

# Willow Village

## Architectural Control Package - Parcel 7

APRIL 28, 2023



Peninsula Innovation Partners  
Menlo Park, CA

### Table of Contents

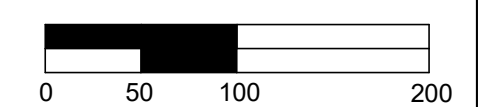
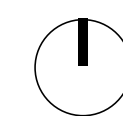
G0.00	TITLE SHEET	A9.04	SQUARE FOOTAGE PLANS	L0.00	PARCEL 7 LANDSCAPE INDEX SHEET AND PLANTING SCHEDULE
A0.01	ILLUSTRATIVE CONTEXT PLAN	A9.05	BUILDING HEIGHT ANALYSIS PLAN	L0.01	PARCEL 7 LANDSCAPE COMPOSITE PLAN
A1.01	SITE PLAN	A9.06	OPEN SPACE PLANS	L1.01	PARCEL 7 LANDSCAPE GROUND LEVEL MATERIALS PLAN
A2.01	FLOOR PLAN - LEVEL 1	A9.07	STEPBACK DIAGRAMS	L1.02	PARCEL 7 LANDSCAPE LEVEL 2 MATERIALS PLAN
A2.02	FLOOR PLAN - LEVEL 2	A9.09	MODULATION DIAGRAMS	L1.03	PARCEL 7 LANDSCAPE LEVEL 5 MATERIALS PLAN
A2.03	FLOOR PLAN - LEVEL 3	A9.11	BUILDING ENTRANCE DIAGRAM	L2.01	PARCEL 7 LANDSCAPE GROUND LEVEL PLANTING PLAN
A2.04	FLOOR PLAN - LEVEL 4	A9.12	GARAGE ENTRANCE DIAGRAM	L2.01A	PARCEL 7 LANDSCAPE GROUND LEVEL PLANTING PLAN IMAGES
A2.05	FLOOR PLAN - LEVEL 5	A9.13	GROUND FLOOR TRANSPARENCY DIAGRAM	L2.02	PARCEL 7 LANDSCAPE LEVEL 2 PLANTING PLAN
A2.06	FLOOR PLAN - LEVEL 6	A9.14	CAR PARKING COUNT DIAGRAM	L2.02A	PARCEL 7 LANDSCAPE LEVEL 2 PLANTING PLAN IMAGES
A2.07	ROOF PLAN	A9.14B	CAR PARKING EXHIBIT	L2.03	PARCEL 7 LANDSCAPE LEVEL 5 PLANTING PLAN
A3.01	TYPICAL UNIT PLANS (STUDIOS) AND UNIT MIX	A9.14C	BIKE PARKING COUNT DIAGRAM & EXHIBIT	L3.01	PARCEL 7 LANDSCAPE GROUND LEVEL IRRIGATION ZONE PLAN
A3.02	TYPICAL UNIT PLANS (1-BR)	A9.15	BIRD-SAFE DIAGRAMS	L3.02	PARCEL 7 LANDSCAPE LEVEL 2 IRRIGATION ZONE PLAN
A4.01	BUILDING ELEVATIONS	A9.17	STUCCO AREA TAKE OFF	L3.03	PARCEL 7 LANDSCAPE LEVEL 5 IRRIGATION ZONE PLAN
A4.02	BUILDING ELEVATIONS	A9.20	REFUSE, RECYCLING & ZERO WASTE DIAGRAM	S1.00	LEED CHECKLIST
A5.01	BUILDING SECTIONS	C1.00	TOPOGRAPHIC SURVEY	APP1.01	APPENDIX - APPROVED PARCEL ADJUSTMENTS FROM THE CDP
A5.02	PARTIAL SECTIONS & ELEVATIONS	C1.01	SITE CIRCULATION & SITE ENTRY PLAN	APP1.02	APPENDIX - APPROVED PARCEL ADJUSTMENTS FROM THE CDP
A5.03	PARTIAL SECTIONS & ELEVATIONS	C2.00	GRADING & DRAINAGE PLAN	APP1.03	APPENDIX - APPROVED PARCEL ADJUSTMENTS FROM THE CDP
A5.04	PARTIAL SECTIONS & ELEVATIONS	C2.01	GRADING SECTIONS		
A6.01	PERSPECTIVES	C3.00	UTILITY PLAN	TOTAL SHEETS: 66	
A6.02	PERSPECTIVE	C4.00	STORMWATER CONTROL PLAN		
A7.01	MATERIALS AND COLOR BOARD	C4.01	STORMWATER CONTROL DETAILS		
A8.01	ZONING CODE COMPLIANCE	C5.00	EROSION CONTROL PLAN		
A9.01	ACCESSIBILITY PLAN	C6.00	FIRE ACCESS PLAN		
A9.02	EXITING PLANS	C6.01	FIRE HYDRANT PLAN		
A9.03	AREA SEPARATION PLANS				





2/27/2023 7:55:22 PM

ILLUSTRATIVE MASTER PLAN 1  
1" = 100'-0"



PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
Architectural Control Package - Parcel 7  
Menlo Park, CA

SCALE: 1" = 100'-0"  
NOTE: THIS DRAWING IS 50% AS SHOWN. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

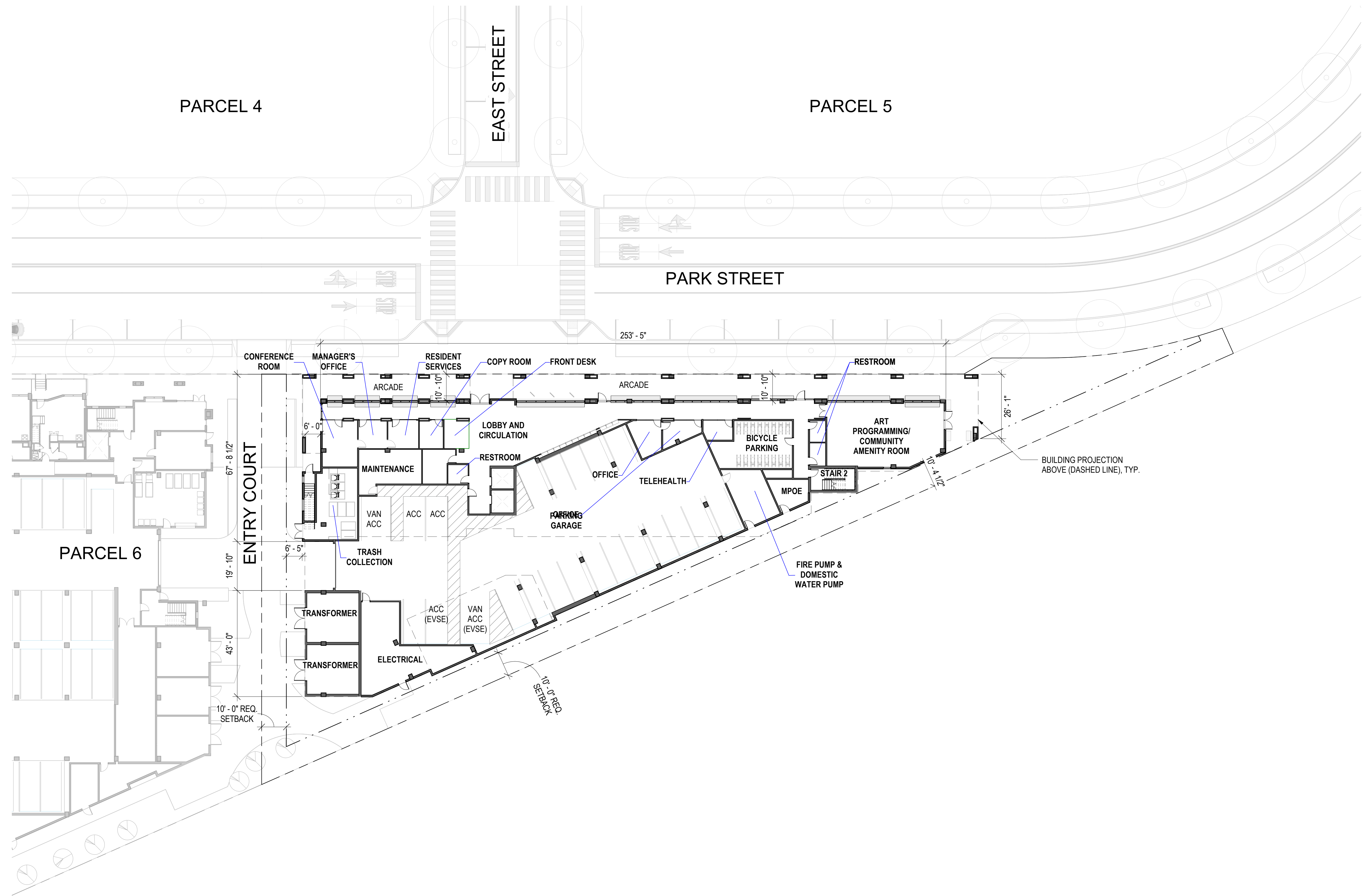
MILESTONES	
DATE	ISSUE
04/28/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:  
**ILLUSTRATIVE  
CONTEXT PLAN**

DRAWING NO:  
**A0.01**





PARCEL 4

PARCEL 5

EAST STREET

PARK STREET

PARCEL 6

ENTRY COURT

CONFERENCE ROOM

MANAGER'S OFFICE

RESIDENT SERVICES

COPY ROOM

FRONT DESK

RESTROOM

ARCANE

ARCANE

LOBBY AND CIRCULATION

RESTROOM

MAINTENANCE

OFFICE

TELEHEALTH

BICYCLE PARKING

ART PROGRAMMING/COMMUNITY AMENITY ROOM

MPOE

FIRE PUMP & DOMESTIC WATER PUMP

PARKING GARAGE

TRASH COLLECTION

TRANSFORMER

TRANSFORMER

ELECTRICAL

ACC (EVSE)

ACC (EVSE)

VAN ACC (EVSE)

VAN ACC (EVSE)

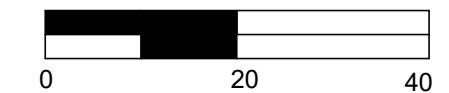
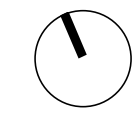
10'-0" REQ. SETBACK

10'-0" REQ. SETBACK

BUILDING PROJECTION ABOVE (DASHED LINE), TYP.

