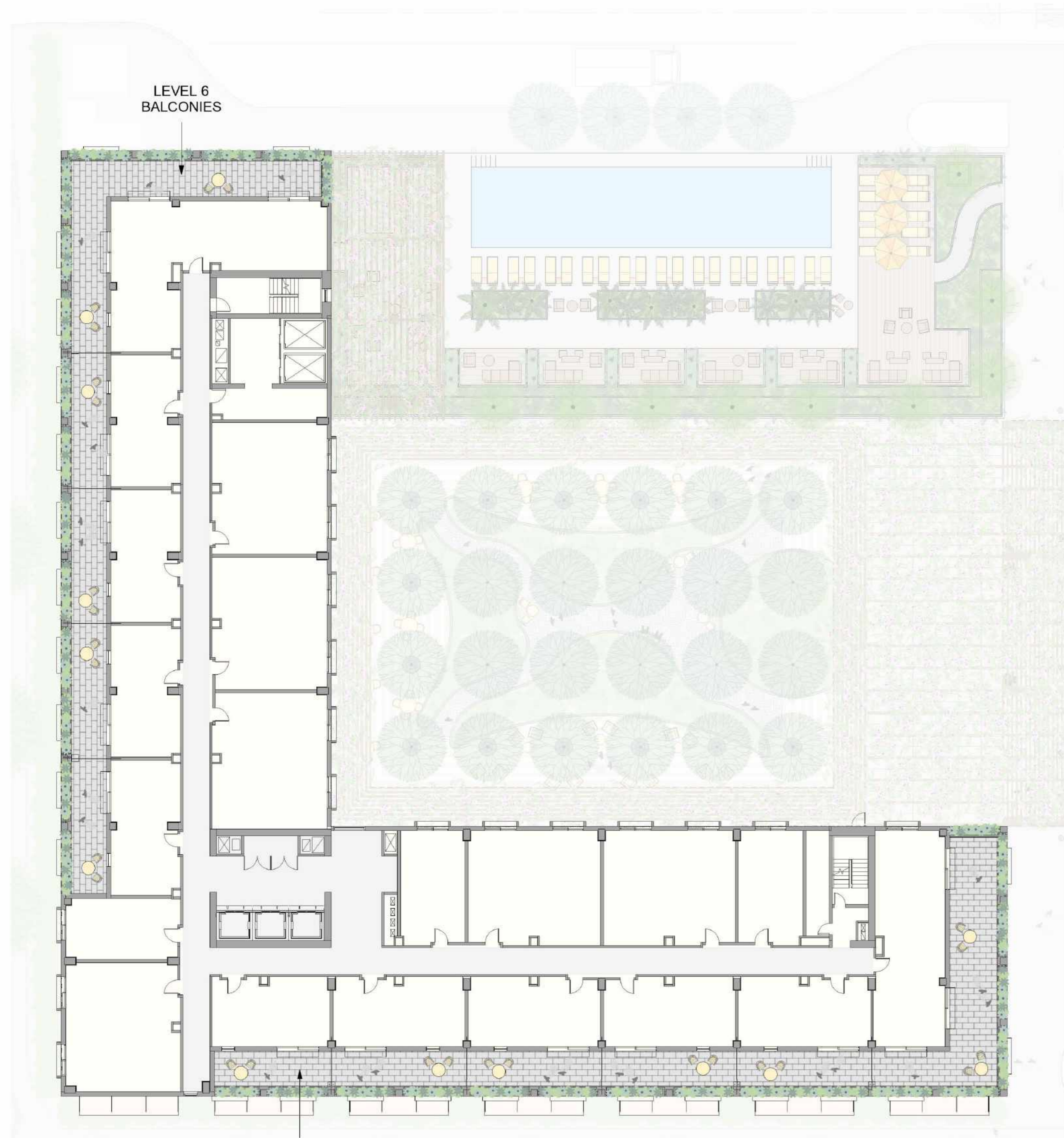
SCALE: 1/16" = 1'
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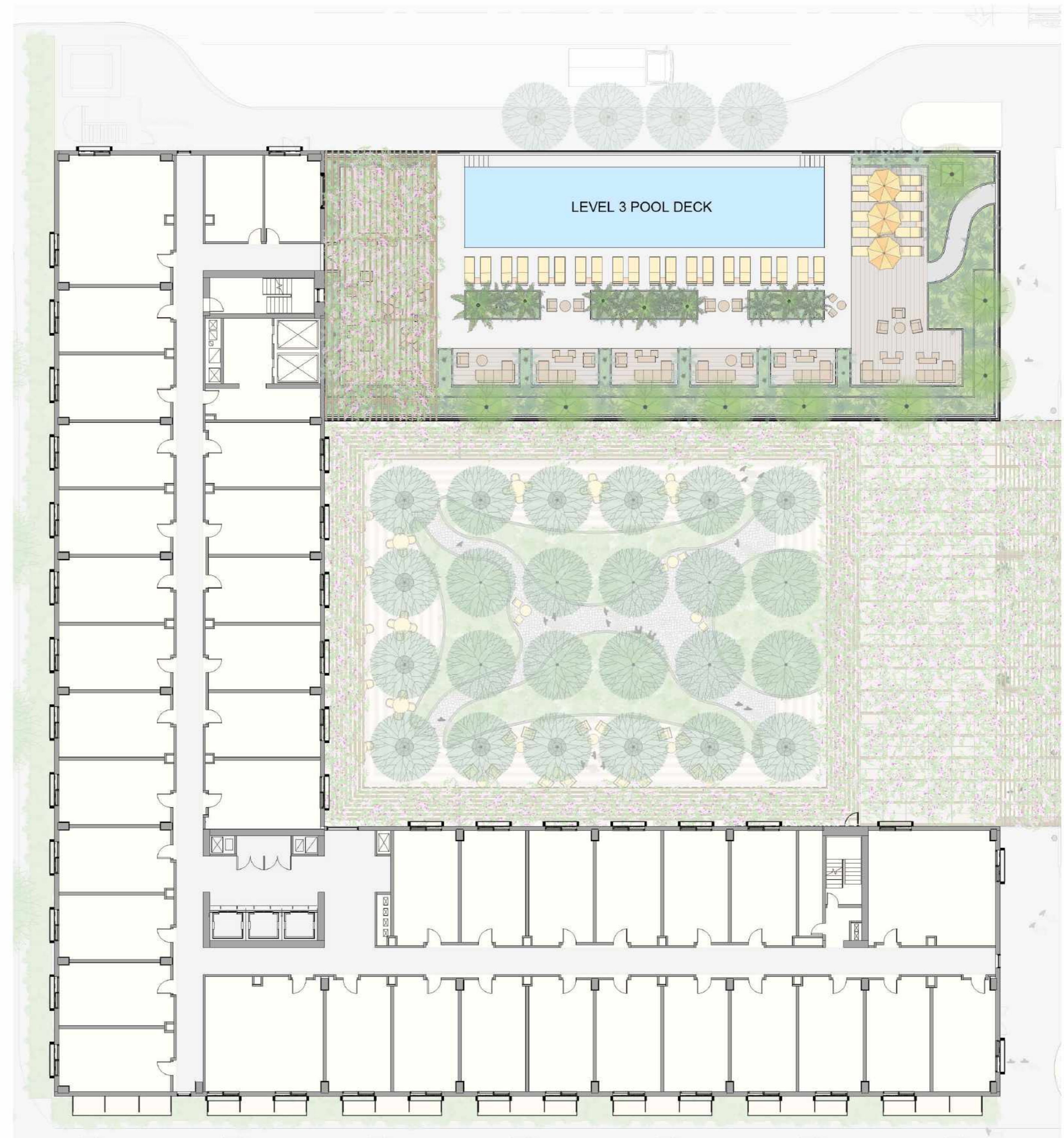
REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
WILLOW VILLAGE HOTEL
LEVEL 1 PLAN

DRAWING NO:
L1.01



2 Level 6 Plan
SCALE: 1/16"=1'
0' 10' 20' 40' 60' PLAN



1 Level 3 Plan
SCALE: 1/16"=1'
0' 10' 20' 40' 60' PLAN

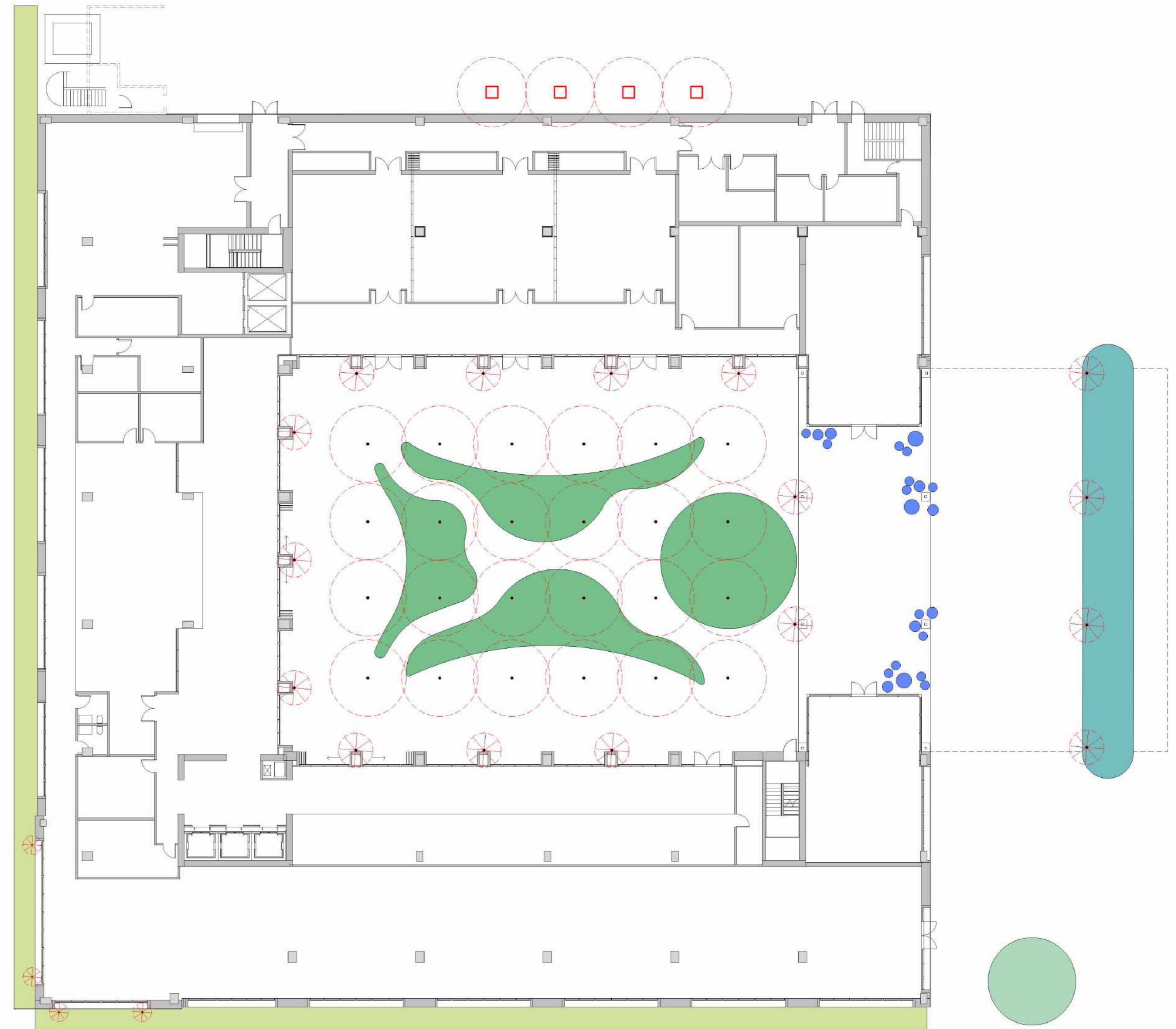
SCALE: 1/16" = 1'
NOTE: THIS DRAWING IS TO BE USED AS A GUIDE ONLY. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR REQUIREMENTS THAT ARE NOT INDICATED.

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NO.	DATE	ISSUE

- COURTYARD SHADE GARDEN MIX:**
 - 5 GALLON PLANTS
 - SPACING: 2' ON CENTER
- POSSIBLE SPECIES:**
 Agave attenuata 'Nova' (Foxtail Agave)
 * Calycanthus occidentalis (Spice Bush)
 Dianella tasmanica (Tasmanian Flax-lily)
 Dryopteris erythrosora (Autumn Fern)
 Eriocapitella hupehensis (Japanese Anemone)
 Euphorbia amygdaloides (Wood Spurge)
 Galium odoratum (Sweet Woodruff)
 Helleborus foetidus (Stinking Hellebore)
 * Iris douglasiana (Douglas Iris)
 Microlepia strigosa (Lace Fern)
 * Polystichum munitum (Western Sword Fern)
 * Rhamnus californica 'Mound San Bruno' (Coffeeberry)
 * Ribes sanguineum glutinosum (Pink Flowering Currant)
 Vinca major (Periwinkle)
 * Woodwardia fimbriata (Giant Chain Fern)
- PORTE COCHERE PLANTER MIX:**
 - 5 GALLON PLANTS
 - SPACING: 3' ON CENTER
- POSSIBLE SPECIES:**
 Agave attenuata 'Nova' (Foxtail Agave)
 * Ceanothus horizontalis
 * Rhamnus californica (Coffeeberry)
- RAISED CIRCULAR PLANTER MIX:**
- LARGE PLANTS**
 - 15 GALLON PLANTS
 - SPACING: 6-8' ON CENTER
- POSSIBLE SPECIES:**
 Agave attenuata 'Nova' (Foxtail Agave)
 Chamaerops
- SMALL PLANTS**
 - 5 GALLON PLANTS
 - SPACING: 2 - 4' ON CENTER
- POSSIBLE SPECIES:**
 * Achillea spp. (Yarrow)
 Aeonium spp.
 Anigozanthos spp. (Kangaroo Paw)
 Artemisia (Wormwood)
 Echeveria spp.
 Euphorbia characias (Mediterranean Spurge)
 Lavandula spp. (Lavender)
 * Salvia spp. (Sage)
- FLUSH SIDEWALK PLANTER MIX:**
 - 5 GALLON PLANTS
 - SPACING: 2' - 4' ON CENTER
- POSSIBLE SPECIES:**
 Dianella spp. (Flax Lilies)
 Muhlenbergia rigens (Deer Grass)
 Phormium 'Macri Chief' (New Zealand Flax)
 Aeonium spp.

- COURTYARD TREES:**
 - HEIGHT: 18-20'
- POSSIBLE SPECIES:**
 Acer palmatum (Japanese Maple)
 Cercis canadensis (Eastern Redbud)
 Lagerstroemia 'Natchez' (Natchez Crepe Myrtle)
 Tristania laurina (Water Gum)
- VINES:**
 - HEIGHT: 12 - 15'
 - 36" BOX
- POSSIBLE SPECIES:**
 * Wisteria floribunda (Japanese Wisteria)
 * Bougainvillea 'Barbara Karst'
- SIDEWALK VINES:**
 - HEIGHT: 8-10'
- POSSIBLE SPECIES:**
 Wisteria floribunda (Japanese Wisteria)
 Bougainvillea 'Barbara Karst'
- SERVICE ROAD TREES:**
- POSSIBLE TREE SPECIES:**
 - 60" BOX
 Lophostemon confertus (Brisbane Box)
- ALTERNATE PALM SPECIES:**
 - 25' CLEAR BROWN TRUNK (CBT)
 Butia capitata (Jelly Palm)
 Phoenix dactylifera (male) (Date Palm)
- POTTED PLANTS:**
 - 18" - 36" POTS
- POSSIBLE SPECIES:**
 Ficus spp.
 Chamaedorea elegans
 Davallia spp.
 Nephrolepis exaltata
 Howea forsteriana (Kentia Palm)



* California native species

1 Level 1 Planting Plan

DIAGRAM

PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 - Hotel
 Menlo Park, CA

SCALE:
 NOTE: THIS DRAWING (DSO) IS A DONOR SCALE DRAWING. THE DIMENSIONS SHOWN ONLY FOR REFERENCE. CONSULT THE ARCHITECT FOR REQUIREMENTS THAT ARE NOT INDICATED.