2/27/2023 7:55:25 PM

SITE PLAN 1  
1" = 20'-0"



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE  
Architectural Control Package - Parcel 7  
Menlo Park, CA

SCALE: 1" = 20'-0"  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY, OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
04/28/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:  
SITE PLAN

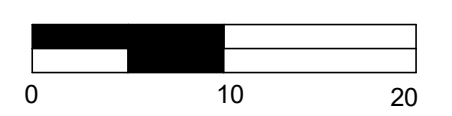
DRAWING NO:  
A1.01

2/27/2023 7:55:28 PM



- LEGEND**
- CIRCULATION
  - RESIDENT COMMON AREA
  - SERVICE
  - PARKING

LEVEL 1 1  
 1" = 10'-0"



PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 7  
 Menlo Park, CA

SCALE: 1" = 10'-0"  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE PROVIDED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES

DATE	ISSUE
04/28/2023	ACP

REVISIONS

NO.	DATE	ISSUE

DRAWING TITLE:  
**FLOOR PLAN - LEVEL 1**

DRAWING NO:  
**A2.01**

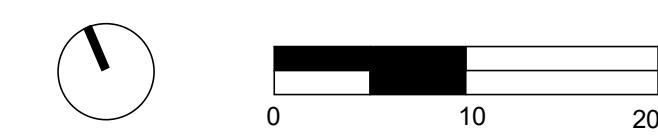


2/27/2023 7:55:31 PM



- LEGEND**
- RESIDENTIAL
  - CIRCULATION
  - RESIDENT COMMON AREA
  - SERVICE
  - OUTDOOR AT PODIUM

LEVEL 2  
1" = 10'-0" ①



PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
Architectural Control Package - Parcel 7  
Menlo Park, CA

SCALE: 1" = 10'-0"  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
04/28/2023	ACP

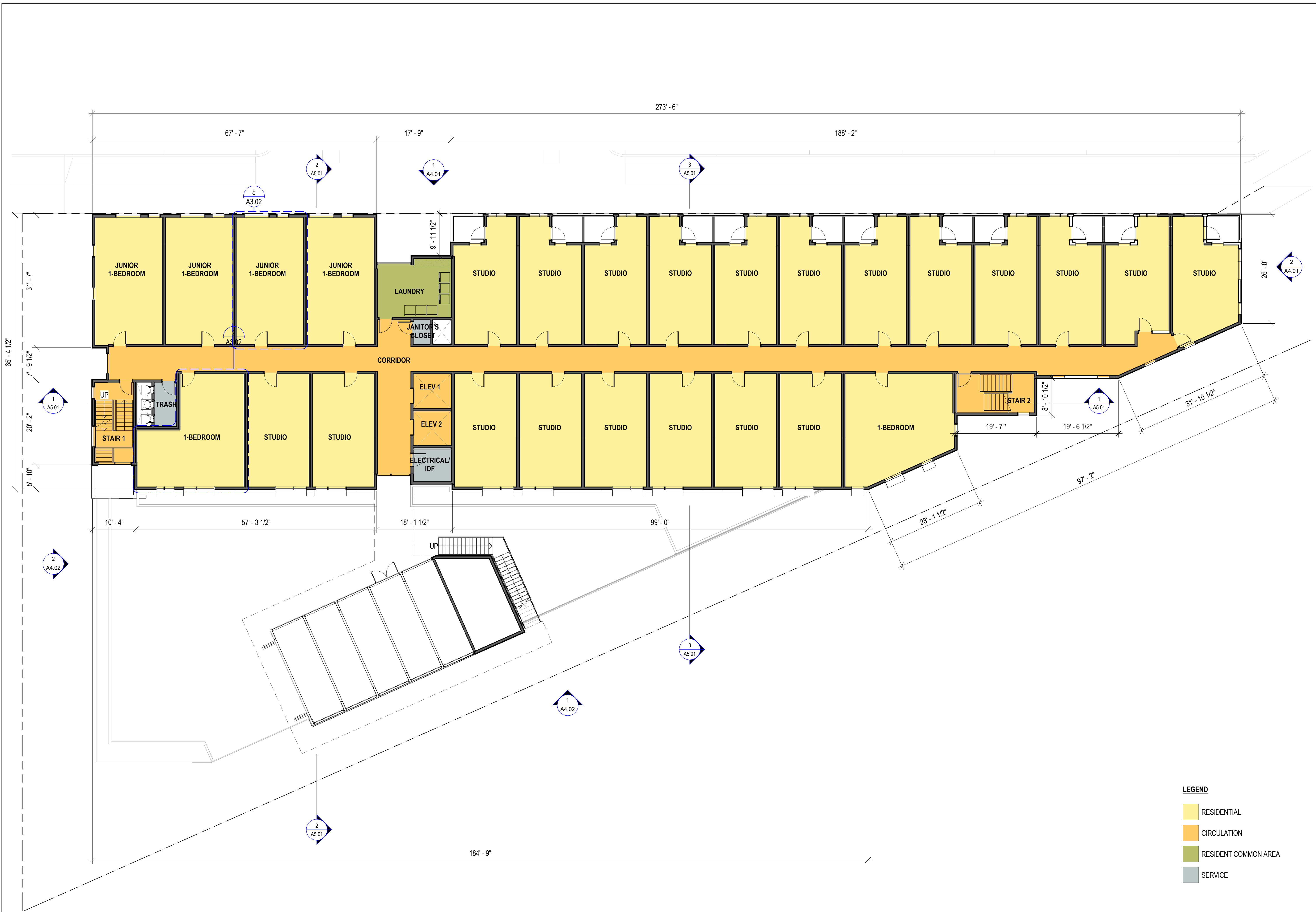
REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:  
**FLOOR PLAN - LEVEL 2**

DRAWING NO:  
**A2.02**



2/27/2023 7:55:34 PM



**LEGEND**

- RESIDENTIAL
- CIRCULATION
- RESIDENT COMMON AREA
- SERVICE

**LEVEL 3** ①

1" = 10'-0"

**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 7  
 Menlo Park, CA

SCALE: 1" = 10'-0"  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
04/28/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:  
**FLOOR PLAN - LEVEL 3**

DRAWING NO:  
**A2.03**

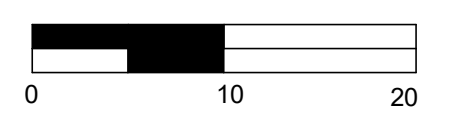
PENINSULA INNOVATION PARTNERS





- LEGEND**
- RESIDENTIAL
  - CIRCULATION
  - RESIDENT COMMON AREA
  - SERVICE

LEVEL 4 ①  
 1" = 10'-0"



2/27/2023 7:55:39 PM

PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 7  
 Menlo Park, CA

SCALE: 1" = 10'-0"  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY, OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
04/28/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:  
**FLOOR PLAN - LEVEL 4**

DRAWING NO:  
**A2.04**





2/27/2023 7:55:43 PM

LEVEL 5  
1" = 10'-0"

- LEGEND**
- RESIDENTIAL
  - CIRCULATION
  - RESIDENT COMMON AREA
  - SERVICE

PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
Architectural Control Package - Parcel 7  
Menlo Park, CA

SCALE: 1" = 10'-0"  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

**MILESTONES**

DATE	ISSUE
04/28/2023	ACP

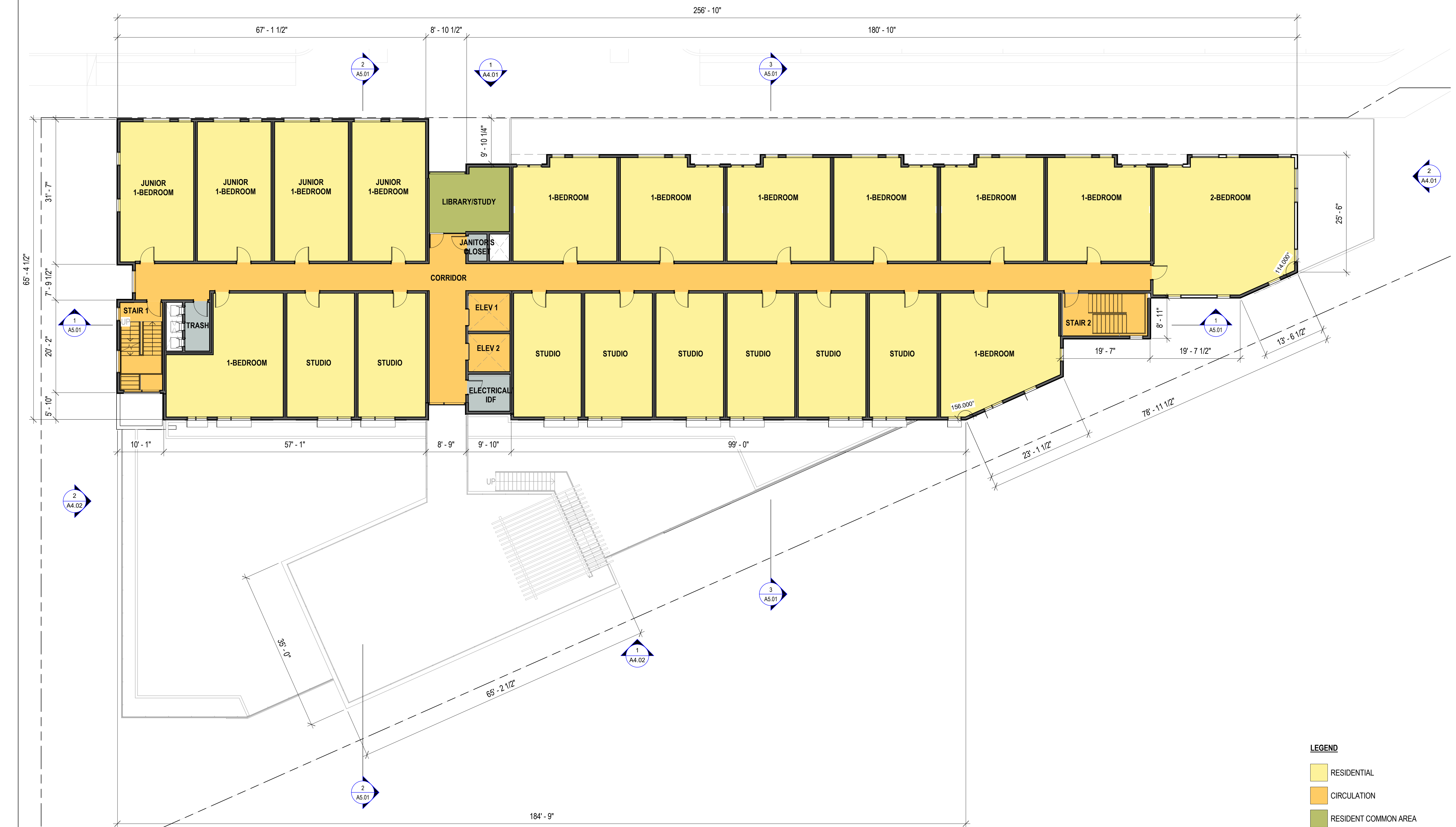
**REVISIONS**

NO.	DATE	ISSUE

DRAWING TITLE:  
**FLOOR PLAN - LEVEL 5**

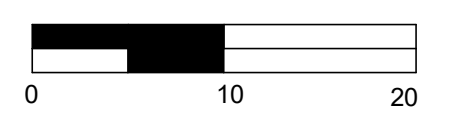
DRAWING NO:  
**A2.05**





- LEGEND**
- RESIDENTIAL
  - CIRCULATION
  - RESIDENT COMMON AREA
  - SERVICE

LEVEL 6 1  
 1" = 10'-0"



2/27/2023 7:55:48 PM

PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 7  
 Menlo Park, CA

SCALE: 1" = 10'-0"  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE PROVIDED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

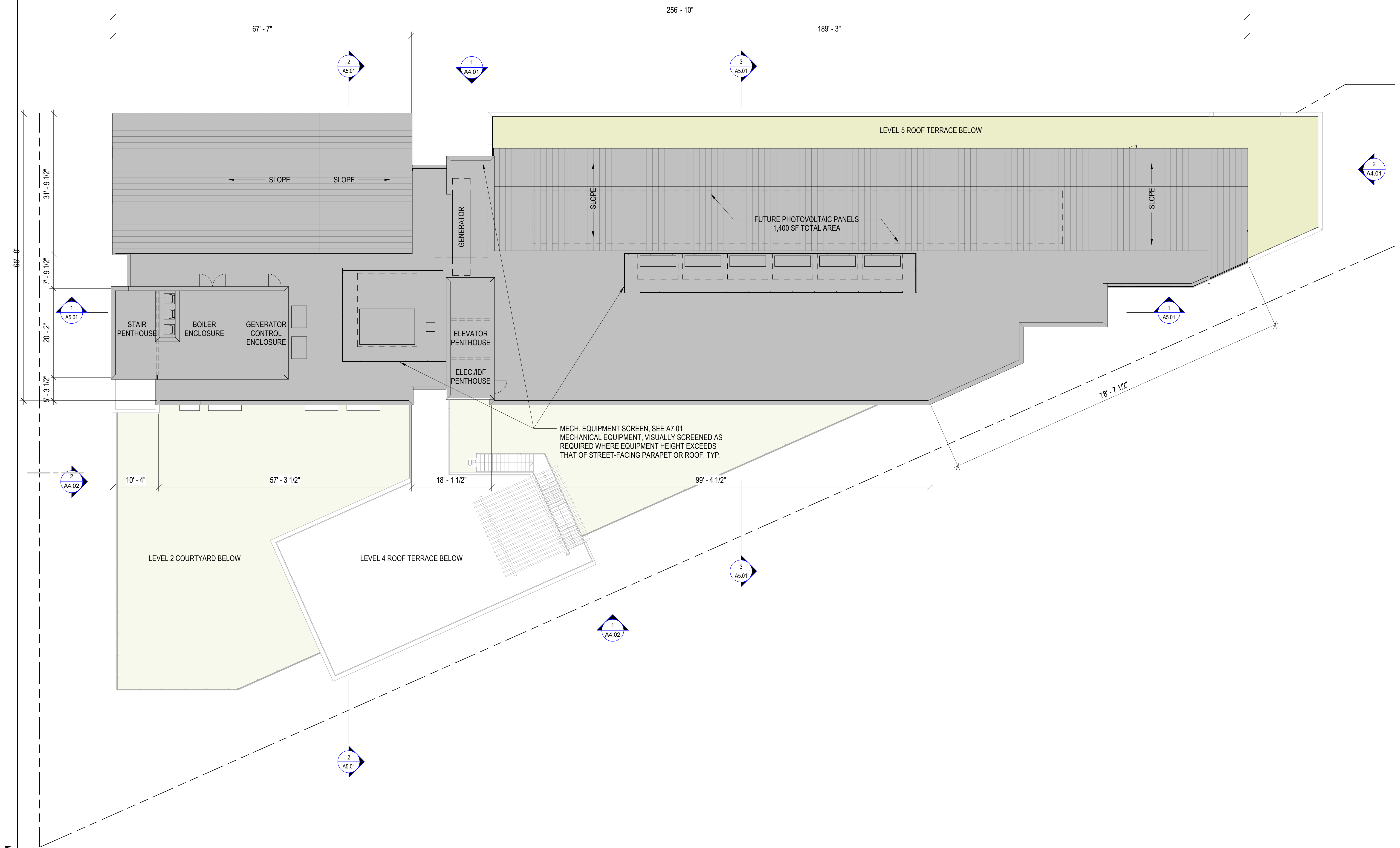
MILESTONES	
DATE	ISSUE
04/28/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:  
**FLOOR PLAN - LEVEL 6**

DRAWING NO:  
**A2.06**





2/27/2023 7:55:52 PM

ROOF PLAN 1  
1" = 10'-0"



PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
Architectural Control Package - Parcel 7  
Menlo Park, CA

SCALE: 1" = 10'-0"  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY, OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

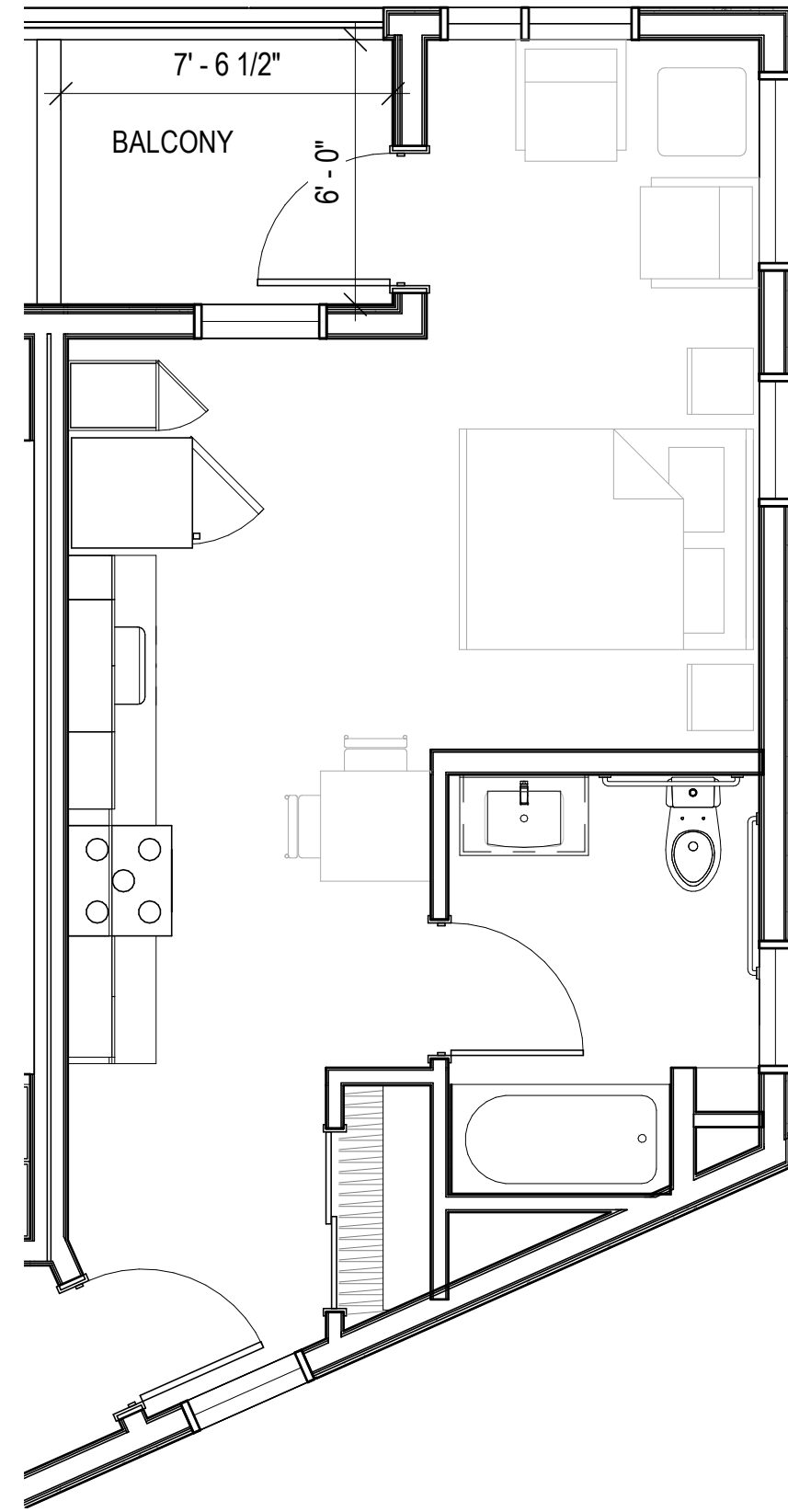
MILESTONES	
DATE	ISSUE
04/28/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