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DATE	ISSUE
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DRAWING TITLE:
WILLOW VILLAGE HOTEL
LEVEL 1 PLANTING PLAN

DRAWING NO:
L2.01



TRELLIS VINES:
- HEIGHT: 8-10'

POSSIBLE SPECIES:
Wisteria floribunda (Japanese Wisteria)
Bougainvillea 'Barbara Karst'



LEVEL 6 BALCONY PLANTERS - PRELIMINARY PLANT MIX:
- 1-3 GALLON PLANTS
- SPACING: 1 - 3' ON CENTER

POSSIBLE SPECIES:
Aeonium spp.
Agave 'Blue Flame'
Echeveria spp.
Senecio talinoides spp. mandraliscae (Blue Finger)



BORDER PLANTING

UNDERSTORY SCREENING LAYER:
- 24" BOX
- SPACING: 8-10' ON CENTER

POSSIBLE SPECIES:
Agave attenuata (Foxtail Agave)

GROUNDCOVER + SMALL SHRUB LAYER:
- 5 GALLON PLANTS
- SPACING: 2.5' ON CENTER

POSSIBLE SPECIES:
* Achillea spp. (Yarrow)
Aeonium spp.
Agave attenuata (Foxtail Agave)
Anigozanthos spp. (Kangaroo Paw)
Artemisia (Wormwood)
Echeveria spp.
Euphorbia characias (Mediterranean Spurge)
Grevillea spp.
Lavandula spp. (Lavender)
Rosmarinus officinalis 'Prostratus' (Creeping Rosemary)
* Salvia spp. (Sage)



PALM GARDEN GROUNDCOVER:
- 3 GALLON PLANTS
- SPACING: 1 - 3' ON CENTER

POSSIBLE SPECIES:
* Acacia cognata 'Cousin Itt'
Aeonium spp.
Agave attenuata 'Nova' (Foxtail Agave)
Agave 'Blue Flame'
Asparagus densiflorus 'Meyer'
Echeveria spp.
Strelitzia reginae (Bird of Paradise)



LOUNGE SCREENING PLANTER MIX:
LARGE PLANTS
- 24" BOX
- SPACING: 3' ON CENTER

POSSIBLE SPECIES:
Chamaerops humilis cerifera (Mediterranean Fan Palm)
Phoenix roebelenii (Pygmy Date Palm)

SMALL PLANTS
- 1 GAL
- SPACING: 3' ON CENTER

POSSIBLE SPECIES:
Artemisia (Wormwood)
Rosmarinus officinalis 'Prostratus' (Creeping Rosemary)



PALM GARDEN TREES:
- HEIGHT: 20' CLEAR BROWN TRUNK (CBT)

POSSIBLE PALM SPECIES:
Archontophoenix spp. (King Palm)
Butia capitata (Jelly Palm)
Howea forsteriana (Kentia Palm)



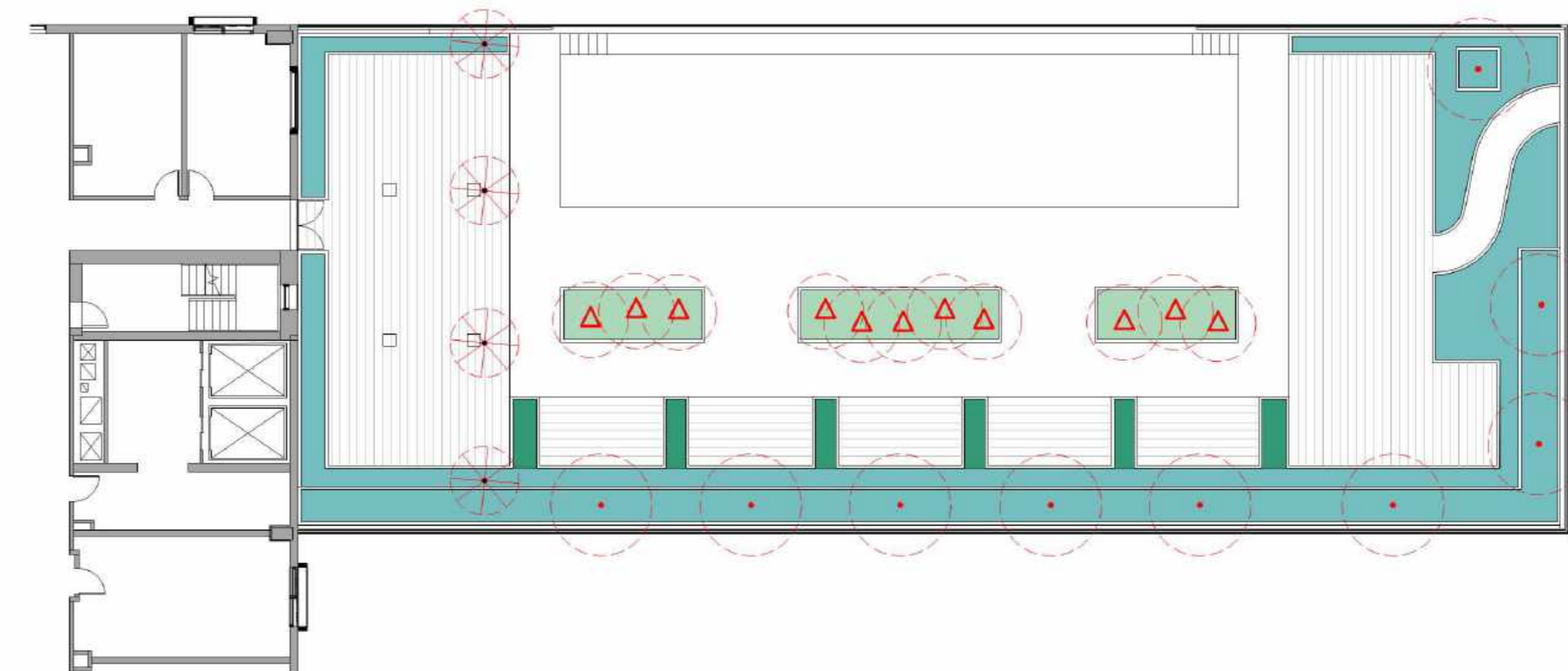
TREES:
- HEIGHT: 10-12'
- 60" BOX

POSSIBLE SPECIES:
* Olea europaea 'Swan Hill' (Fruitless Olive)
Arbutus marina (Strawberry Tree)
Rhus lancea (African Sumac)



TRELLIS VINES:
- HEIGHT: 12-15'
- 36" BOX

POSSIBLE SPECIES:
Wisteria floribunda (Japanese Wisteria)
Bougainvillea 'Barbara Karst'



* California native species

2 Level 6 Planting Plan

DIAGRAM

1 Level 3 Planting Plan

DIAGRAM

SCALE:
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COURTYARD

Trees

- Acer palmatum* (Japanese Maple)
- Cercis canadensis* (Eastern Redbud)
- Lagerstroemia 'Natchez'* (Natchez Crepe Myrtle)
- Tristania laurina* (Water Gum)



Shade Garden Mix

- Agave attenuata 'Nova'* (Foxtail Agave)
- Calycanthus occidentalis* (Spice Bush)
- Dianella tasmanica* (Tasmanian Flax-lily)
- Dryopteris erythrosora* (Autumn Fern)
- Eriocapitella hupehensis* (Japanese Anemone)
- Euphorbia amygdaloides* (Wood Spurge)
- Galium odoratum* (Sweet Woodruff)
- Helleborus foetidus* (Stinking Hellebore)
- Iris douglasiana* (Douglas Iris)
- Microlepia strigosa* (Lace Fern)
- Polystichum munitum* (Western Sword Fern)
- Rhamnus 'Mound San Bruno'* (Coffeeberry)
- Ribes sanguineum glutinosum* (Pink Flowering Currant)
- Vinca major* (Periwinkle)
- Woodwardia fimbriata* (Giant Chain Fern)



Potted Plants

- Ficus* spp.
- Chamaedorea elegans*
- Davallia* spp.
- Nephrolepis exaltata*
- Howea forsteriana* (Kentia Palm)



RAISED CIRCULAR PLANTER

Succulent / Perennial Mix

- Achillea* spp. (Yarrow)
- Aeonium* spp.
- Agave attenuata 'Nova'* (Foxtail Agave)
- Anigozanthos* spp. (Kangaroo Paw)
- Artemisia* (Wormwood)
- Chamaerops humilis* (Mediterranean Dwarf Palm)
- Echeveria* spp.
- Euphorbia characias* (Mediterranean Spurge)
- Lavandula* spp. (Lavender)
- Salvia* spp. (Sage)



SIDEWALK PLANTERS

Low-Maintenance Grass Mix

- Aeonium* spp.
- Dianella* spp. (Flax Lilies)
- Muhlenbergia rigens* (Deer Grass)
- Phormium 'Maori Chief'* (New Zealand Flax)



PORTE COCHERE PLANTER

Shrubs + Groundcover

- Agave attenuata 'Nova'* (Foxtail Agave)
- Ceanothus horizontalis*
- Rhamnus californica* (Coffeeberry)



NOTE:
Species palettes will be subject to further refinement and revision in future design stages. Longevity, drought tolerance, and low maintenance will be taken into account when selecting the final species.

TRELLIS VINES

- Wisteria floribunda* (Japanese Wisteria)
- Bougainvillea 'Barbara Karst'*



SERVICE ROAD TREES

- Lophostemon confertus* (Brisbane Box)
- Butia capitata* (Jelly Palm)
- Phoenix dactylifera (male)* (Date Palm)



SCALE:
NOTE: THIS DRAWING IS FOR AN IDEAL SCALE. DIMENSIONS USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR DIMENSIONS THAT ARE NOT INDICATED.

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LEVEL 6 TRELIS

Flowering Vines

Possible Species:
Wisteria floribunda (Japanese Wisteria)
Bougainvillea 'Barbara Karst'



LEVEL 6 PLANTERS

Low-Maintenance Succulent Mix

Possible Species:
Aeonium spp.
Agave 'Blue Flame'
Echeveria spp.
Senecio talinoides spp. *mandraliscae*



2 LEVEL 6 PLANT PALETTE PRECEDENTS

Trellis Flowering Vines

Possible Species:
Wisteria floribunda (Japanese Wisteria)
Bougainvillea 'Barbara Karst'



NOTE:
 Species palettes will be subject to further refinement and revision in future design stages.
 Longevity, drought tolerance, and low maintenance will be taken into account when selecting the final species.

1 LEVEL 3 PLANT PALETTE PRECEDENTS

LEVEL 3 POOL DECK

Mediterranean Dry Garden - Border Planting

Possible Species:
Achillea spp. (Yarrow)
Aeonium spp.
Agave attenuata (Foxtail Agave)
Anigozanthos spp. (Kangaroo Paw)
Artemisia (Wormwood)
Echeveria spp.
Euphorbia characias (Mediterranean Spurge)
Grevillea spp.
Lavandula spp. (Lavender)
Rosmarinus officinalis 'Prostratus' (Creeping Rosemary)
Salvia spp. (Sage)



Trees

Possible Species:
Olea europaea 'Swan Hill' (Fruitless Olive)
Arbutus marina (Strawberry Tree)
Rhus lancea (African Sumac)



Lounge Area Screening Plants

Possible Species:
Chamaerops humilis cerifera (Mediterranean Fan Palm)
Phoenix roebelenii (Pygmy Date Palm)



Palm Garden Trees

Possible Species:
Archontophoenix spp. (King Palm)
Butia capitata (Jelly Palm)
Howea forsteriana (Kentia Palm)



Palm Garden Groundcover

Possible Species:
Acacia cognata 'Cousin Itt'
Aeonium spp.
Agave attenuata 'Nova' (Foxtail Agave)
Agave 'Blue Flame'
Asparagus densiflorus 'Meyeri'
Echeveria spp.
Strelitzia reginae (Bird of Paradise)



SCALE:
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DATE	ISSUE
07/17/2023	ACP

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DRAWING TITLE:
WILLOW VILLAGE HOTEL
TREE NUMBERS BY SPECIES

DRAWING NO:
L2.05

HERITAGE TREE REPLACEMENT (QUALIFIED TREES ONLY)

Botanical Name	Common Name	Quantity	Unit Size	Unit Value	Value
		0	24" box	\$ 400	\$ -
		0	36" box	\$ 1,200	\$ -
		0	48" box	\$ 5,000	\$ -
		0	60" box	\$ 7,000	\$ -
Lophostemon confertus	Brisbane Box	4	72" box	\$ 10,000	\$ 40,000
		0	84" box	\$ 12,000	\$ -
		0	96" box	\$ 15,000	\$ -
		0	108" box	\$ 17,000	\$ -
		0	120" box	\$ 20,000	\$ -
		4		\$	40,000

2 WVH HERITAGE TREE REPLACEMENTS TABLE

Species	Quantity
L1 Trees	
Acer palmatum	24
Alt: Cercis canadensis	
Lagerstroemia 'Natchez'	
Tristania laurina	
Lophostemon confertus	4
Alt: Butia capitata	
Phoenix dactylifera	
L3 Pool Deck Trees	
Archontophoenix spp.	11
Alt: Butia capitata	
Howea forsteriana	
Olea europaea 'Swan Hill'	9
Alt: Arbutus marina	
Rhus lancea	

1 WVH TREE NUMBERS BY SPECIES TABLE

WATER USE ESTIMATION & IRRIGATION SCHEDULE - HOTEL

WATER TYPE	Recycled
CITY	Pass Adm
ET&I	45.1
DATE	"Nearest City to project with published ET data"

STATION/HYDROZONE	GPM	AREA (sq. FT) (HA)	WATER USE TYPE (LW/HW/MH-MOD)	PLANT TYPE	IRRIGATION TYPE	PLANT FACTOR (PF)	IRRIGATION EFFICIENCY (IE)	PRECIP. RATE/ APPLICATION RATE (IN/HR)	ET&I (G/HA)	CYCLES PER DAY	DAYS PER WEEK	MONTHLY ETO												ET&I (GALLONS PER YEAR)	PERCENTAGE OF LANDSCAPE	
												JAN	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEP	OCT	NOV	DEC			
1	0	1548	LW	SHRUB GC LW	DRIP LINE 12"	0.75	0.81	0.4	0.31	2	2	1.0	1.8	2.8	3.8	5.2	5.3	6.7	5.6	5.0	3.2	1.7	3.0	54,830	45%	
2	0	8863	MW	SHRUB GC LW	DRIP LINE 12"	0.4	0.81	0.0	0.49	2	2	0.0	0.0	7.0	9.0	13.0	15.0	15.0	14.0	13.0	8.0	4.0	0.0	116,957	55%	
TOTAL		15,111																							171,786	100%

SPECIAL LANDSCAPE AREAS			
HYDROZONE #	HYDROZONE NAME	AREA (sq. FT) (HA)	Percentage of Landscape
ALL		15,111	100.00%

MAWA	
GALLONS/YR	414,489
ACRE FEET/YR	1.27
HCF/YR	664.12

ET&I	
GALLONS/YR	171,786
ACRE FEET/YR	0.53
HCF/YR	229.66

SITE IRRIGATION EFFICIENCY	SITE PLANT FACTOR	MAWA COMPLIANT
81.0%	0.34	YES

ET&I Calculations	
REGULAR LANDSCAPE AREAS	
TOTAL ET&I AREA	8,429
TOTAL AREA	15,111
AVG. ET&I	41.45%

THE IRRIGATION VALVE SCHEDULE SHOWN ABOVE IS INTENDED TO BE USED AS A GUIDELINE ONLY AND INDICATES THE APPROXIMATE RUN TIMES IN MINUTES FOR EACH VALVE BASED ON ESTIMATED WEEKLY WATER REQUIREMENTS FOR ESTABLISHED PLANT MATERIAL. THE TIMES SHOWN ARE APPROXIMATE AND HAVE BEEN DEVELOPED FROM LOCAL AND CURRENT AVERAGES FOR EVAPOTRANSPIRATION, AND REFLECT THE WATER REQUIREMENTS OF THE PLANT MATERIAL BASED ON PLANT TYPE AND THE APPROXIMATE PRECIPITATION OR APPLICATION RATES OF THE IRRIGATION SYSTEM TYPE. ACTUAL RUN TIMES MAY BE DIFFERENT DEPENDING ON A VARIETY OF FACTORS INCLUDING TOPOGRAPHY, SOIL STRUCTURE, SUN AND WIND EXPOSURE, WEATHER, ACTUAL PLANT WATER REQUIREMENTS, OVERALL PRECIPITATION RATE OF ZONE, ETC.