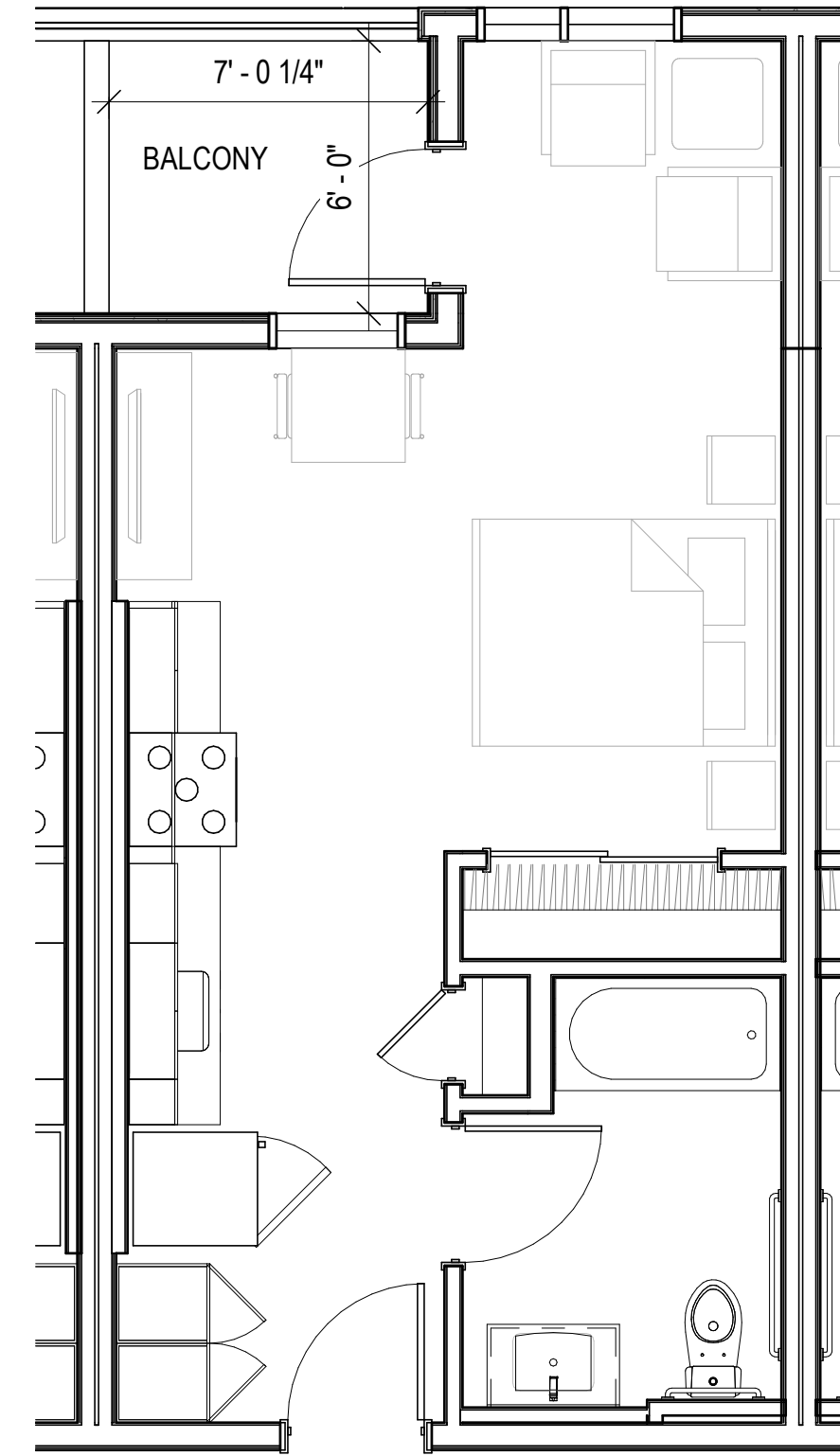
DRAWING TITLE:  
ROOF PLAN

DRAWING NO:  
**A2.07**

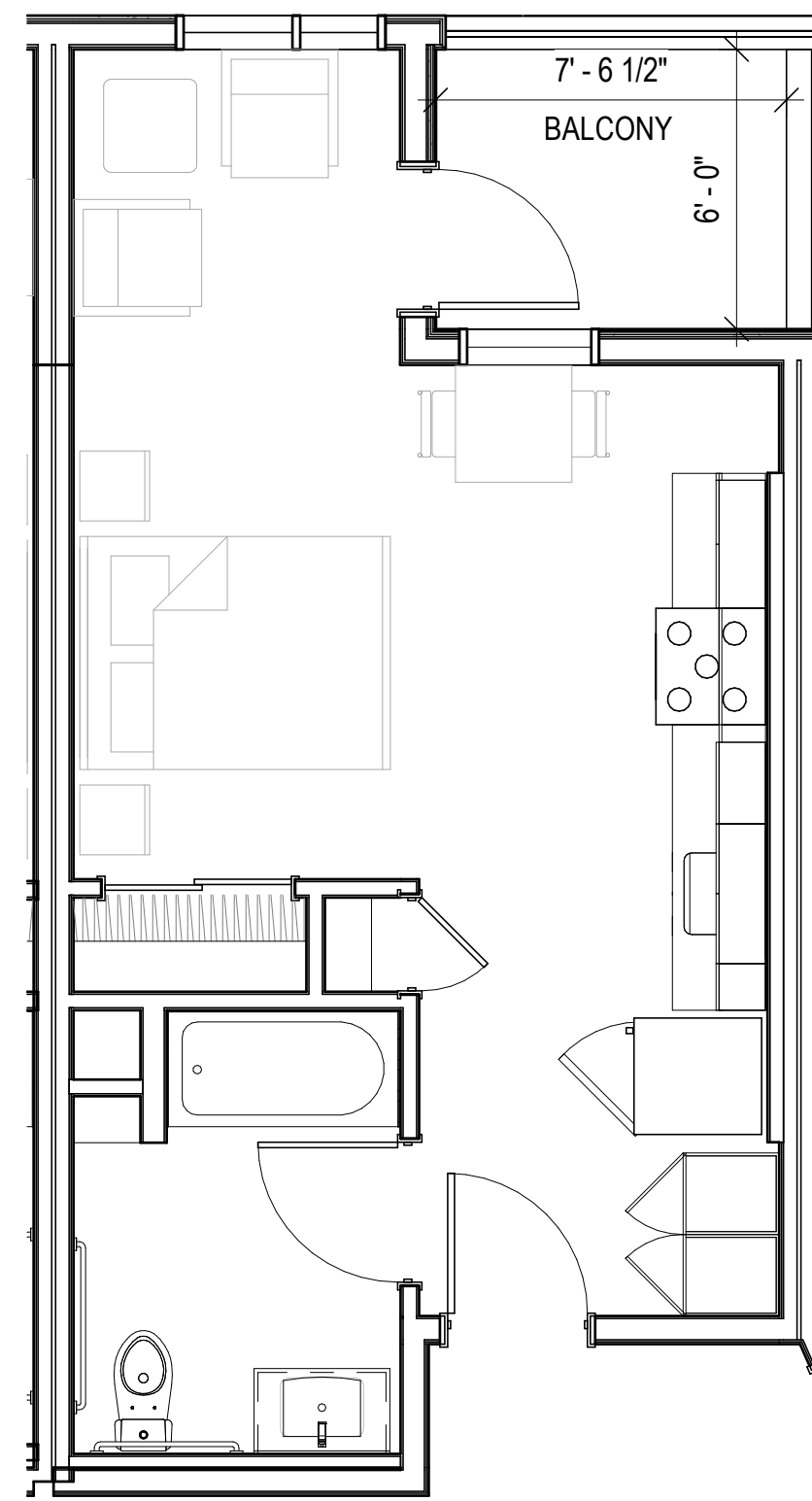




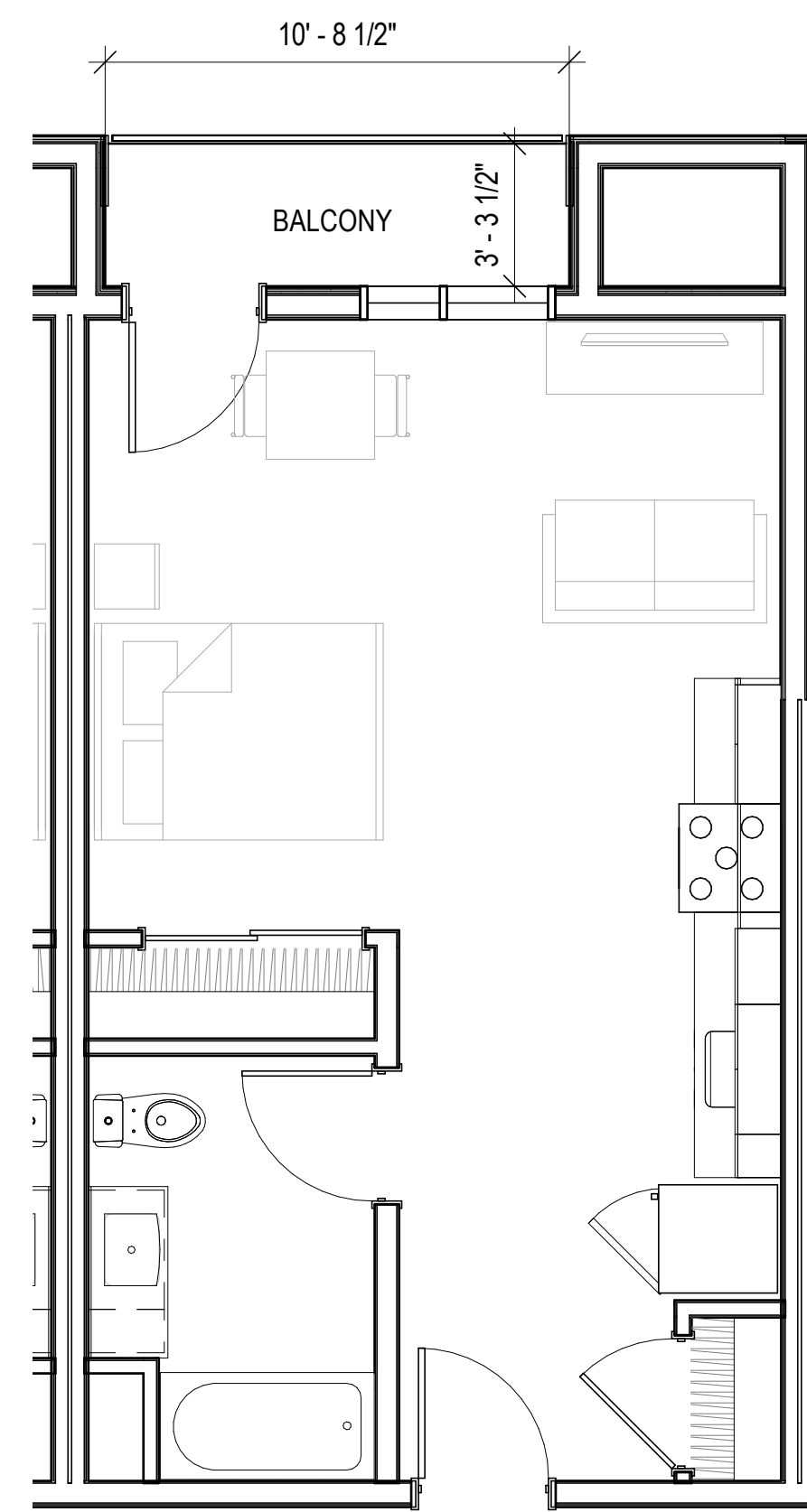
STUDIO (S3, S3.1 SIM.) 5



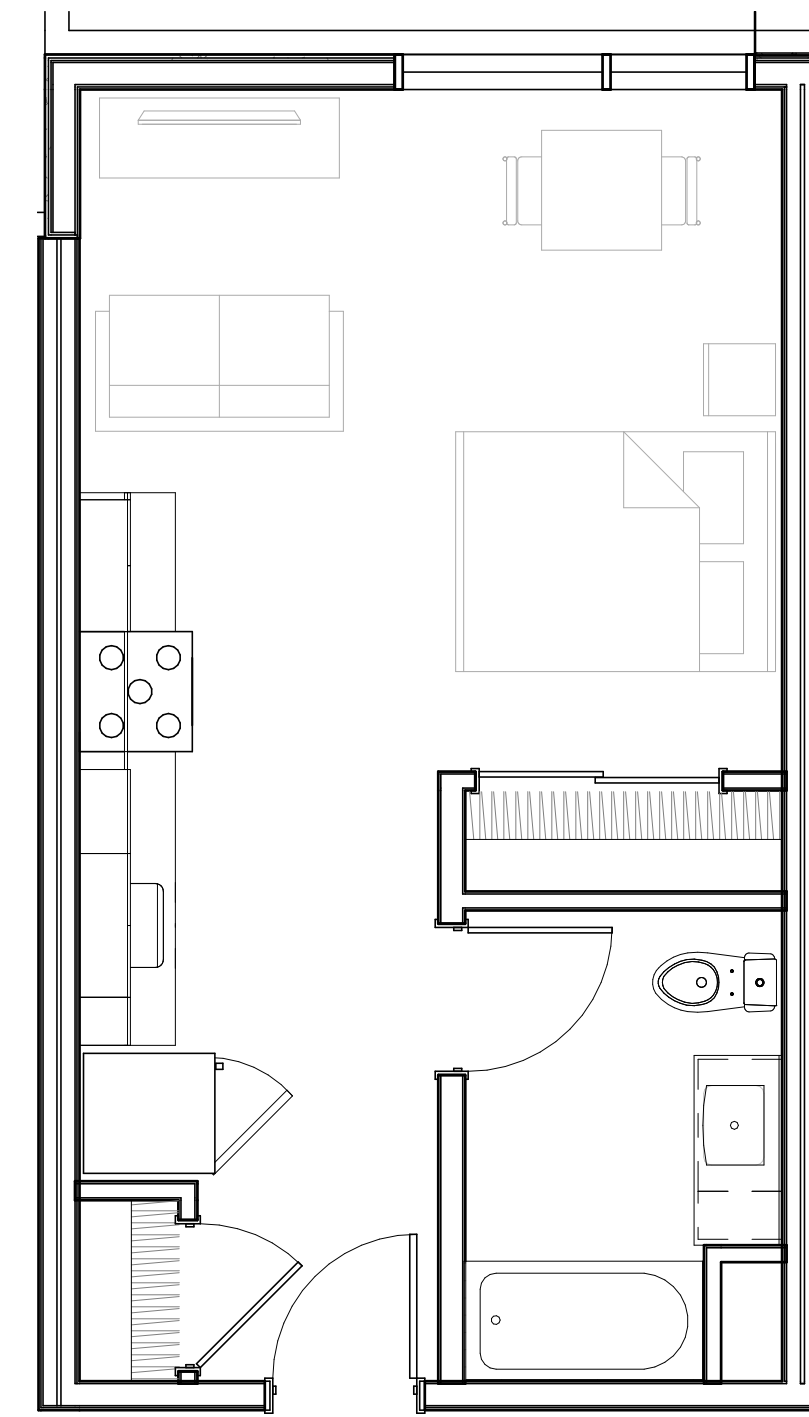
TYPICAL STUDIO (S2, S2.1 SIM.) 3



STUDIO (S2.2, S2.3 SIM.) 4



TYPICAL STUDIO (S1.1 SIM.) 2



TYPICAL STUDIO (S1) 1

UNIT MIX Sim.		
DESCRIPTION	COUNT	Area
STUDIO	80	378 SF ... 428 SF
1-BEDROOM	23	478 SF ... 602 SF
JUNIOR 1-BEDROOM	16	484 SF ... 484 SF
2-BEDROOM	1	865 SF
TOTAL UNITS: 120		

PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 7  
 Menlo Park, CA

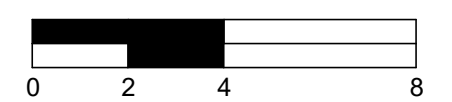
SCALE: 1/4" = 1'-0"  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY, OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
04/28/2023	ACP

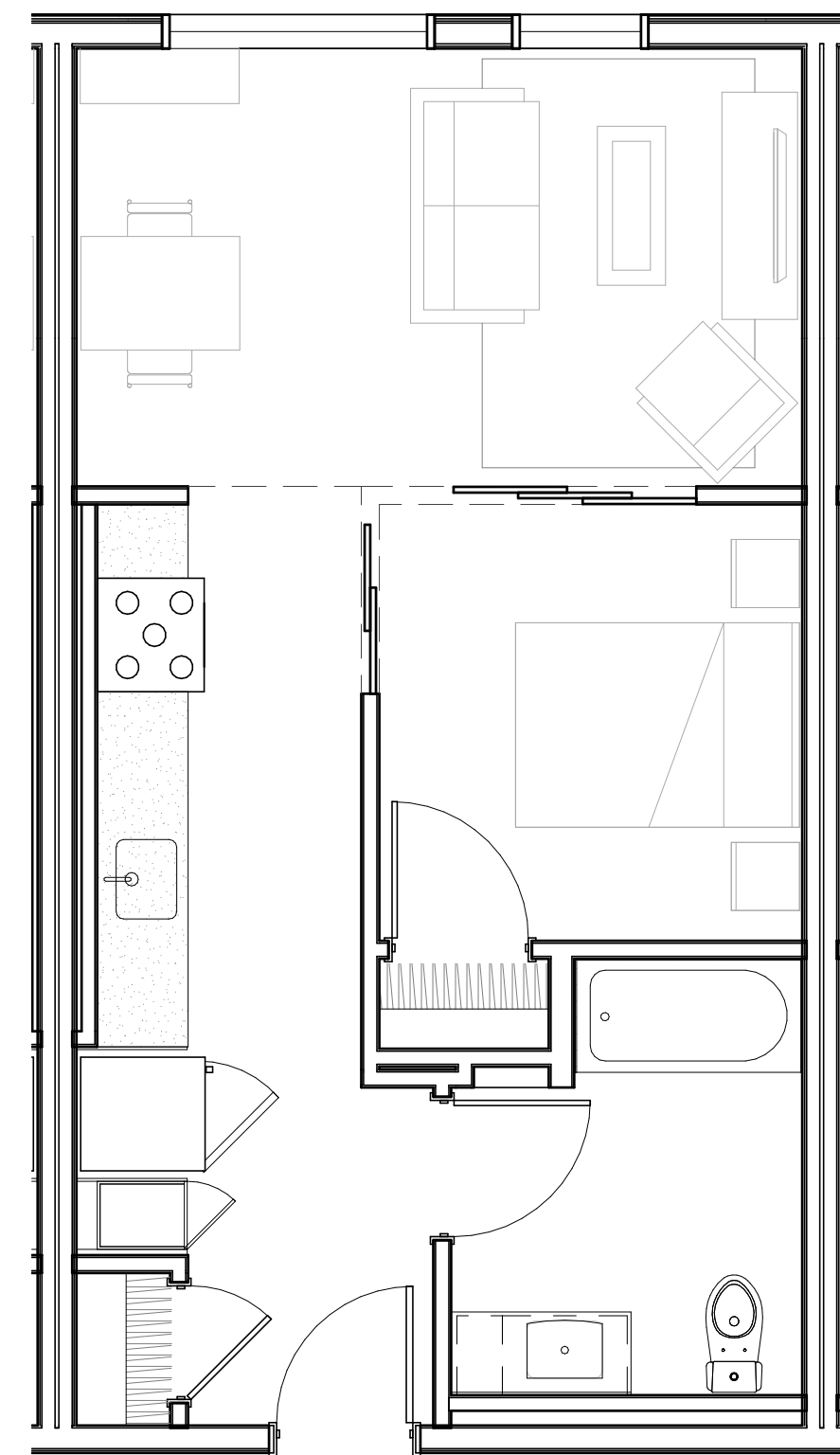
REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:  
**TYPICAL UNIT PLANS  
 (STUDIOS) AND UNIT  
 MIX**