MAWA FORMULA

MAXIMUM APPLIED WATER ALLOWANCE (MAWA) GALLONS PER YEAR

$MAWA = (ETO) \times (0.82) \times (LA \times 0.45) + (0.55 \times SLA)$

ETO = REFERENCE EVAPOTRANSPIRATION
0.45 = ET ADJUSTMENT FACTOR
LA = LANDSCAPED AREA (SQUARE FEET)
0.82 = CONVERSION FACTOR (GALLONS/SQ. FT/YR)

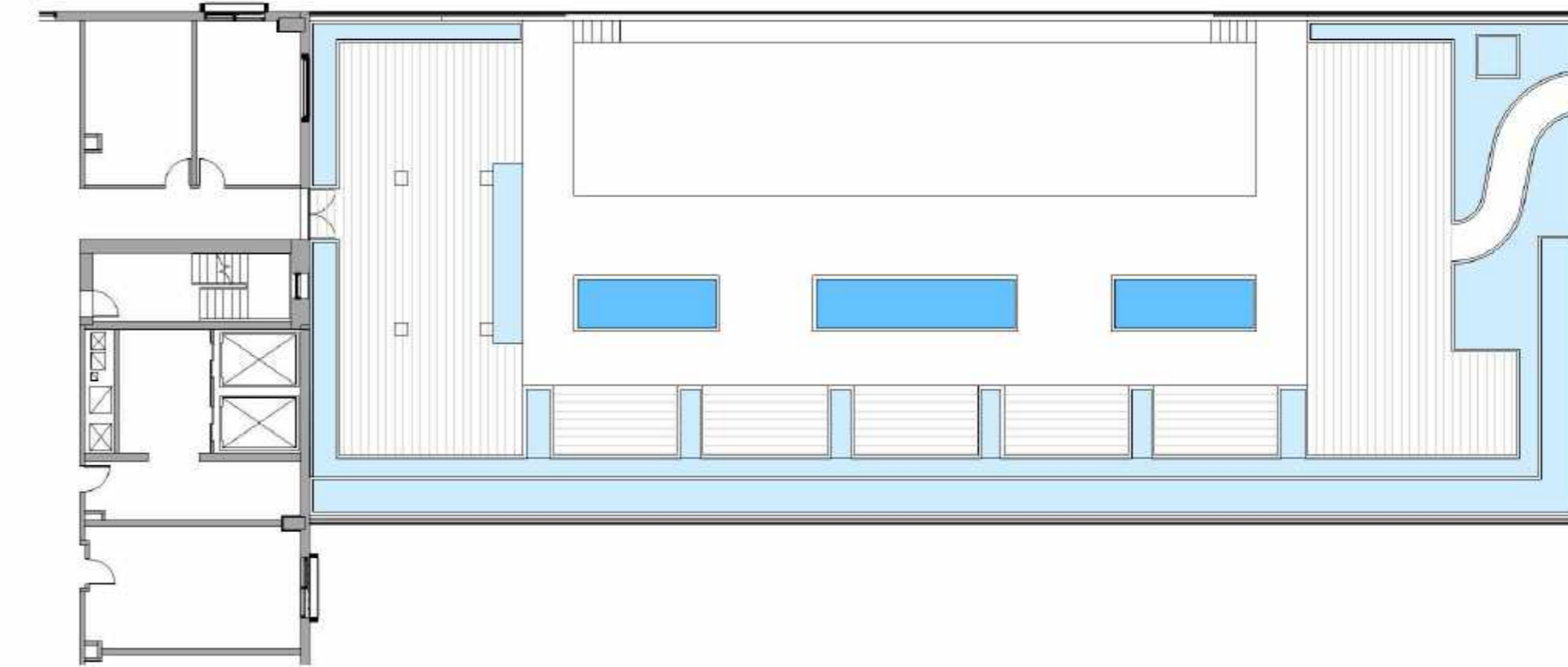
ET&I FORMULA

ESTIMATED TOTAL WATER USE (ET&I) GALLONS PER YEAR

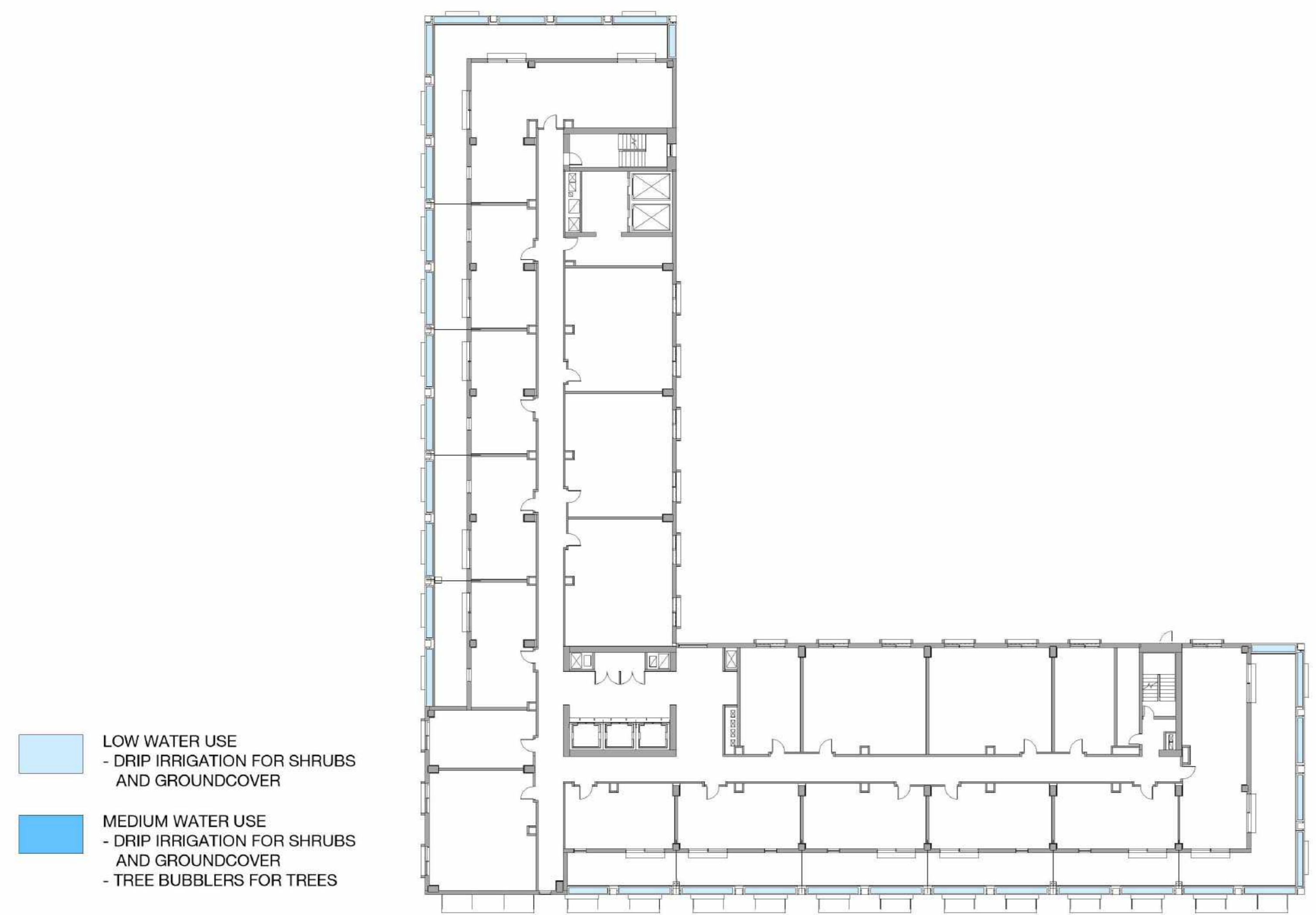
$ET&I = (ETO) \times (0.62) \times (ETAF \times LA)$

ETO = REFERENCE EVAPOTRANSPIRATION
PF = PLANT FACTOR FOR HYDROZONES
HA = HYDROZONE AREA (SQ. FT)
0.62 = CONVERSION FACTOR (GALLONS/SQ. FT/YR)

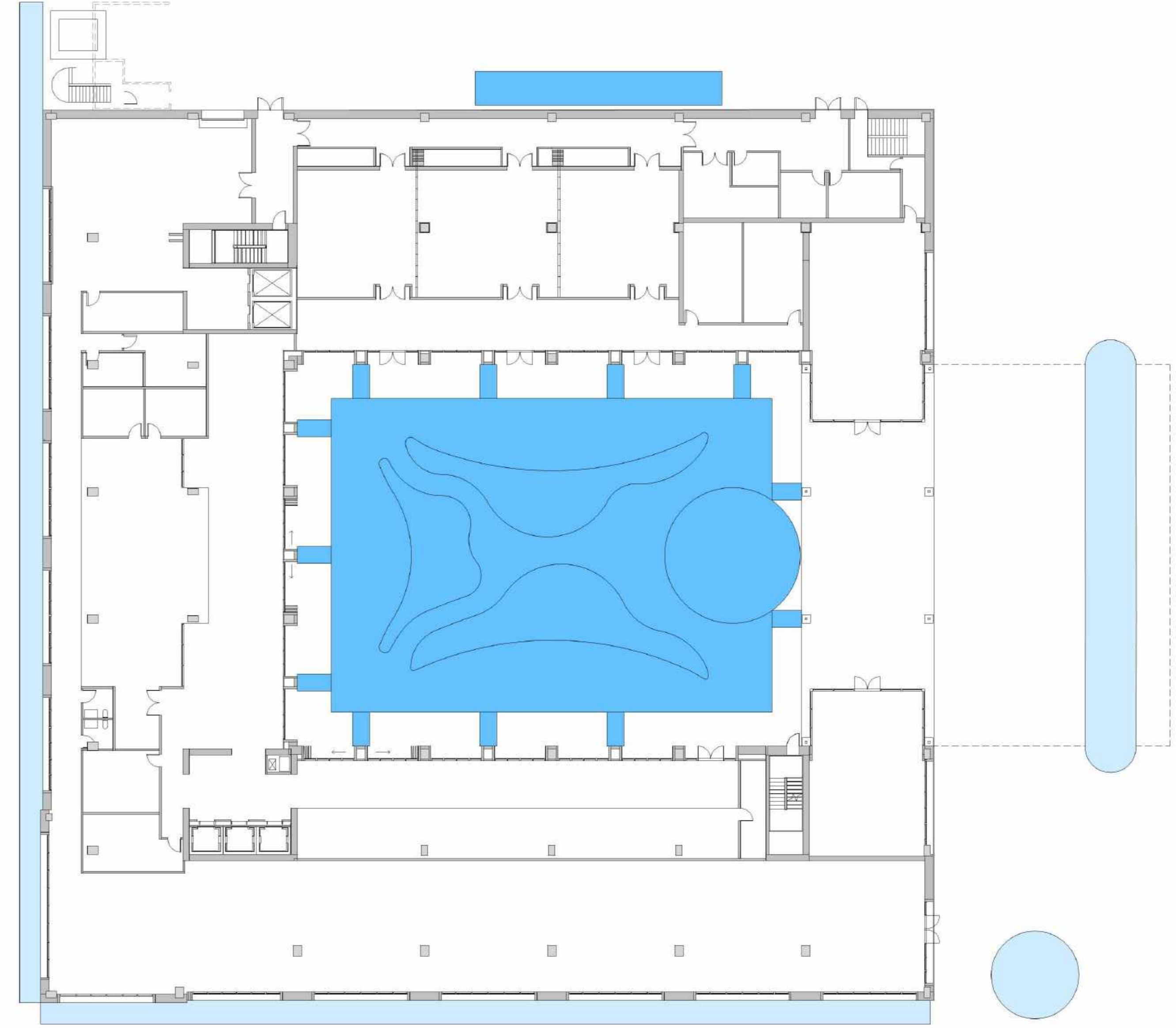
Note: An application and detailed landscape irrigation plan will be submitted with the building permit submittal package. All planting and irrigation will be in compliance with the City's Water Efficient Landscape Ordinance.



2 Level 3 Irrigation Zones DIAGRAM



3 Level 6 Irrigation Zones DIAGRAM



1 Level 1 Irrigation Zones DIAGRAM

- LOW WATER USE
- DRIP IRRIGATION FOR SHRUBS AND GROUNDCOVER
- MEDIUM WATER USE
- DRIP IRRIGATION FOR SHRUBS AND GROUNDCOVER
- TREE BUBBLERS FOR TREES

PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 - Hotel
Menlo Park, CA

SCALE:
NOTE: THIS DRAWING IS NOT A SCALE DRAWING. USE DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR REQUIREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
07/17/2023	ACP

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NO.	DATE	ISSUE

DRAWING TITLE:
WILLOW VILLAGE HOTEL
LEVELS 1 + 3 + 6
IRRIGATION ZONE DIAGRAMS

DRAWING NO:
L3.01



Fixed Planters - GFRC (color TBD)

3 LEVEL 6 MATERIALS PALETTE

PRECEDENTS



Fixed Planters - Board Form Concrete

2 LEVEL 3 MATERIALS PALETTE

PRECEDENTS



Lounge Area:
Timber Decking



Pool Deck Paving: Poured In Place Concrete



Potted Plants



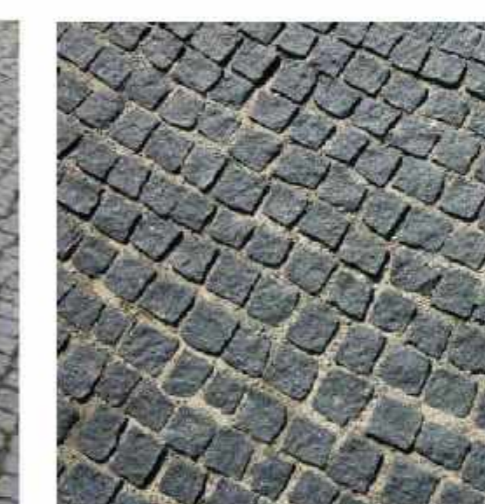
Furniture



Courtyard - Concrete or Stone - Long Unit Pavers (Light Beige + Grey)



COURTYARD



Garden Paths - Cobblestone



Plant Pots - Atelier Vierkant



Circular Stone Planter Seats



RAISED CIRCULAR PLANTER

1 LEVEL 1 MATERIALS PALETTE

PRECEDENTS

SCALE:
NOTE: THIS DRAWING IS FOR AS SHOWN SCALE. DIMENSIONS USE FLOOR DIMENSIONS ONLY. ALL MEASUREMENTS FROM ARCHITECT'S RECORD DRAWINGS THAT ARE NOT INDICATED.