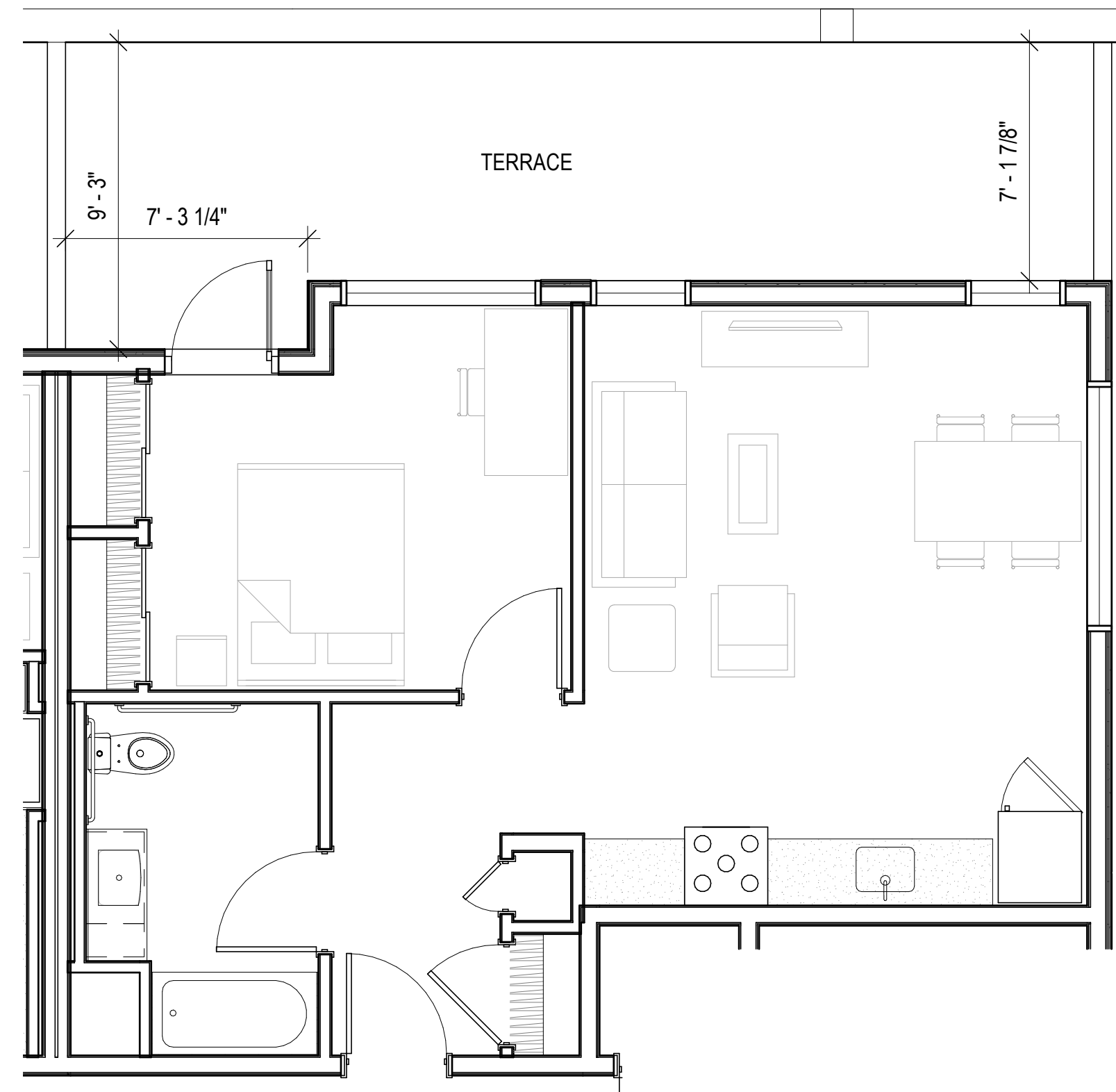
DRAWING NO:  
**A3.01**



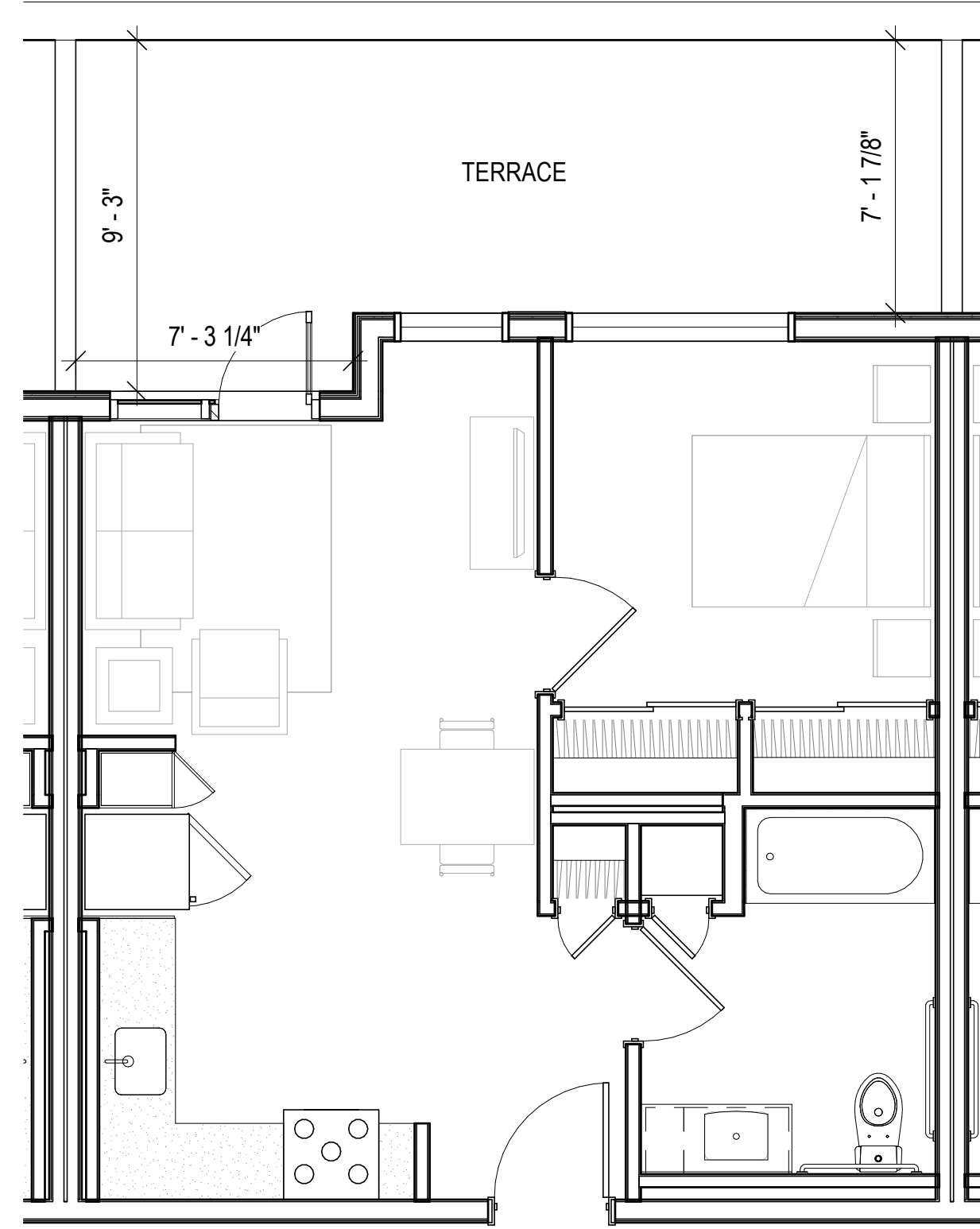




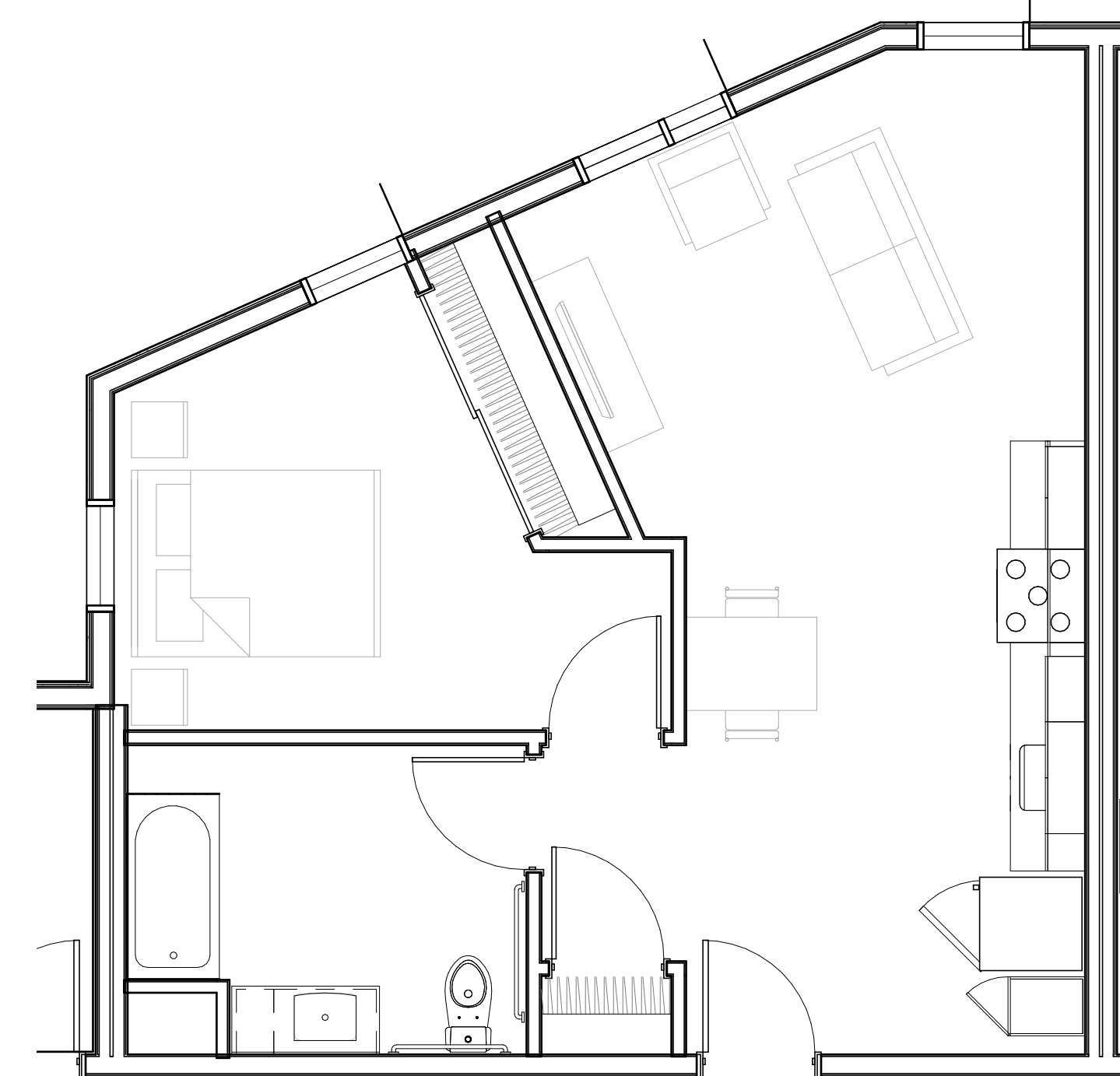
TYPICAL 1-BR (A5) 5



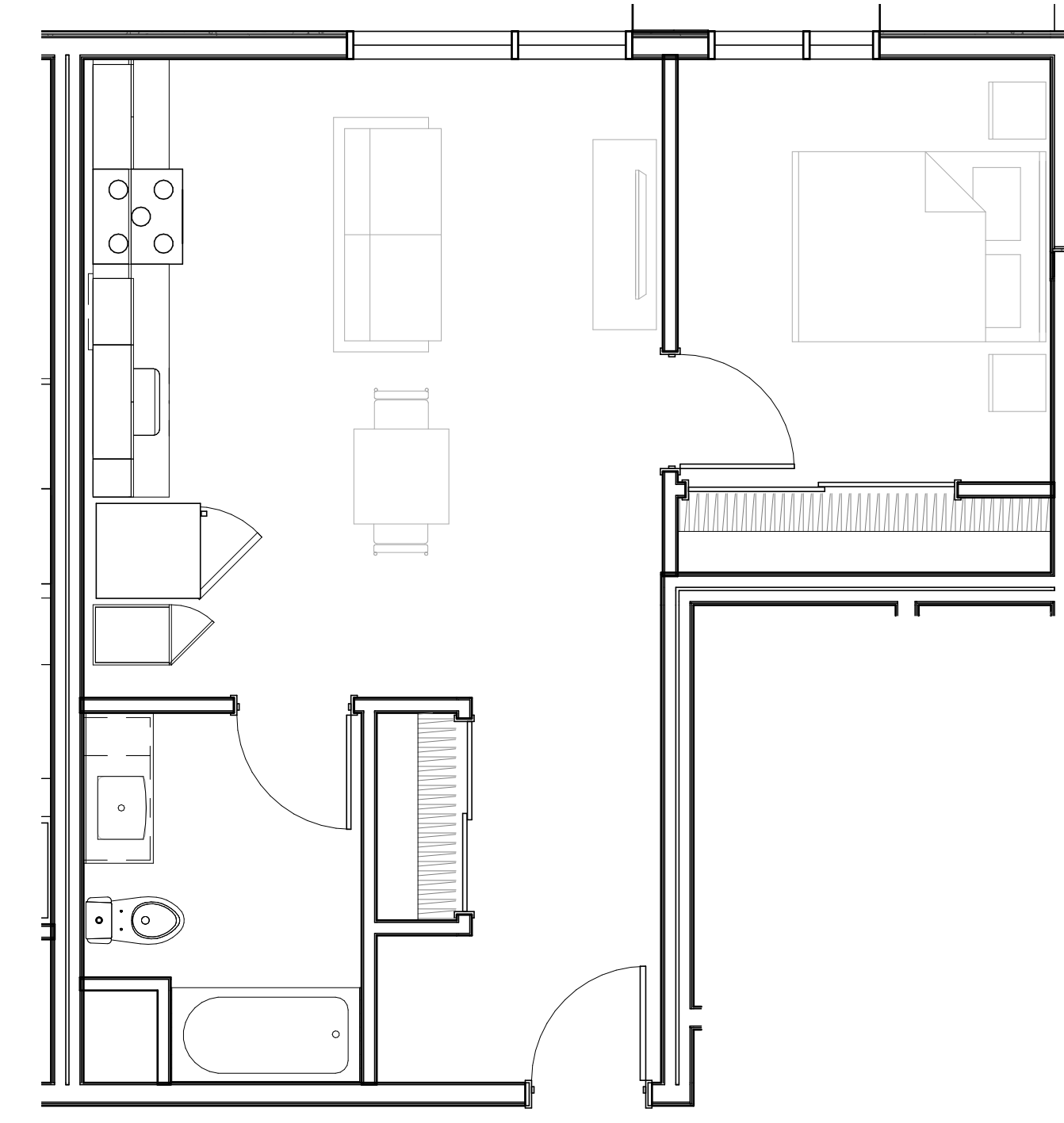
TYPICAL 1-BR (A3) 3



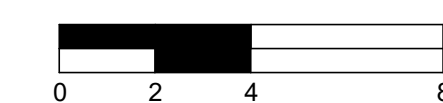
TYPICAL 1-BR (A4) 4



TYPICAL 1-BR (A1) 1



TYPICAL 1-BR (A2) 2



DRAWING TITLE:

TYPICAL UNIT PLANS  
(1-BR)

DRAWING NO:

A3.02

SCALE: 1/4" = 1'-0"  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY, OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES

DATE	ISSUE
04/28/2023	ACP

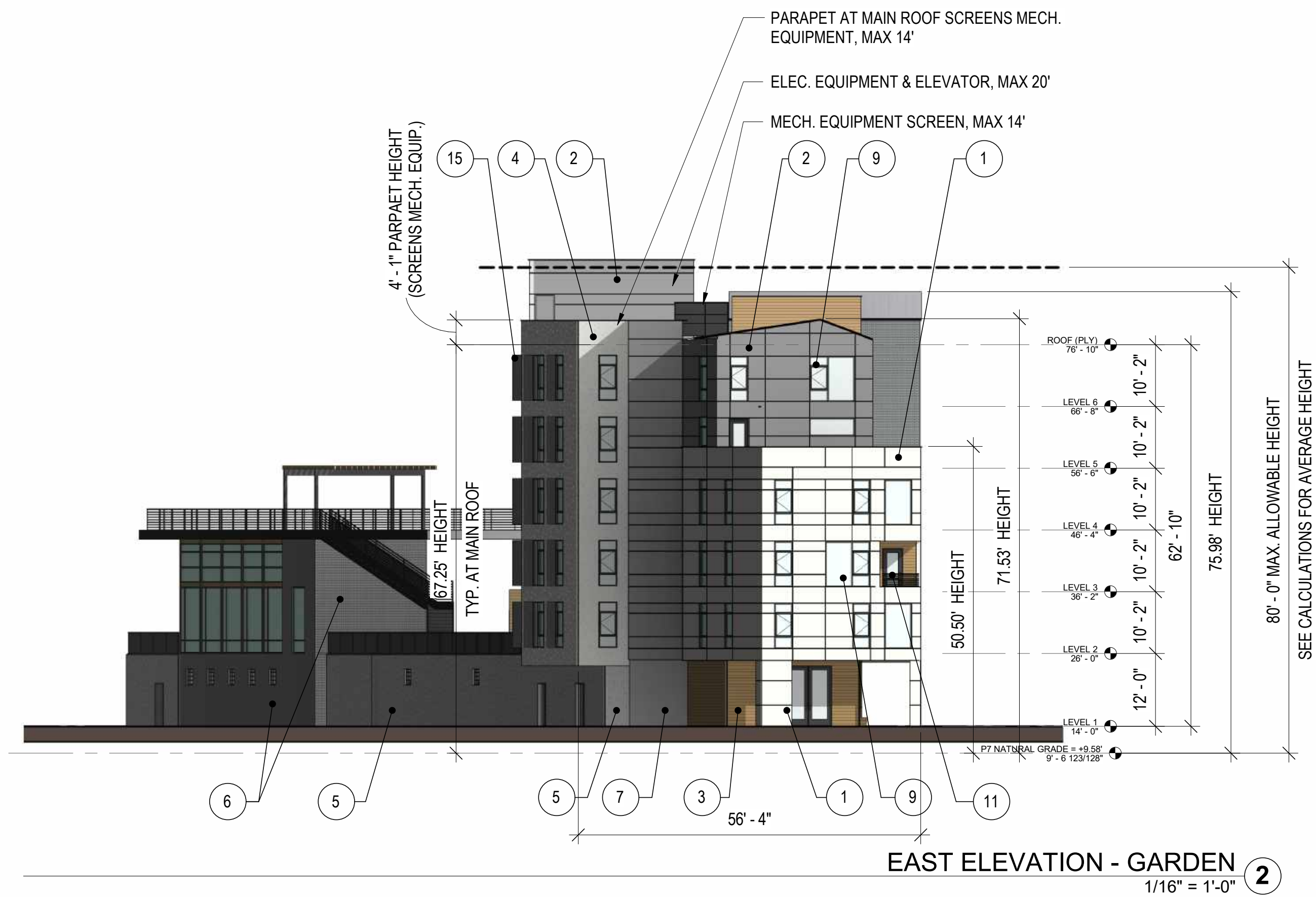
REVISIONS

NO.	DATE	ISSUE

**WILLOW VILLAGE**  
Architectural Control Package - Parcel 7  
Menlo Park, CA

PENINSULA INNOVATION PARTNERS





EAST ELEVATION - GARDEN  
1/16" = 1'-0" ②



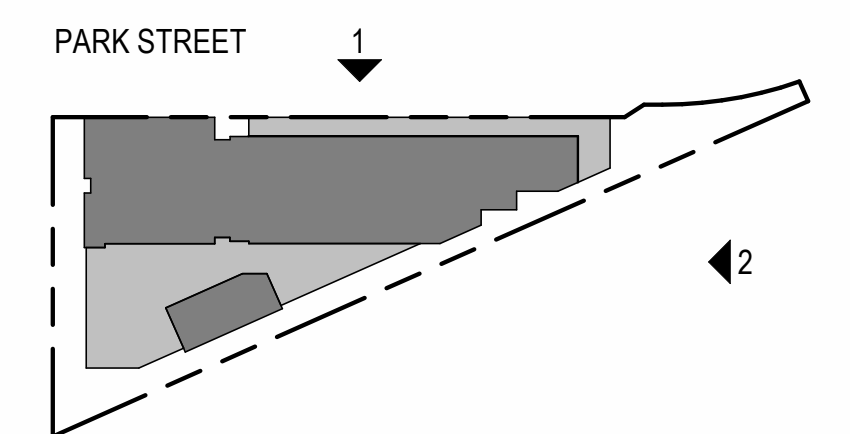
NORTH ELEVATION - PARK ST.  
1/16" = 1'-0" ①