MILESTONES

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07/17/2023	ACP

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NO.	DATE	ISSUE



LEED NC v4 SCORECARD WILLOW VILLAGE HOTEL

	CONFIRMED	LIKELY	MAYBE	NO	Phase	Overlap	Credit Name	Points Available
IP	1				D		Credit Integrative Process - In design phases, achieve synergies between building, energy AND water related systems	1
	Totals							
LOCATION & TRANSPORTATION				16	D		Credit LEED for Neighborhood Development Location - Locate within LEED ND certified development site boundary	16
	1				D		Credit Sensitive Land Protection - Develop on previously developed land or follow criteria for non - sensitive	1
				2	D		Credit High Priority Site - Locate project on infill location in historic district, priority designation or brownfield	2
	4				D		Credit Surrounding Density & Diverse Uses - Site within 1/4 mile of surrounding density criteria and/or a 1/2 mile of diverse uses	5
				5	D		Credit Access to Quality Transit - Locate functional entries within 1/4 mile of existing transit or 1/2 mile of planned transit services	5
	1				D	MP	Credit Bicycle Facilities - Provide a bike network and storage areas	1
	1			1	D		Credit Reduced Parking Footprint - Don't exceed minimum local code requirements for parking capacity	1
Totals								16
SUSTAINABLE SITES	REQUIRED		C	T24,MP	Prereq		Credit Construction Activity Pollution Prevention - Implement an erosion control plan, per the EPA CGP v2012	NA
	1				D		Credit Site Assessment - Complete site survey including: topography, hydrology, climate, vegetation, soils, human use, human health	1
				2	D		Credit Site Development - Protect or Restore Habitat - On-site restoration OR financial support	2
	1				D		Credit Open Space - Provide outdoor space greater than or equal to 30% of total site area, 25% of which is vegetated	1
				3	D		Credit Rainwater Management - Manage runoff for at least the 85th percentile of local rainfall events	3
	1			1	D		Credit Heat Island Reduction - Meet nonroof and roof criteria OR place a minimum of 75% parking spaces under cover	2
	1				D	T24	Credit Light Pollution Reduction - Backlight-uplight-glare method or calculation method, exterior luminaires and signage req's	1
	Totals							
WATER	REQUIRED		D	T24,MP	Prereq 1		Credit Outdoor Water Use Reduction - Permanent non-irrigated landscape OR reduce water use 30% for peak water month	N/A
			D	T24	Prereq 2		Credit Indoor Water Use Reduction - Reduce aggregate water use by 20% for fixtures and fittings	N/A
			D	T24	Prereq 3		Credit Building-Level Water Metering - Install permanent water meters that measure potable water use, share data with USGBC	N/A
	2				D	T24,MP	Credit Outdoor Water Use Reduction - Reduce water use no irrigation or reduced irrigation 50% - 100%	2
	6				D	T24	Credit Indoor Water Use Reduction - Reduce fixture and fitting water use by 25% - 50%	6
	2				D		Credit Cooling Tower Water Use - Conduct a one-time potable water analysis, measure control parameters in Table 1	2
	1				D		Credit Water Metering - Meters for 2 or more water subsystems: irrigation, indoor plumbing, hot water, boiler, reclaimed water, or other	1
Totals								11
ENERGY & ATMOSPHERE	REQUIRED		C	T24	Prereq 1		Credit Fundamental Commissioning and Verification - Commissioning for ASHRAE 0-2005 and 1.1-2007	N/A
			D	T24	Prereq 2		Credit Minimum Energy Performance - Whole building energy simulation OR ASHRAE 50% Design Guide OR ABCPG	N/A
			D	T24	Prereq 3		Credit Building-Level Energy Metering - Use building-level energy meters or submeters that can aggregate building-level data	N/A
			D	T24	Prereq 4		Credit Fundamental Refrigerant Management - Do not use CFC-based refrigerants in HVAC&R systems, or have a phase out plan	N/A
	3			3	C		Credit Enhanced Commissioning - Implement systems commissioning or monitor-based commissioning	6
	7			11	D	T24	Credit LEED v4.1: Optimize Energy Performance - Whole building energy simulation or follow ASHRAE Advanced Energy Design Guide	18
	1				D		Credit Advanced Energy Metering - Install advanced energy metering for whole building and individual energy sources	1
				2	C		Credit Demand Response - Participate in existing demand response program or provide infrastructure for demand response programs	2
	3			2	D	MP	Credit LEED v4.1 Renewable Energy - Use on-site or offsite renewable energy to offset green house gas emissions for annual energy use	5
				1	D		Credit Enhanced Refrigerant Management - Refrigerants with ODP of 0 and GWP of less than 50 OR calculate refrigerant impact	1
Totals								33

	CONFIRMED	LIKELY	MAYBE	NO	Phase	Overlap	Credit Name	Points Available	
MATERIALS & RESOURCES	REQUIRED		D	T24	Prereq		Credit Storage and Collection of Recyclables - Dedicated areas for waste collection, collection and storage	N/A	
			D	MP	Prereq		Credit Construction and Demolition Waste Management Planning - Establish C&D waste diversion goals	N/A	
	4			1	C		Credit Building Life-Cycle Impact Reduction - Historic building reuse, renovate blighted buildings OR whole building LCA	5	
	1			1	C		Credit LEED v4.1: Building Product Disclosure and Optimization - Environmental Product Declarations	2	
	1			1	C		Credit LEED v4.1: Building Product Disclosure and Optimization - Material Ingredients	2	
	1			1	C		Credit LEED v4.1: Building Product Disclosure and Optimization - Sourcing of Raw Materials	2	
	2				C	MP	Credit C&D Waste Management - Divert 50% (3 streams), 75% (4 streams) OR 2.5 lbs. waste per square foot	2	
	Totals								13
	INDOOR ENVIRONMENTAL QUALITY	REQUIRED		D	T24	Prereq		Credit Minimum Indoor Air Quality Performance - Meet ASHRAE 62.1-2010	N/A
				D	T24	Prereq		Credit Environmental Tobacco Smoke Control - Prohibit smoking indoors, restrict outdoor smoking within 25 feet	N/A
2					D	T24	Credit Enhanced Indoor Air Quality Strategies - Comply with enhanced IAQ strategies	2	
3					C		Credit LEED v4.1: Low-Emitting Materials - Achieve level of compliance for product categories or use budget calculation method	3	
1				1	C	T24	Credit Construction IAQM Plan - Implement IAQMP & protect materials and equipment during construction	1	
1					C		Credit Indoor Air Quality Assessment - Before and during occupancy flush-out OR conduct baseline IAQ testing	2	
1					D		Credit Thermal Comfort - Meet requirements for ASHRAE 55-2010	1	
1				1	D		Credit Interior Lighting - Lighting Controls for 90% plus individual occupant spaces & four lighting quality strategies	2	
				3	D		Credit Daylight - Install glare control devices, spatial daylight autonomy, illuminance calculations OR daylight floor area measurement	3	
1					D		Credit Quality Views - Vision glazing for 75% of regularly occupied floor area, with at least two kinds of view types	1	
1				D		Credit Acoustic Performance - Meet requirements for HVAC noise, sound isolation, reverberation time, & sound masking	1		
Totals								16	
INNOVATION*	1				D		Credit ID - Parksmart Measures	1	
	1				D		Credit Pilot - Integrative Analysis of Building Materials	1	
	1				D		Credit ID - WELL Feature 87 Beauty and Design I	1	
	1				D		Credit ID - Green Education	1	
	1				D	MP	Credit Bird Collision Deterrence or EP point	1	
	1				C		Credit LEED Accredited Professional	1	
Totals								6	
<i>*Innovation in Design includes Exemplary Performance credits</i>									
REGIONAL**				1	D		Credit Optimize Energy Performance	1	
	1				D		Credit Sourcing of Raw Materials	1	
	1				D		Credit Building Life-Cycle Impact Reduction	1	
	1				D		Credit Indoor Water Use Reduction	1	
				1	D		Credit Access to Quality Transit	1	
			1	D		Credit Rainwater Management	1		
Totals								4	
<i>**only 4 Regional Credits are Applicable</i>									

Confirmed Certification Level:	GOLD
Confirmed + Likely Certification Level:	GOLD
Confirmed + Likely + Maybe Certification Level:	Gold
Confirmed Points	65
Confirmed + Likely Points	65
Confirmed + Likely + Maybe Points	65

2/3/2021

PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 - Hotel
Menlo Park, CA

SCALE:
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY, OR USE DIMENSIONS FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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DATE	ISSUE
07/17/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:
Willow Village Hotel
LEED Scoreboard

DRAWING NO:
S1.01

Parcel 1 - Hotel - Modification #3

Building Entrances

Modification

Allow Modification to Zoning Code Section 16.43.130(3)

No public entrances required along Willow Rd. or Main St. facades. Allow public entrances along West St.

Code Requirements

16.43.130(3) Design Standards - Ground Floor Exterior

Building Entrances

Definition: The minimum ratio of entrances to building length along a public street or paseo.

Base Level: One entrance per public street frontage

Bonus Level Fronting a Local Street: One entrance per public street frontage

Bonus Level Fronting a Boulevard, Thoroughfare, Mixed Use Collector, or Neighborhood Street: One entrance per public street frontage

Notes/Additional Requirements: Entrances at a building corner may be used to satisfy this requirement for both frontages. Stairs must be located in locations convenient to building users.

Subject Site and Proposed Building Description

The hotel at Willow Village is a courtyard-typology building with its taller massing facing the corner of Willow Road and Main Street. The height matches the parcel adjacent to the south, creating a gateway like entry into the Willow Village Development. The upper two floors of the building step back, creating the opportunity for special hotel rooms with garden terraces. The building steps down to a lower massing, which faces the Willow Village Town Square and the entire center of the block is an open garden with direct visual and physical access.

The building sits on a retail 'base' at street level with glazed retail shopfronts between a rhythm of solid piers. The facade design above includes an array of multi-story projections, protruding in and out every 15 feet on center. These framed 'portals' break up the overall massing of the building, which at its longest edge measures 211'. Given the project's location in Menlo Park, the portals are designed with solar protected, recessed glazing allowing for an indoor-outdoor design for the hotel rooms.

The project proposes a Modification to the zoning requirement for one entrance per public street frontage. The hotel design instead proposes to have 9 entrances on the Town Square, but no entrances on Willow Road and Main Street. The hotel is oriented primarily toward the pedestrian-friendly Willow Village Town Square, including a generous drop-off area and the main entrance to the hotel lobby and public amenities, accessed via a landscaped courtyard. Given the predominance of vehicular traffic on Willow Road and lack of pedestrian traffic along the Willow Road sidewalk, the Town Square entrance and orientation is more appropriate than having a corner street entrance from the southwest. Moreover, the change in elevation between the lower sidewalks along Willow Road & Main Street and the higher hotel interior ground-floor would make any entrances near the corner difficult to navigate with universal design without extensive ramps and/or lifts, which would not be inviting to the public.

Modifications

Modifications to any Adjustment may be considered according to CDP Section x governing Substantially Consistent Modifications and Minor Modifications.

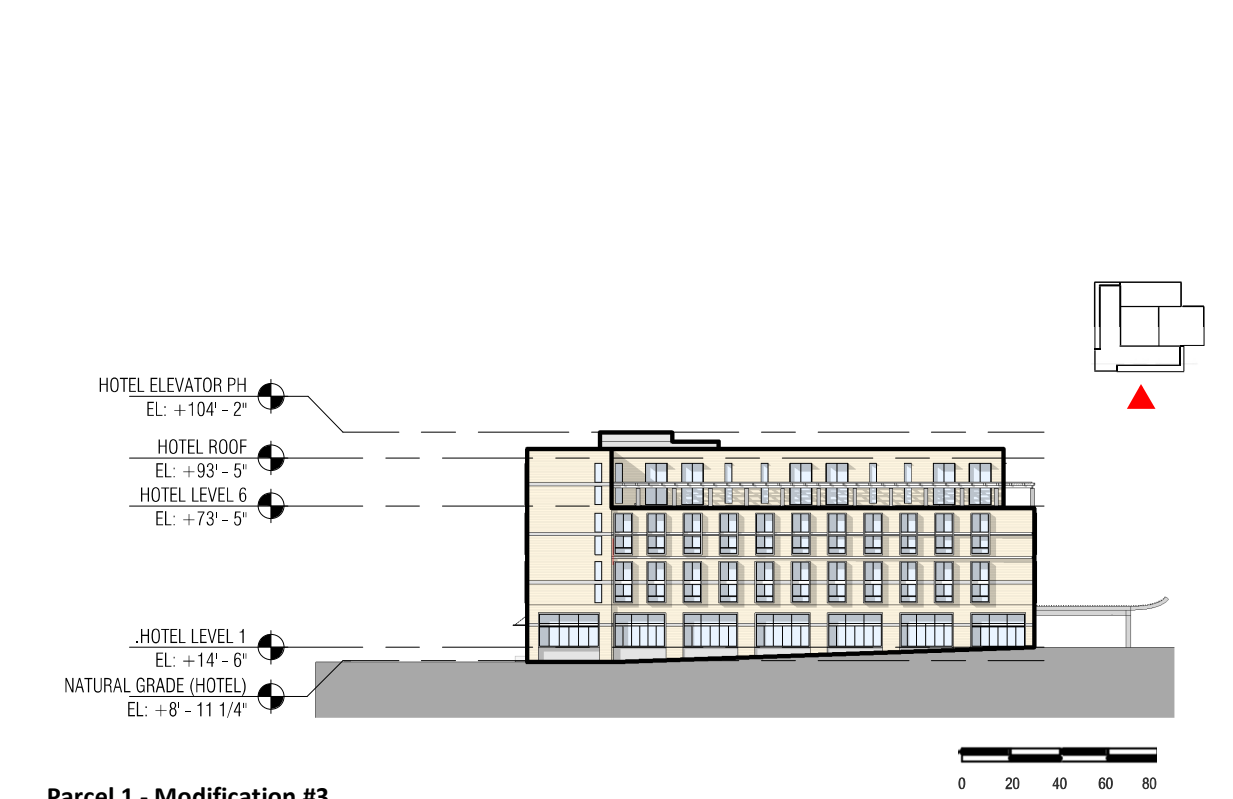
Attachments

Illustrative Attachment Exhibit

Parcel 1 - Modification #3, Illustration 1, South Elevation

Parcel 1 - Modification #3, Illustration 2, West Elevation

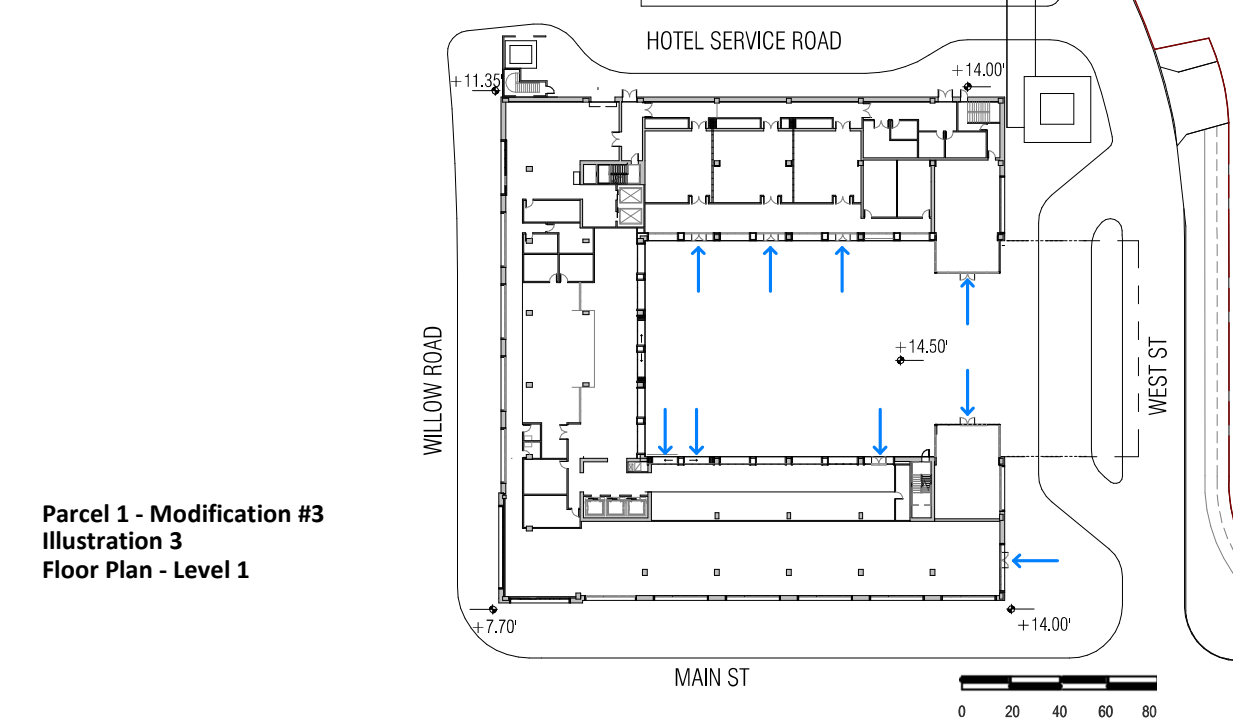
Parcel 1 - Modification #3, Illustration 3, Floor Plan - Level 1



Parcel 1 - Modification #3
Illustration 1
South Elevation



Parcel 1 - Modification #3
Illustration 2
West Elevation



Parcel 1 - Modification #3
Illustration 3
Floor Plan - Level 1

Parcel 1 - Hotel - Modification #2

Minimum Stepback

Modification

Allow Modification to Zoning Code Section 16.43.130(2)

Required minimum stepback of 10'-0"; allow shade trellis and parapet within stepback zone(s).