LEGEND	
①	PANELIZED CEMENT BOARD, WARM WHITE
②	PANELIZED CEMENT BOARD, GRAY
③	WOOD LOOK SIDING SYSTEM
④	SMOOTH TROWELED STUCCO, WARM WHITE
⑤	SMOOTH TROWELED STUCCO, LIGHT GRAY
⑥	THIN BRICK CLADDING, MATTE DARK GRAY
⑦	CONCRETE, BOARD FORMED AESTHETIC
⑧	ALUMINUM SPANDREL PANEL, DARK BRONZE COLOR
⑨	WINDOW, DARK BRONZE AND/OR WHITE AND/OR TAN COLOR
⑩	STOREFRONT / CURTAIN WALL, DARK BRONZE COLOR
⑪	METAL GUARDRAIL
⑫	[NOT USED]
⑬	[NOT USED]
⑭	PAINTED METAL LOUVER
⑮	METAL SUNSHADE
⑯	STANDING SEAM METAL ROOFING

NOTE: LESS THAN 50% OF THE TOTAL BUILDING FACADE WILL BE CLAD IN SMOOTH TROWELED STUCCO IN COMPLIANCE WITH ZONING ORDINANCE 16.45.120(6)F.

NOTE: BIRD SAFE MEASURES ARE NOT DEPICTED IN THE FOLLOWING ELEVATIONS AND WILL FOLLOW IN A SUBSEQUENT DETAILED REPORT SUBMITTAL.

NOTE: LEVEL LINE ELEVATIONS INDICATE FEET ABOVE SEA LEVEL.

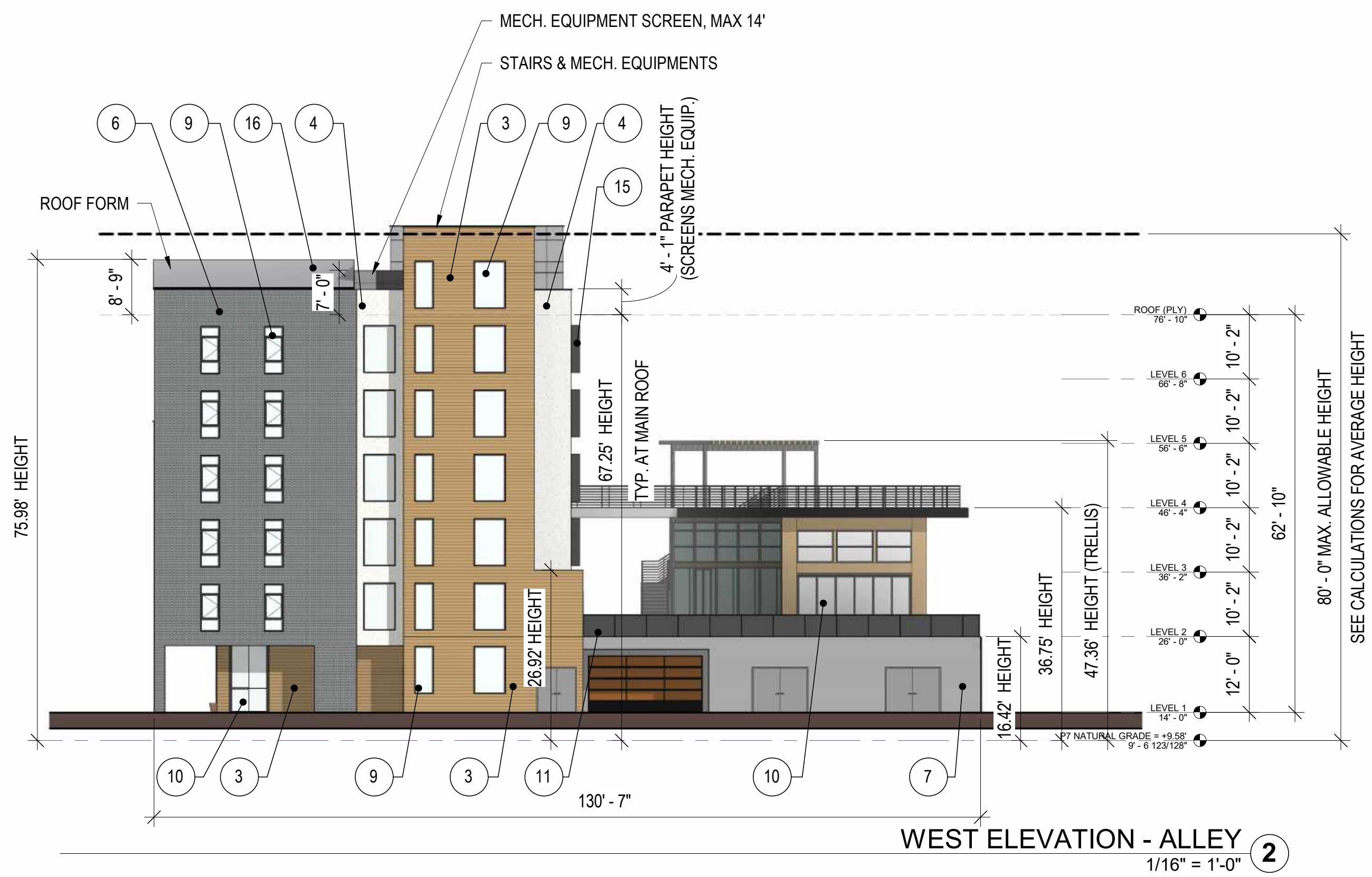


SCALE: As indicated  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY, OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

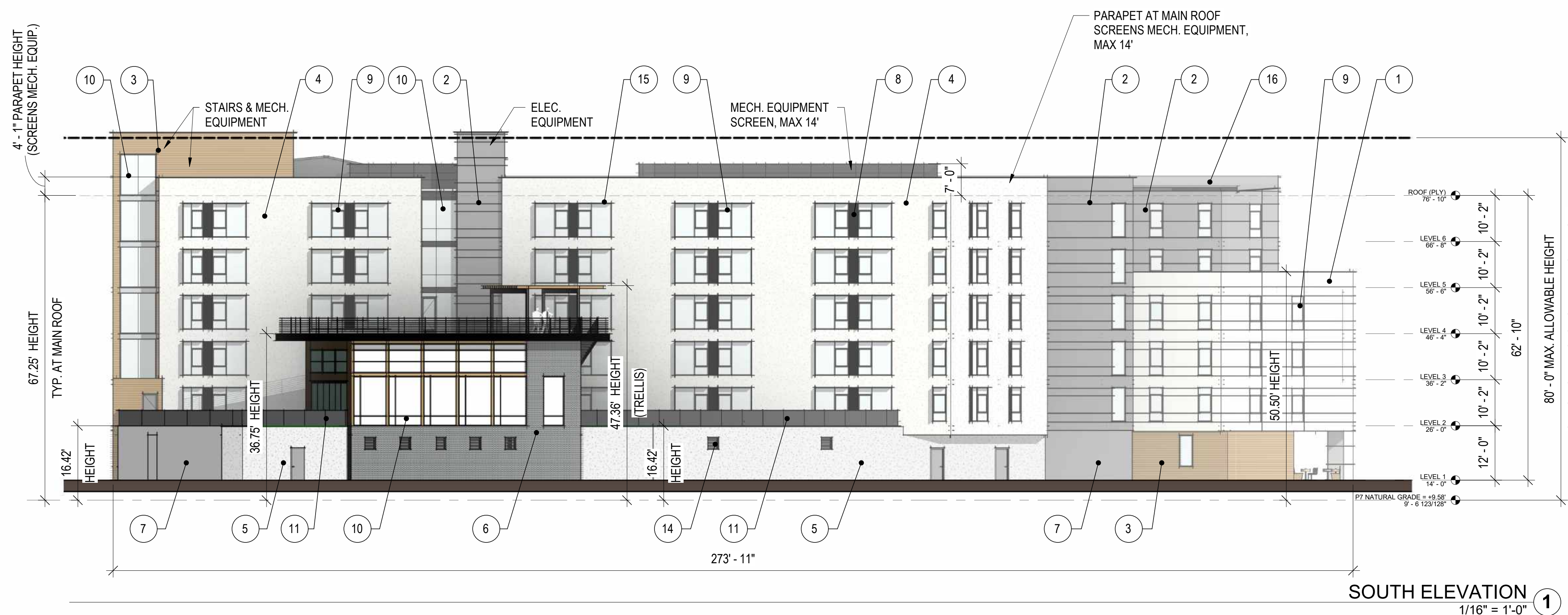
MILESTONES	
DATE	ISSUE
04/28/2023	ACP

REVISIONS		
NO.	DATE	ISSUE





WEST ELEVATION - ALLEY  
1/16" = 1'-0" ②



SOUTH ELEVATION  
1/16" = 1'-0" ①

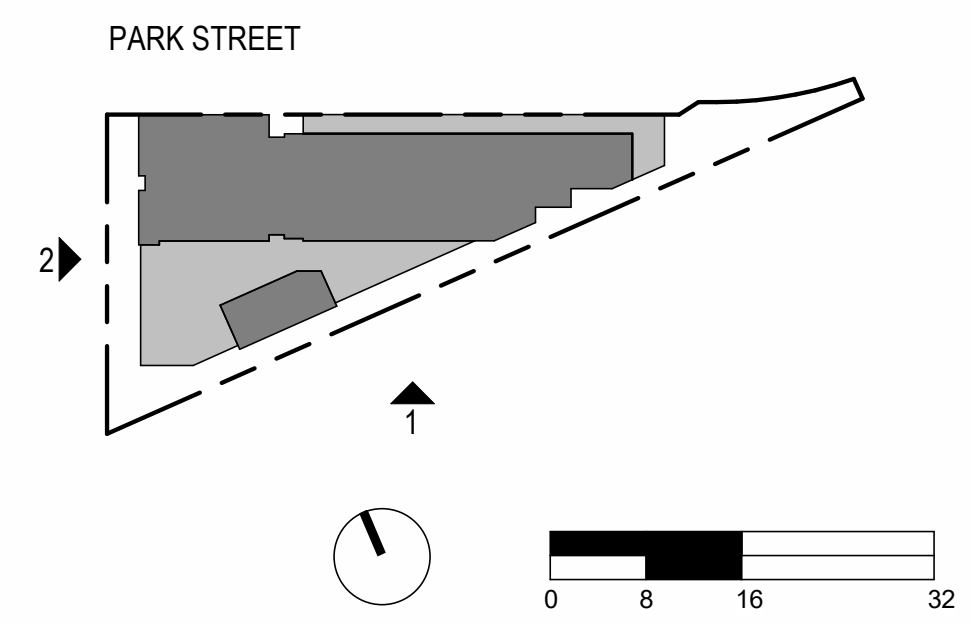
**LEGEND**

- 1 PANELIZED CEMENT BOARD, WARM WHITE
- 2 PANELIZED CEMENT BOARD, GRAY
- 3 WOOD LOOK SIDING SYSTEM
- 4 SMOOTH TROWELED STUCCO, WARM WHITE
- 5 SMOOTH TROWELED STUCCO, LIGHT GRAY
- 6 THIN BRICK CLADDING, MATTE DARK GRAY
- 7 CONCRETE, BOARD FORMED AESTHETIC
- 8 ALUMINUM SPANDREL PANEL, DARK BRONZE COLOR
- 9 WINDOW, DARK BRONZE AND/OR WHITE AND/OR TAN COLOR
- 10 STOREFRONT / CURTAIN WALL, DARK BRONZE COLOR
- 11 METAL GUARDRAIL
- 12 [NOT USED]
- 13 [NOT USED]
- 14 PAINTED METAL LOUVER
- 15 METAL SUNSHADE
- 16 STANDING SEAM METAL ROOFING