Code Requirements

16.43.130 Design Standards - Building Mass and Scale

Minimum Stepback

Definition: The horizontal distance a building's upper story(ies) must be set back above the base height.

Base Level: N/A

Bonus Level: 10 feet for a minimum of 75% of the building face along public street(s)

Bonus Level Fronting a Boulevard, Thoroughfare, Mixed Use Collector, or Neighborhood Street: 10 feet for a minimum of 75% of the building face along public street(s)

Notes/Additional Requirements: A maximum of 25% of the building face along public streets may be excepted from this standard in order to provide architectural variation. Exception: Hotels shall step back a minimum of 15 feet above 60 feet and an additional 10 feet for buildings 75 feet.

Subject Site and Proposed Building Description

The hotel at Willow Village is a courtyard-typology building with its taller massing facing the corner of Willow Road and Main Street. The height matches the parcel adjacent to the south, creating a gateway like entry into the Willow Village Development. The upper two floors of the building step back, creating the opportunity for special hotel rooms with garden terraces. The building steps down to a lower massing which faces the Willow Village Town Square and the entire center of the block is an open garden with direct visual and physical access.

The building sits on a retail 'base' at street level with glazed retail shopfronts between a rhythm of solid piers. The facade design above includes an array of multi-story projections, protruding in and out every 15 feet on center. These framed 'portals' break up the overall massing of the building, which at its longest edge measures 211'. Given the project's location in Menlo Park, the portals are designed with solar protected, recessed glazing allowing for an indoor-outdoor design for the hotel rooms.

The project proposes a Modification to the zoning requirement for a 15 foot stepback above 60 feet (+10' flood allowance) for the two top floors of the hotel facing onto Willow Road. The project proposes to provide a 10' stepback (in lieu of 15'). The 10' stepback conforms to the intent of the zoning requirement: to create a visual break and allow for expanded views to the sky and increased daylight to the street. To further enhance the public realm, the hotel design introduces a planted trellis element, which acts as a cornice to the building enhancing the public face on the street. The 10' stepback of the two top floors already significantly impacts the structural and mechanical efficiency of the hotel. The further requirement for an additional 5' of modulation would not allow for viable room depths and reasonable double-loaded hotel room planning, which would negatively impact the ability to achieve an efficient, financially feasible and compact hotel on this site.

Modifications

Modifications to any Adjustment may be considered according to CDP Section x governing Substantially Consistent Modifications and Minor Modifications.

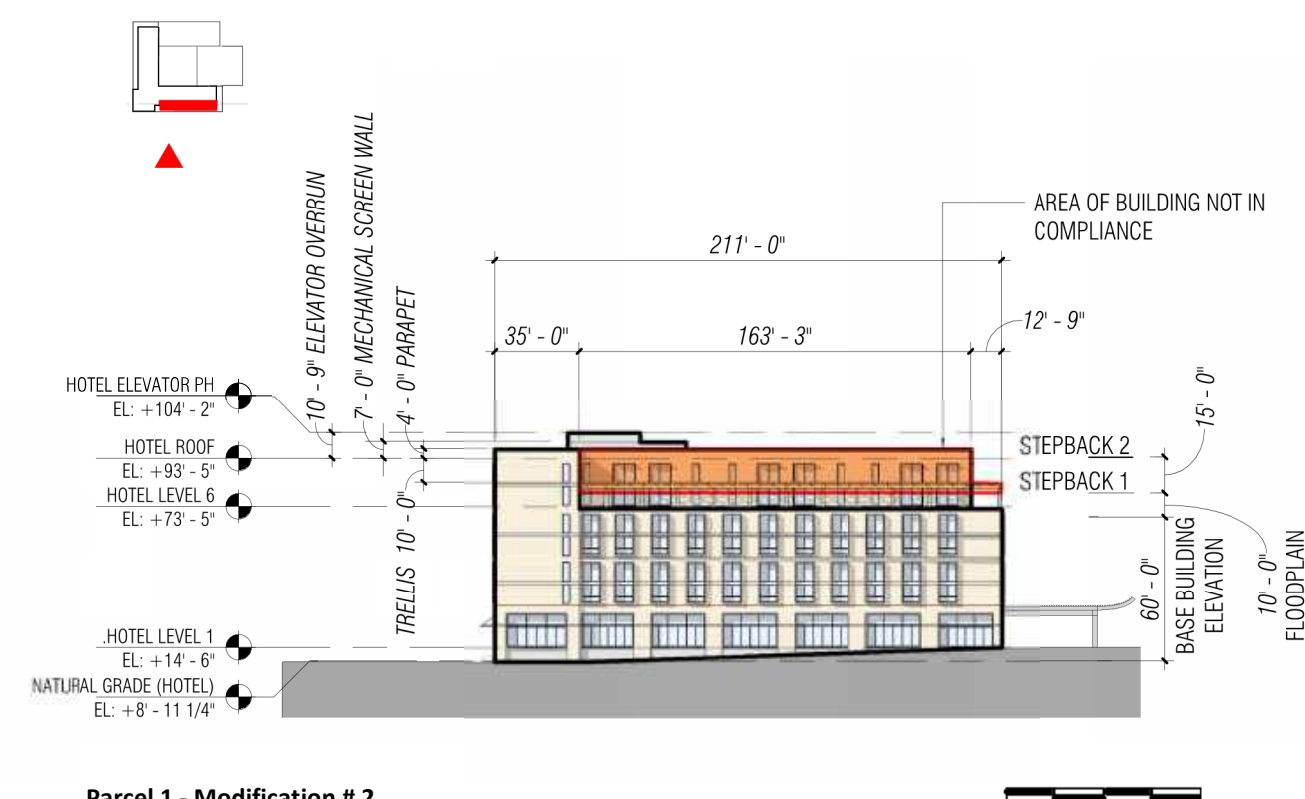
Attachments

Illustrative Attachment Exhibit

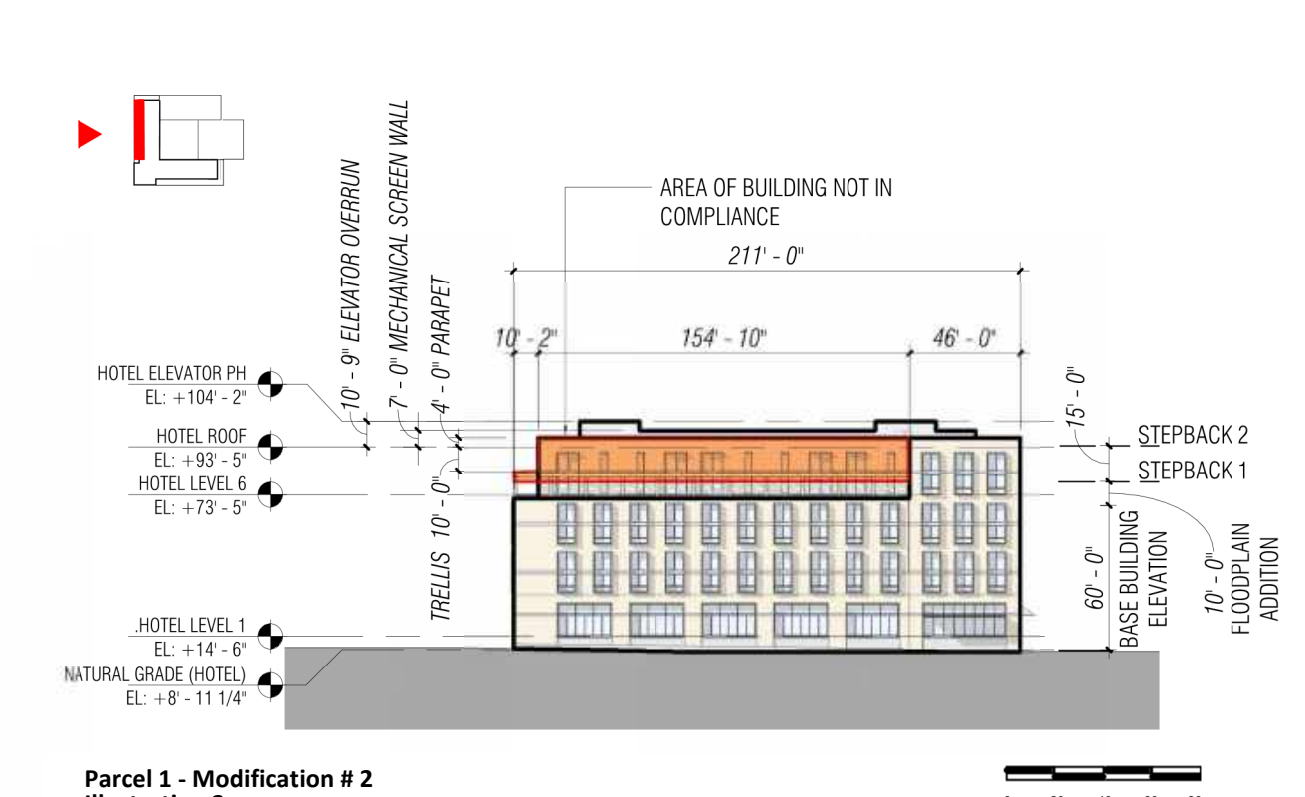
Parcel 1 - Modification #2, Illustration 1, South Elevation

Parcel 1 - Modification #2, Illustration 2, West Elevation

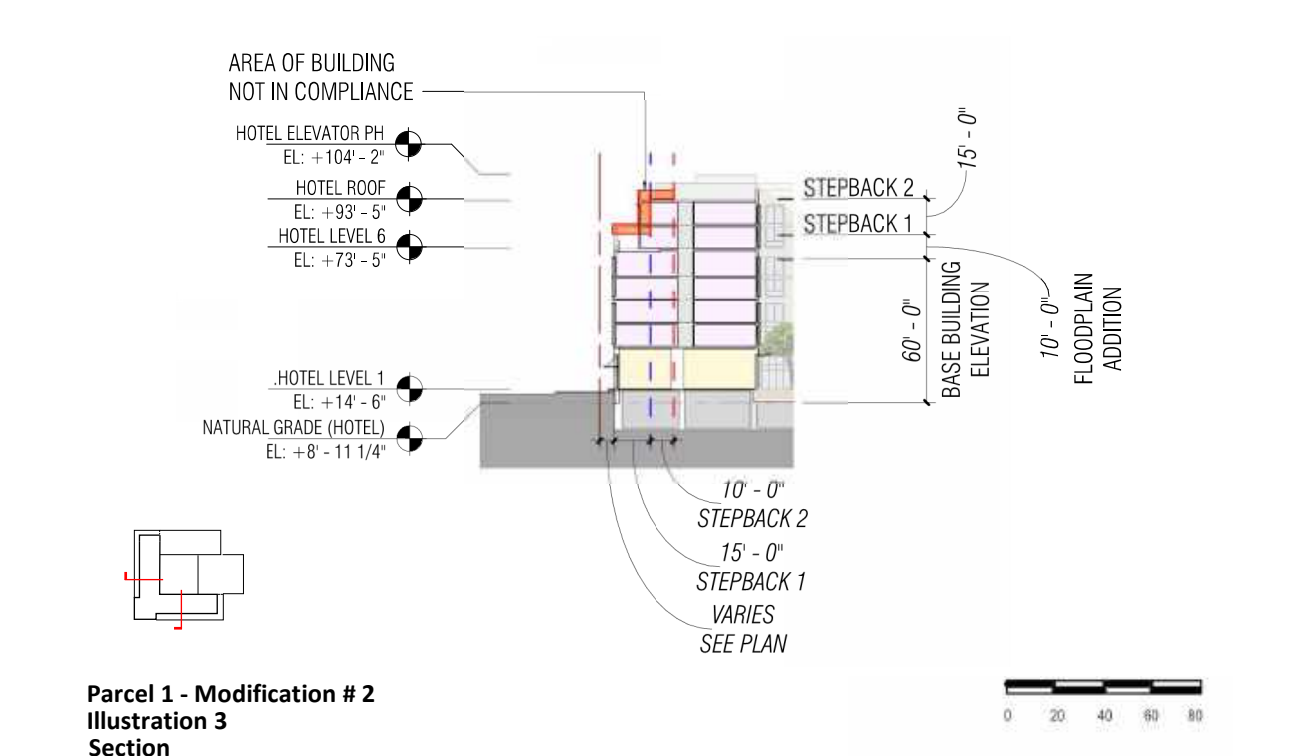
Parcel 1 - Modification #2, Illustration 3, Section



Parcel 1 - Modification #2
Illustration 1
South Elevation



Parcel 1 - Modification #2
Illustration 2
West Elevation



Parcel 1 - Modification #2
Illustration 3
Section

Parcel 1 - Hotel - Modification #1

Building Modulations

Modification

Allow Modification to Zoning Code Section 16.43.130(2)

No building modulations required along Willow Road or Main Street facades.

Code Requirements

16.43.130 Design Standards - Building Mass and Scale

Building Modulations

Definition: A building modulation is a break in the building plane from the ground level to the top of the building's base height that provides visual variety, reduces large building volumes and provides spaces for entryways and publicly accessible spaces.

Base Level: One every 200 feet, with a minimum of one per facade

Bonus Level: One every 200 feet, with a minimum of one per facade

Bonus Level Fronting a Boulevard, Thoroughfare, Mixed Use Collector, or Neighborhood Street: One every 200 feet, with a minimum of one per facade

Notes/Additional Requirements: Modulation is required on the building facade(s) facing publicly accessible spaces (streets, open space, and paseos). Parking is not allowed in the modulation recess. When more than 50% of an existing building facade that faces a publicly accessible space is altered, it must comply with these modulation requirements.

Subject Site and Proposed Building Description

The hotel at Willow Village is a courtyard-typology building with its taller massing facing the corner of Willow Road and Main Street. The height matches the parcel adjacent to the south, creating a gateway like entry into the Willow Village Development. The upper two floors of the building step back, creating the opportunity for special hotel rooms with garden terraces. The building steps down to a lower massing which faces the Willow Village Town Square, and the entire center of the block is an open garden with direct visual and physical access.

The building sits on a retail 'base' at street level with glazed retail shopfronts between a rhythm of solid piers. The facade design above includes an array of multi-story projections, protruding in and out every 15 feet on center. These framed 'portals' break up the overall massing of the building, which at its longest edge measures 211'. Given the project's location in Menlo Park, the portals are designed with solar protected, recessed glazing allowing for an indoor-outdoor design for the hotel rooms.

The project proposes a Modification to the zoning requirement for a modulation every 200', with a minimum of one per facade, in the hotel facades on Willow Road and Main Street. The proposed facades as designed have highly modulated double-story window frames as the key design feature. The length of the proposed facades are 211' long, only 11' longer than the 200' threshold. Streets flank either side of both facades creating a visual break between them and any adjacent structures eliminating the possibility of a further elongated street wall. The 7.5% excess of the maximum length is minor and generally imperceptible. We believe that the facades as designed substantially meet the intent of the zoning, i.e., to avoid monotonous long facades.

Modifications

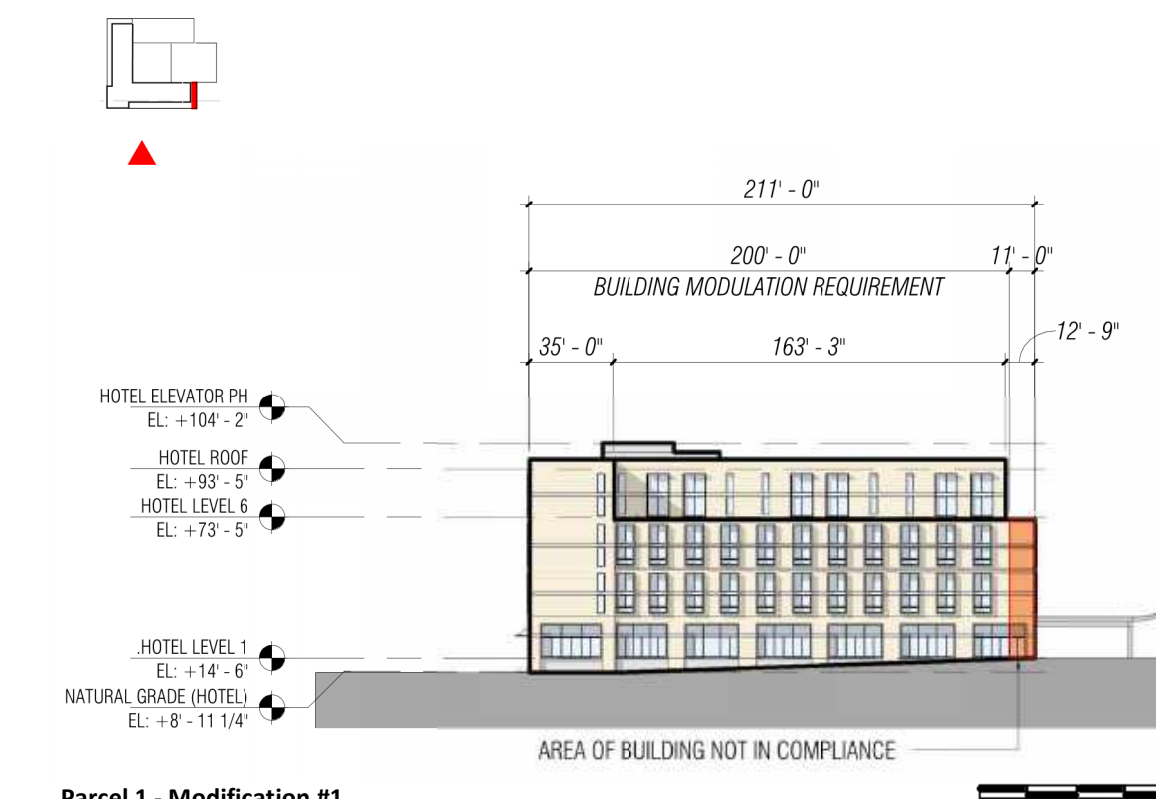
Modifications to any Adjustment may be considered according to CDP Section x governing Substantially Consistent Modifications and Minor Modifications.

Attachments

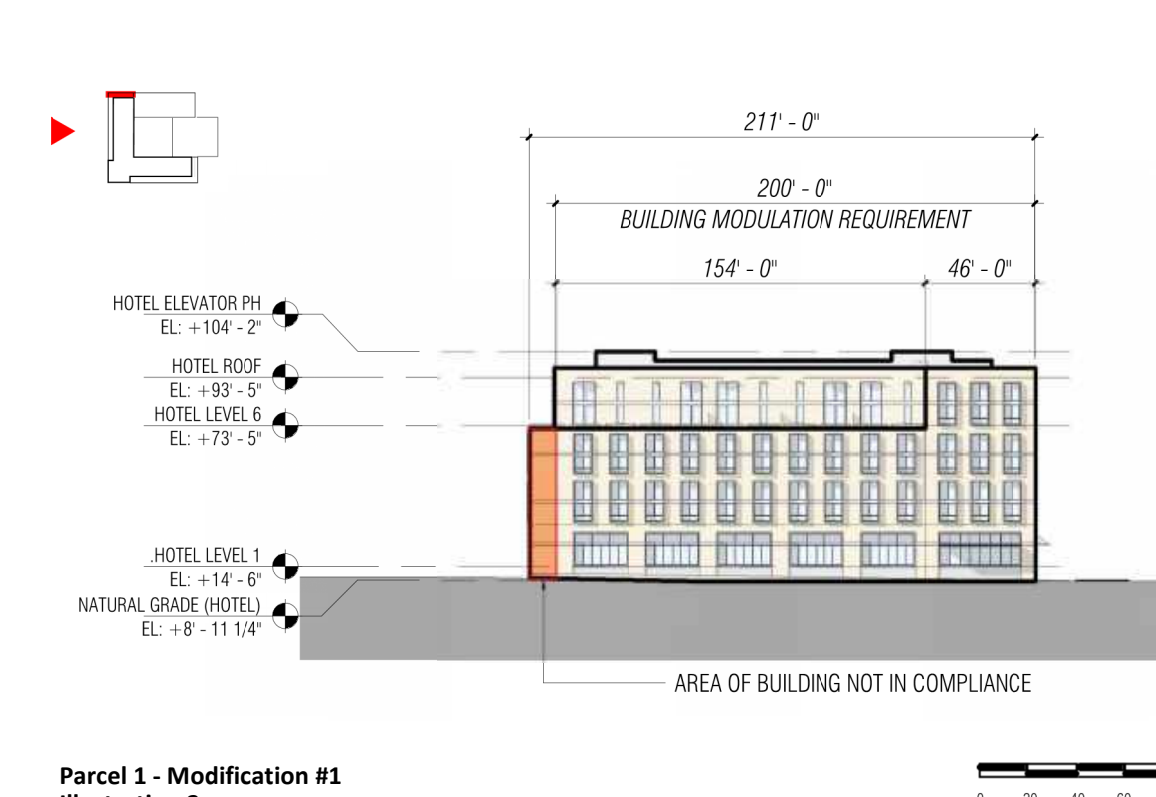
Illustrative Attachment Exhibit

Parcel 1 - Modification #1, Illustration 1, South Elevation

Parcel 1 - Modification #1, Illustration 2, West Elevation



Parcel 1 - Modification #1
Illustration 1
South Elevation



Parcel 1 - Modification #1
Illustration 2
West Elevation

SCALE:
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE REQUIRED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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NO.	DATE	ISSUE

Parcel 1 - Hotel - Modification #6
Building Projections

Modification

Allow Modification to Zoning Code Section 16.43.130(2)

Along West St. allow maximum building projection to extend 8'-0" from the required setback.

Code Requirements

16.43.130 (2) Design Standards – Building Projections

Building Projections

Definition: the maximum depth of allowable building projections, such as balconies or bay windows, from the required setback for portions of the building above the ground floor

Base Level: 6 feet

Bonus Level: 6 feet

Notes/Additional Requirements: none

Subject Site and Proposed Building Description

The hotel at Willow Village is a courtyard-typology building with its taller massing facing the corner of Willow Road and Main Street. The height matches the parcel adjacent to the south, creating a gateway like entry into the Willow Village Development. The upper two floors of the building step back, creating the opportunity for special hotel rooms with garden terraces. The building steps down to a lower massing which faces the Willow Village Town Square, and the entire center of the block is an open garden with direct visual and physical access.

The building sits on a retail 'base' at street level with glazed retail shopfronts between a rhythm of solid piers. The façade design above includes an array of multi-story projections, protruding in and out every 15 feet on center. These framed 'portals' break up the overall massing of the building, which at its longest edge measures 211'. Given the project's location in Menlo Park, the portals are designed with solar protected, recessed glazing allowing for an indoor-outdoor design for the hotel rooms.

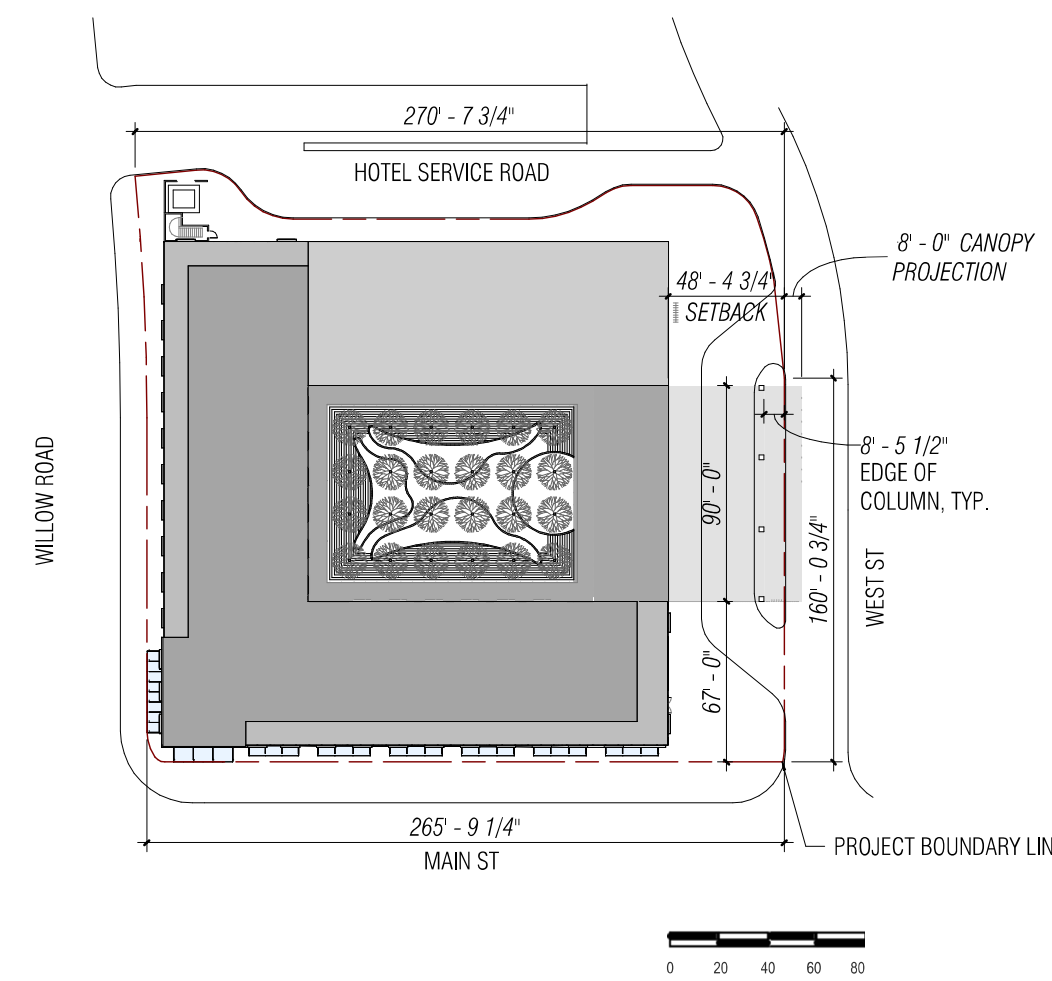
The project proposes a Modification to the zoning requirement for maximum building projection depth of 6' from the required setback for a portion of West St at the Hotel Drop-off. The proposed planted trellis canopy extends up to 8'-0" beyond the setback located at the street curb. The canopy projection serves to welcome the guest and visitor into the courtyard that is the heart of the building. The canopy also directly relates to the proposed planted trellis roof of the Town Square South Retail Pavilion. We believe that the projection as designed substantially meets the intent of the zoning, i.e., to allow unobstructed public access and an aesthetically pleasing public streetscape.

Modifications

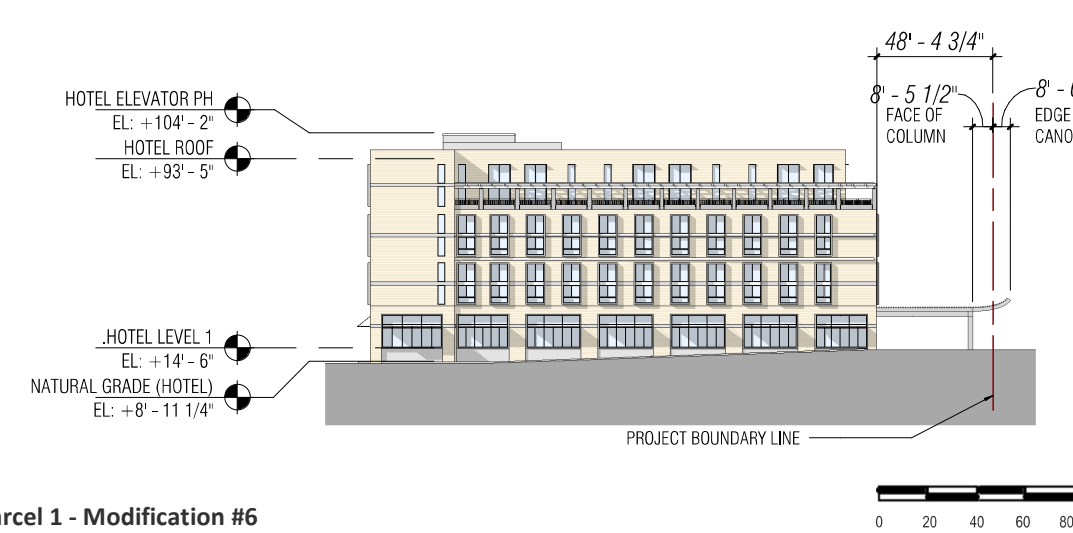
Modifications to any Adjustment may be considered according to CDP Section x governing Substantially Consistent Modifications and Minor Modifications.

Attachments

Illustrative Attachment Exhibit
 Parcel 1 - Modification #6, Illustration 1, Site Plan
 Parcel 1 - Modification #6, Illustration 2, South Elevation



Parcel 1 - Modification #6
 Illustration 1
 Site Plan



Parcel 1 - Modification #6
 Illustration 2
 South Elevation

Parcel 1 - Hotel - Modification #5
Building Projections

Modification

Allow Modification to Zoning Code Section 16.43.130(2)

Along Willow Rd. allow maximum building projection to extend 4'-6" from the required setback.

Code Requirements

16.43.130 (2) Design Standards – Building Projections

Building Projections

Definition: the maximum depth of allowable building projections, such as balconies or bay windows, from the required setback for portions of the building above the ground floor

Base Level: 6 feet

Bonus Level: 6 feet

Notes/Additional Requirements: none

Subject Site and Proposed Building Description

The hotel at Willow Village is a courtyard-typology building with its taller massing facing the corner of Willow Road and Main Street. The height matches the parcel adjacent to the south, creating a gateway like entry into the Willow Village Development. The upper two floors of the building step back, creating the opportunity for special hotel rooms with garden terraces. The building steps down to a lower massing which faces the Willow Village Town Square, and the entire center of the block is an open garden with direct visual and physical access.

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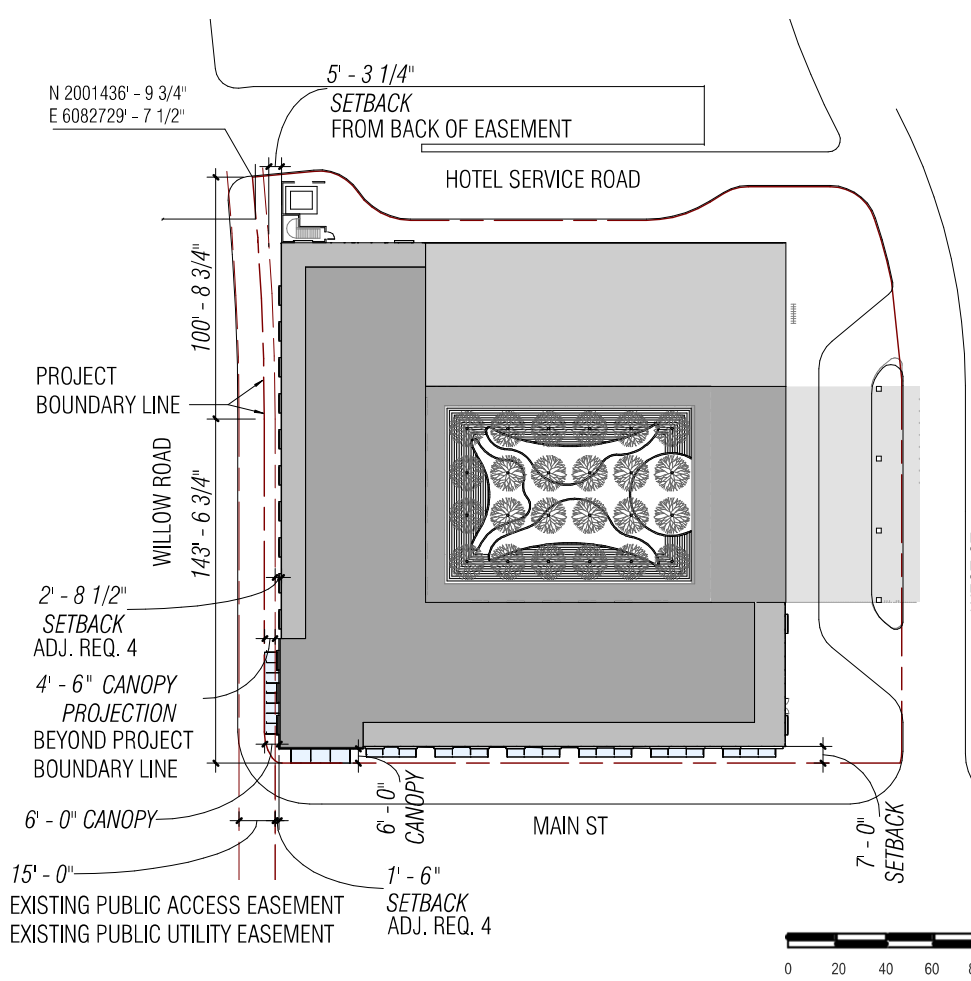
The project proposes a Modification to the zoning requirement for maximum building projection depth of 6' from the required setback for a portion of Willow Rd at the Willow Rd/ Main St. corner. The proposed 6'-0" glass canopy at the corner extends up to 4'-6" beyond the setback located at the back of the public access easement. The canopy is part of the design response to the City comments to accentuate the Willow Rd, Main St corner. We believe that the projection as designed substantially meets the intent of the zoning, i.e., to allow unobstructed public access and an aesthetically pleasing public streetscape.

Modifications

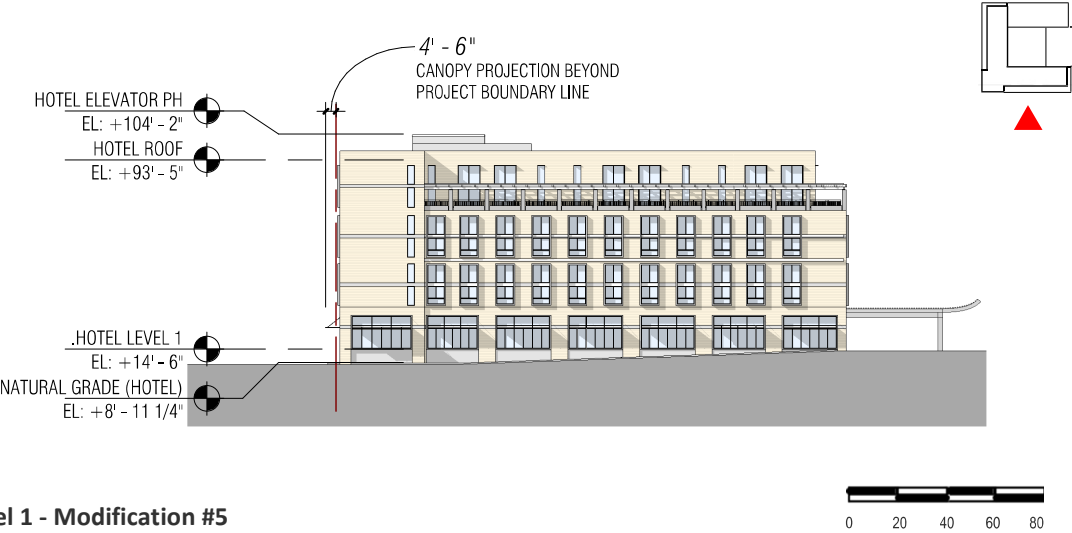
Modifications to any Adjustment may be considered according to CDP Section x governing Substantially Consistent Modifications and Minor Modifications.

Attachments

Illustrative Attachment Exhibit
 Parcel 1 - Modification #5, Illustration 1, Site Plan
 Parcel 1 - Modification #5, Illustration 2, South Elevation



Parcel 1 - Modification #5
 Illustration 1
 Site Plan



Parcel 1 - Modification #5
 Illustration 2
 South Elevation

Parcel 1 - Hotel - Modification #4
Minimum Setback

Modification

Allow Modification to Zoning Code Section 16.43.050, 16.45.130(1)

Allow minimum setback from back of public easement to 1'-6" for Willow Rd.

Code Requirements

16.43.050 Design Standards – Minimum Setback

Minimum Setback

Definition: Minimum linear feet building can be sited from property line adjacent to street

Base Level: 5 feet

Bonus Level: 5 feet

Notes/Additional Requirements: Setbacks shall be measured from the property line. In instances where there will be a public access easement, measure the setback from the back of the easement. See build-to requirements in Section 16.43.130 (1)

Subject Site and Proposed Building Description

The hotel at Willow Village is a courtyard-typology building with its taller massing facing the corner of Willow Road and Main Street. The height matches the parcel adjacent to the south, creating a gateway like entry into the Willow Village Development. The upper two floors of the building step back, creating the opportunity for special hotel rooms with garden terraces. The building steps down to a lower massing which faces the Willow Village Town Square, and the entire center of the block is an open garden with direct visual and physical access.

The building sits on a retail 'base' at street level with glazed retail shopfronts between a rhythm of solid piers. The façade design above includes an array of multi-story projections, protruding in and out every 15 feet on center. These framed 'portals' break up the overall massing of the building, which at its longest edge measures 211'. Given the project's location in Menlo Park, the portals are designed with solar protected, recessed glazing allowing for an indoor-outdoor design for the hotel rooms.

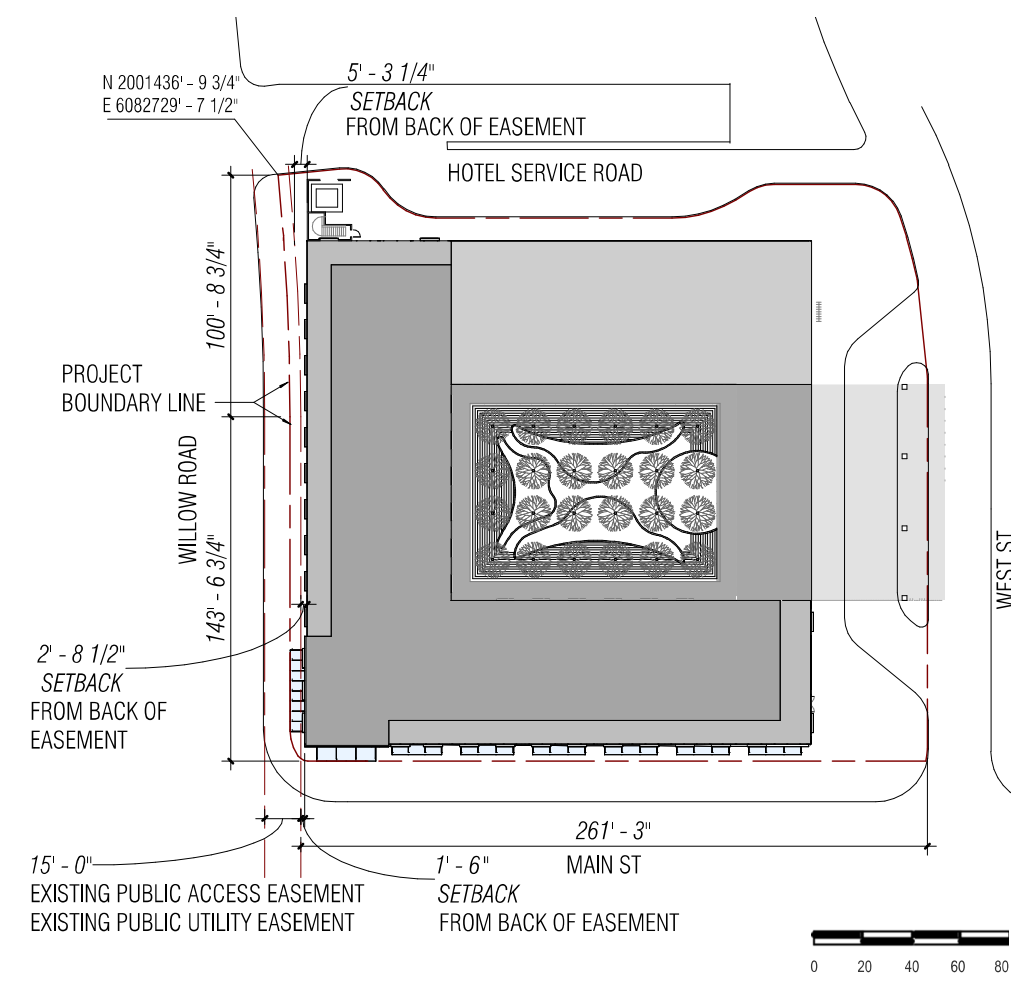
The project proposes a Modification to the zoning requirement for a minimum setback of 5'-0" from the back of a public easement, for the Willow Road building edge. The proposed siting of the building maintains a public sidewalk and plantings of 17'-0" + at its minimum width. The siting includes curbside trees and a continuous planter strip along the building façade. We believe that the building location as proposed substantially meets the intent of the zoning, i.e., to allow unobstructed public access and an aesthetically pleasing public streetscape.

Modifications

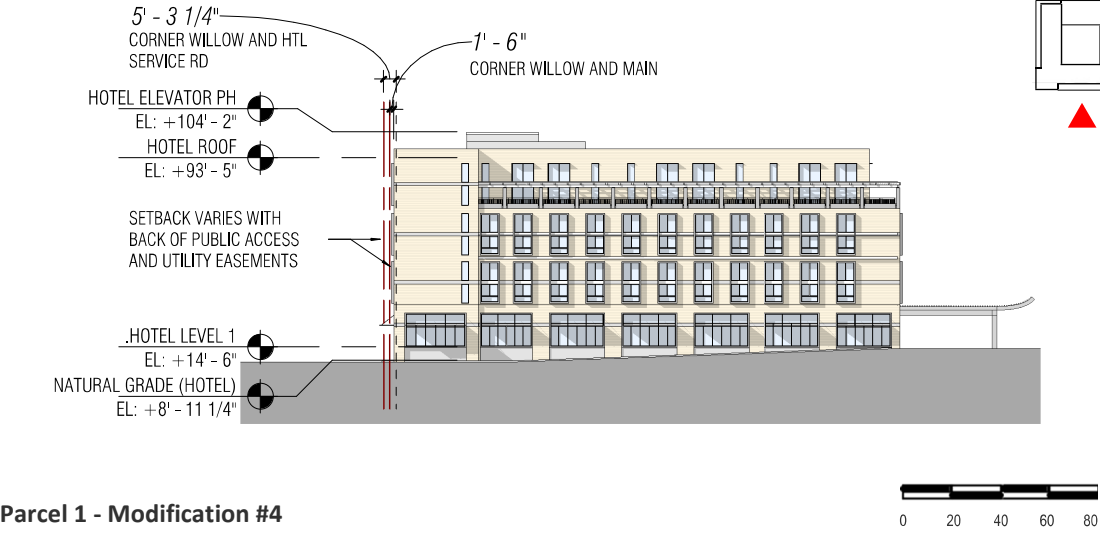
Modifications to any Adjustment may be considered according to CDP Section x governing Substantially Consistent Modifications and Minor Modifications.

Attachments

Illustrative Attachment Exhibit
 Parcel 1 - Modification #4, Illustration 1, Site Plan
 Parcel 1 - Modification #4, Illustration 2, South Elevation



Parcel 1 - Modification #4
 Illustration 1
 Site Plan



Parcel 1 - Modification #4
 Illustration 2
 South Elevation

SCALE: 1" = 60'-0"
 NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE PROVIDED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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Parcel 1 - Hotel - Modification #9
Maximum Setback

Modification

Allow Modification to Zoning Code Section 16.43.050, 16.43.130(1)
 Allow maximum setback of 30'-0" along Hotel Service Rd.

Code Requirements

16.43.050 Design Standards – Maximum Setback

Maximum Setback

Definition: Maximum linear feet building can be sited from property line adjacent to street

Base Level: 25 feet

Bonus Level: 25 feet

Notes/Additional Requirements: Setbacks shall be measured from the property line. In instances where there will be a public access easement, measure the setback from the back of the easement. See build-to requirements in Section 16.43.130 (1)

Subject Site and Proposed Building Description

The hotel at Willow Village is a courtyard-typology building with its taller massing facing the corner of Willow Road and Main Street. The height matches the parcel adjacent to the south, creating a gateway like entry into the Willow Village Development. The upper two floors of the building step back, creating the opportunity for special hotel rooms with garden terraces. The building steps down to a lower massing which faces the Willow Village Town Square, and the entire center of the block is an open garden with direct visual and physical access.

The building sits on a retail 'base' at street level with glazed retail shopfronts between a rhythm of solid piers. The facade design above includes an array of multi-story projections, protruding in and out every 15 feet on center. These framed 'portals' break up the overall massing of the building, which at its longest edge measures 211'. Given the project's location in Menlo Park, the portals are designed with solar protected, recessed glazing allowing for an indoor-outdoor design for the hotel rooms.

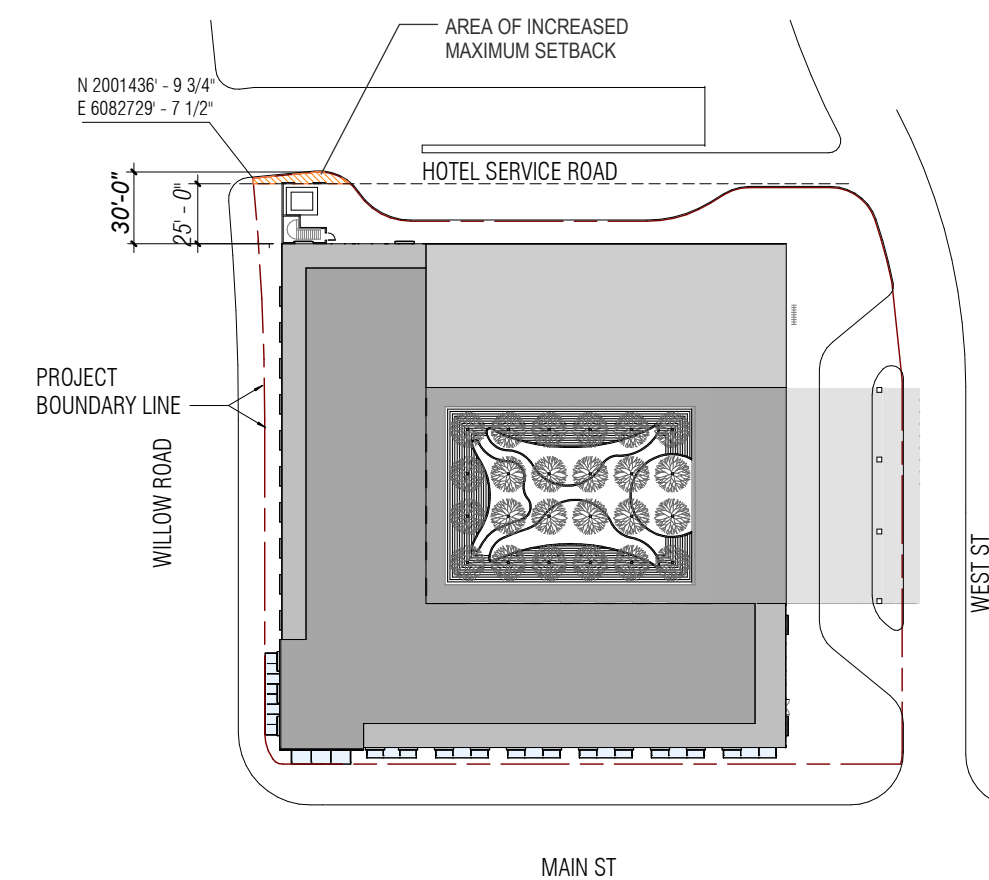
The project proposes a Modification to the zoning requirement for a maximum setback of 25'-0" from property line adjacent to a street for a portion of the Hotel Service Road (north) facade to increase it to 30'-0". The proposed siting of the building allows for an enclosed utility area along the Willow Rd. Hotel Service Road corner. The siting includes landscaping and an access sidewalk and is not intended as a primary public way. We believe that the building location as proposed substantially meets the intent of the zoning, i.e., to maintain an active and attractive street edge at public rights of way.

Modifications

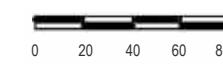
Modifications to any Adjustment may be considered according to CDP Section x governing Substantially Consistent Modifications and Minor Modifications.

Attachments

Illustrative Attachment Exhibit
 Parcel 1 - Modification #9, Illustration 1, Site Plan



Parcel 1 - Modification #9
 Illustration 1
 Site Plan



Parcel 1 - Hotel - Modification #8
Frontage Landscaping

Modification

Allow Modification to Zoning Code Section 16.43.130(1)
 Allow 15% Frontage Landscaping along West St.

Code Requirements

16.43.130 (2) Design Standards – Frontage Landscaping

Frontage Landscaping

Definition: The percentage of the setback area (between the property line and the face of the building) devoted to ground cover and vegetation. Trees may or may not be within the landscaped area. Setback areas adjacent to active ground floor uses is excepted

Base Level: Minimum 40%

Bonus Level: Minimum 25% fronting a local street

Notes/Additional Requirements: Setback areas adjacent to active ground floor uses, including lobbies, retail sales, and eating and drinking establishments are excepted.

Subject Site and Proposed Building Description

The hotel at Willow Village is a courtyard-typology building with its taller massing facing the corner of Willow Road and Main Street. The height matches the parcel adjacent to the south, creating a gateway like entry into the Willow Village Development. The upper two floors of the building step back, creating the opportunity for special hotel rooms with garden terraces. The building steps down to a lower massing which faces the Willow Village Town Square, and the entire center of the block is an open garden with direct visual and physical access.

The building sits on a retail 'base' at street level with glazed retail shopfronts between a rhythm of solid piers. The facade design above includes an array of multi-story projections, protruding in and out every 15 feet on center. These framed 'portals' break up the overall massing of the building, which at its longest edge measures 211'. Given the project's location in Menlo Park, the portals are designed with solar protected, recessed glazing allowing for an indoor-outdoor design for the hotel rooms.

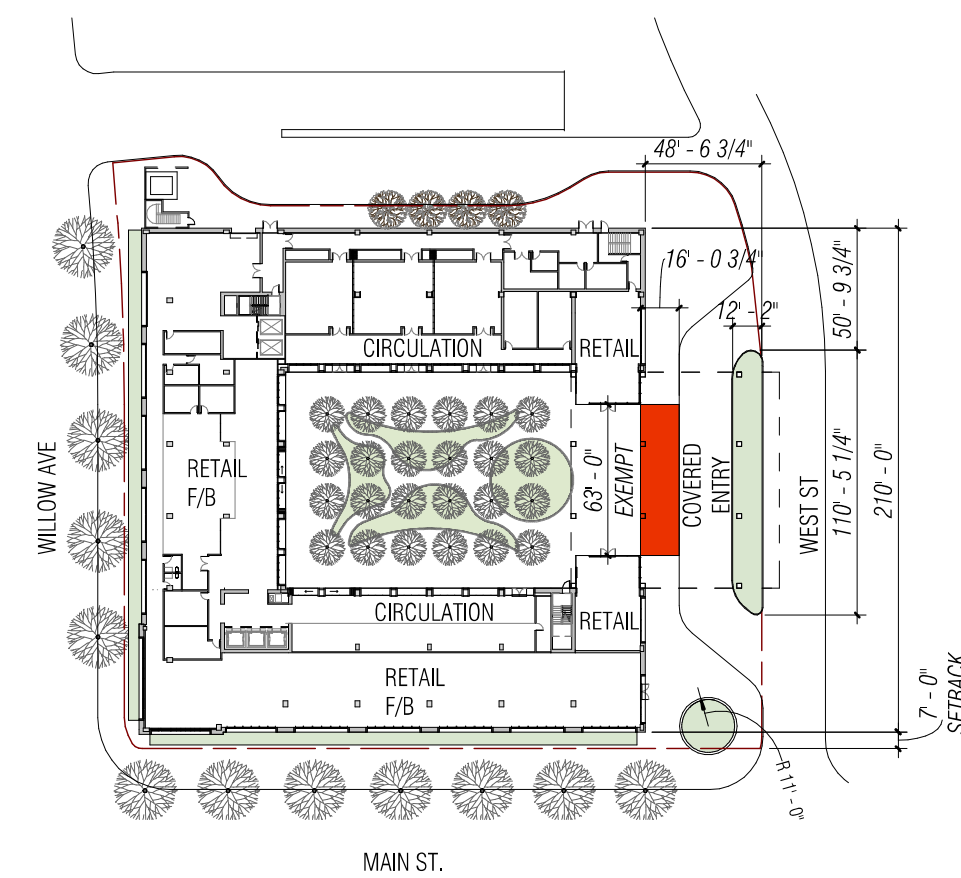
The project proposes a Modification to the zoning requirement for minimum frontage landscaping of 25% along West St. The West St facade features a 90'-0" planted trellis canopy framing an entrance to the planted courtyard. Beyond these features, the West St design will have a minimum 15% frontage landscape. We believe that the West St. design substantially meets the intent of the zoning, i.e., to maintain landscaping visible and accessible to the public for the general welfare of the community.

Modifications

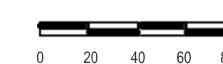
Modifications to any Adjustment may be considered according to CDP Section x governing Substantially Consistent Modifications and Minor Modifications.

Attachments

Illustrative Attachment Exhibit
 Parcel 1 - Modification #8, Illustration 1, Site Plan



Parcel 1 - Modification #8
 Illustration 1
 Level 1 Site Plan



Parcel 1 - Hotel - Modification #7
Ground Floor Transparency

Modification

Allow Modification to Zoning Code Section 16.43.130(3)
 Allow 40% Ground Floor transparency along West St.

Code Requirements

16.43.130 (3) Design Standards – Ground Floor Transparency

Ground Floor Transparency

Definition: the minimum percentage of the ground floor facade (finished floor to ceiling) that must provide visible transparency. Windows shall not be opaque or mirrored. 50%

Base Level: 30%; 50% for commercial uses

Bonus Level: 50%

Notes/Additional Requirements: Entrances at a building corner may be used to satisfy this requirement for both frontages. Stairs must be located in locations convenient to building users.

Subject Site and Proposed Building Description

The hotel at Willow Village is a courtyard-typology building with its taller massing facing the corner of Willow Road and Main Street. The height matches the parcel adjacent to the south, creating a gateway like entry into the Willow Village Development. The upper two floors of the building step back, creating the opportunity for special hotel rooms with garden terraces. The building steps down to a lower massing which faces the Willow Village Town Square, and the entire center of the block is an open garden with direct visual and physical access.

The building sits on a retail 'base' at street level with glazed retail shopfronts between a rhythm of solid piers. The facade design above includes an array of multi-story projections, protruding in and out every 15 feet on center. These framed 'portals' break up the overall massing of the building, which at its longest edge measures 211'. Given the project's location in Menlo Park, the portals are designed with solar protected, recessed glazing allowing for an indoor-outdoor design for the hotel rooms.

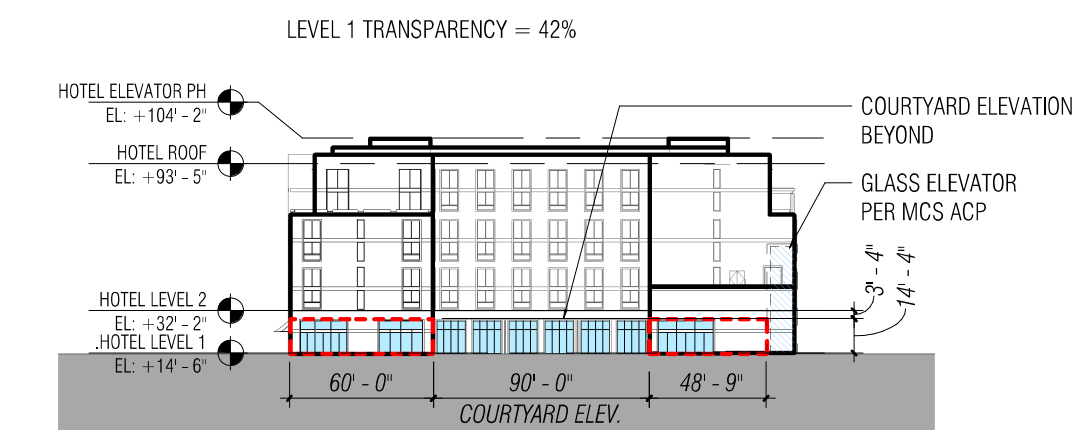
The project proposes a Modification to the zoning requirement for minimum percentage of the ground floor facade transparency of 50%. The West St facade features a 90'-0" opening that serves as an entry to the courtyard. The entry is framed by a planted trellis canopy. If the entry to the courtyard were included in the calculation, the West St facade would be over 60% open. We believe the facade as designed meets the intent of the zoning, i.e., to allow unobstructed public access and an aesthetically pleasing public streetscape.

Modifications

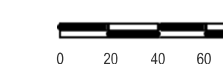
Modifications to any Adjustment may be considered according to CDP Section x governing Substantially Consistent Modifications and Minor Modifications.

Attachments

Illustrative Attachment Exhibit
 Parcel 1 - Modification #7, Illustration 1, West St. Elevation



Parcel 1 - Modification #7
 Illustration 1
 West St. Elevation



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
 Architectural Control Package - Parcel 1 - Hotel
 Menlo Park, CA

SCALE: 1" = 60'-0"
 NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY, OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

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 Willow Village Hotel
 Approved Modifications

DRAWING NO:

A9.32

Parcel 1 - Hotel - Modification #10

Maximum Setback

Modification

Allow Modification to Zoning Code Section 16.43.050, 16.43.130(1)

Allow maximum setback of 50'-0" along West St.

Code Requirements

16.43.050 Design Standards – Maximum Setback

Maximum Setback

Definition: Maximum linear feet building can be sited from property line adjacent to street

Base Level: 25 feet

Bonus Level: 25 feet

Notes/Additional Requirements: Setbacks shall be measured from the property line. In instances where there will be a public access easement, measure the setback from the back of the easement. See build-to requirements in Section 16.43.130 (1)

Subject Site and Proposed Building Description

The hotel at Willow Village is a courtyard-typology building with its taller massing facing the corner of Willow Road and Main Street. The height matches the parcel adjacent to the south, creating a gateway like entry into the Willow Village Development. The upper two floors of the building step back, creating the opportunity for special hotel rooms with garden terraces. The building steps down to a lower massing which faces the Willow Village Town Square, and the entire center of the block is an open garden with direct visual and physical access.

The building sits on a retail 'base' at street level with glazed retail shopfronts between a rhythm of solid piers. The façade design above includes an array of multi-story projections, protruding in and out every 15 feet on center. These framed 'portals' break up the overall massing of the building, which at its longest edge measures 211'. Given the project's location in Menlo Park, the portals are designed with solar protected, recessed glazing allowing for an indoor-outdoor design for the hotel rooms.

The project proposes a Modification to the zoning requirement for a maximum setback of 25'-0" from property line adjacent to a street for the West St. (east) façade to increase up to 50'-0". The proposed siting of the building allows for a public access point to Elevated Park and a Hotel drop-off that is removed from the street. The siting includes a planted trellis canopy that extends to the West St edge and a wide public sidewalk. We believe that the building location as proposed substantially meets the intent of the zoning, i.e., to maintain an active and attractive street edge at public rights of way.

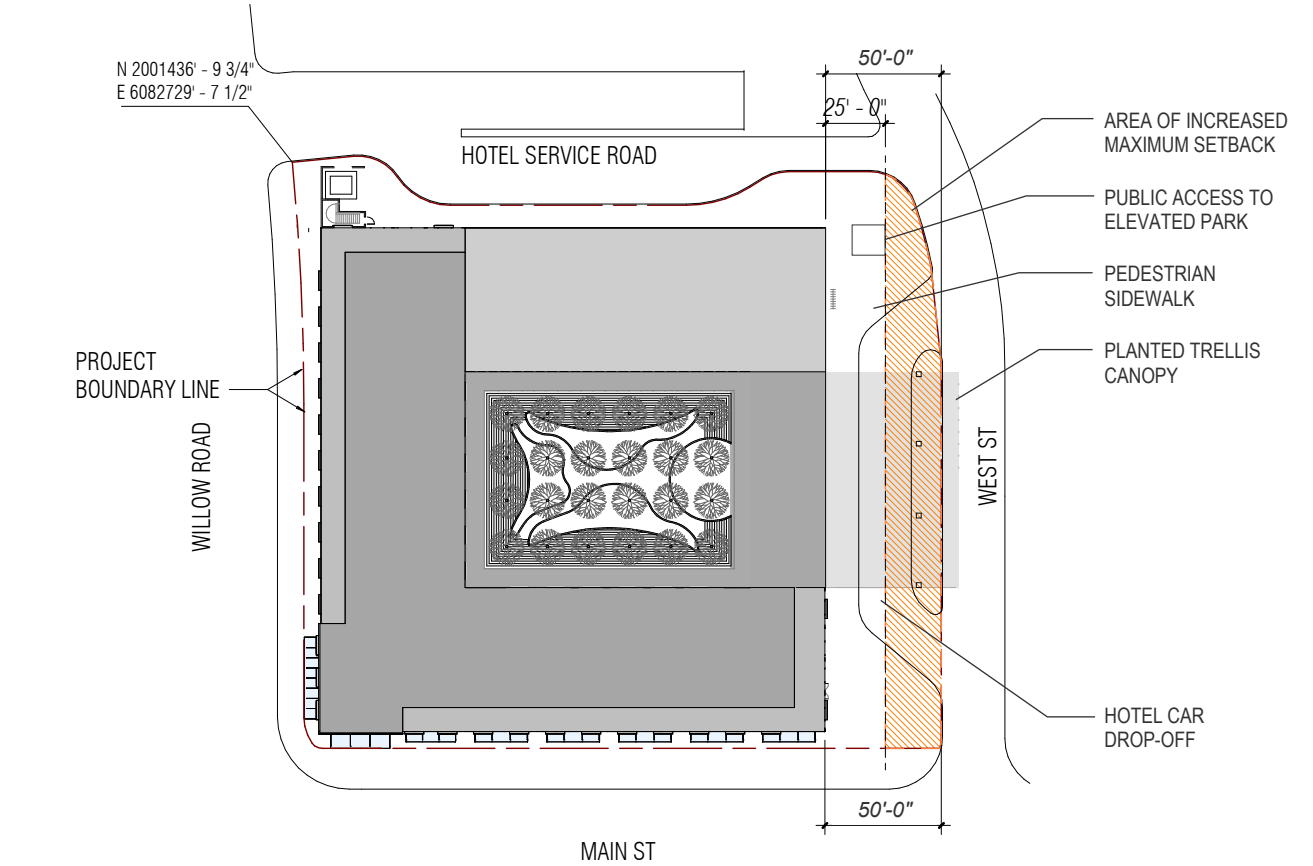
Modifications

Modifications to any Adjustment may be considered according to CDP Section x governing Substantially Consistent Modifications and Minor Modifications.

Attachments

Illustrative Attachment Exhibit

Parcel 1 - Modification #10, Illustration 1, Site Plan



Parcel 1 - Modification #10
Illustration 1
Site Plan

PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE
Architectural Control Package - Parcel 1 - Hotel
Menlo Park, CA

SCALE: 1" = 60'-0"

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