NOTE: LESS THAN 50% OF THE TOTAL BUILDING FACADE WILL BE CLAD IN SMOOTH TROWELED STUCCO IN COMPLIANCE WITH ZONING ORDINANCE 16.45.120(6)F.

NOTE: BIRD SAFE MEASURES ARE NOT DEPICTED IN THE FOLLOWING ELEVATIONS AND WILL FOLLOW IN A SUBSEQUENT DETAILED REPORT SUBMITTAL.

NOTE: LEVEL LINE ELEVATIONS INDICATE FEET ABOVE SEA LEVEL.



SCALE: As indicated  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY, OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

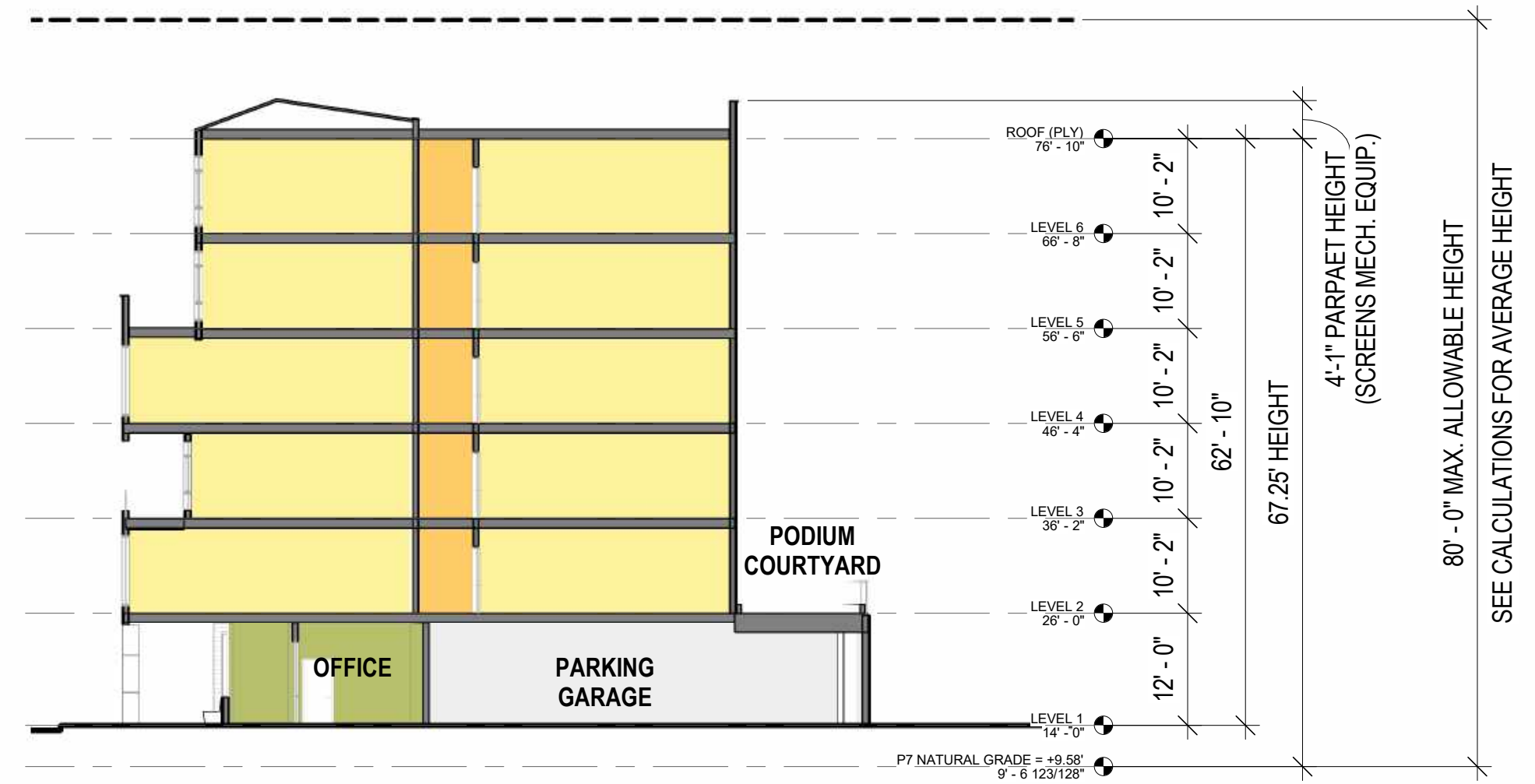
**MILESTONES**

DATE	ISSUE
04/28/2023	ACP

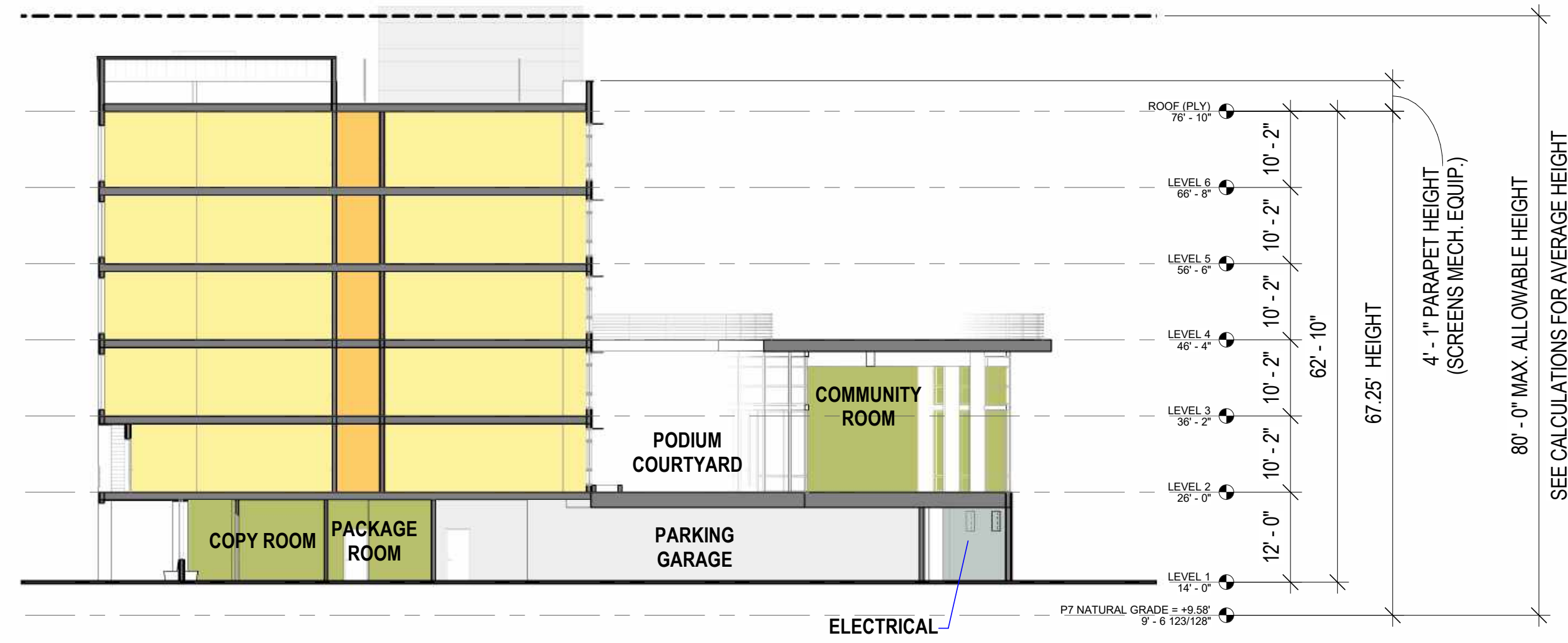
**REVISIONS**

NO.	DATE	ISSUE

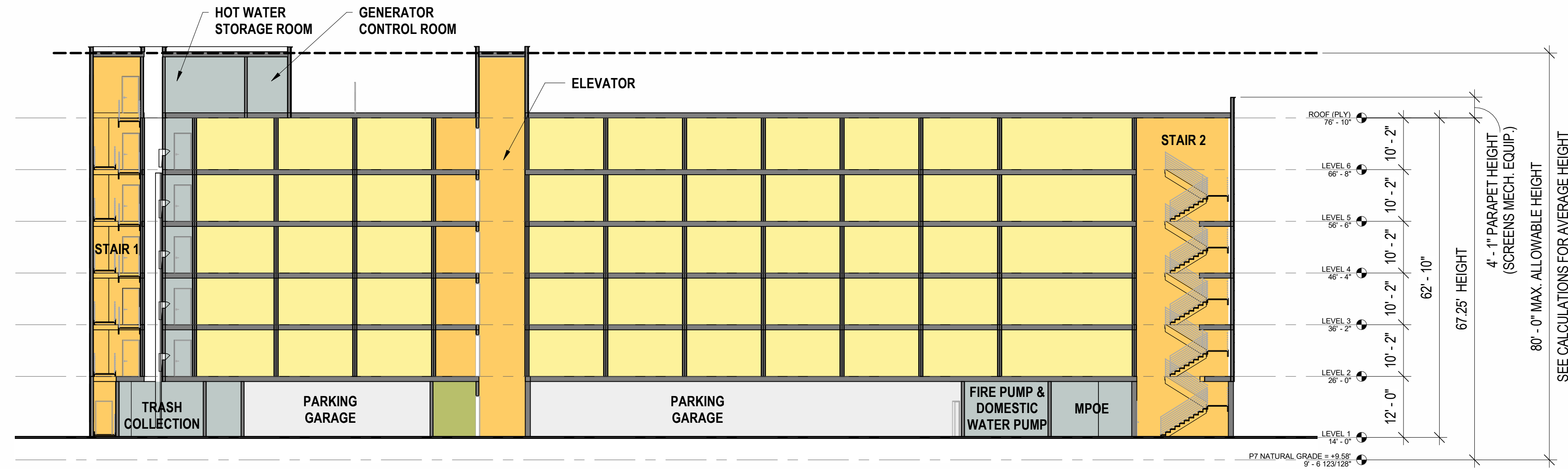




N-S SECTION 2 @ PARCEL 7  
1/16" = 1'-0" ③



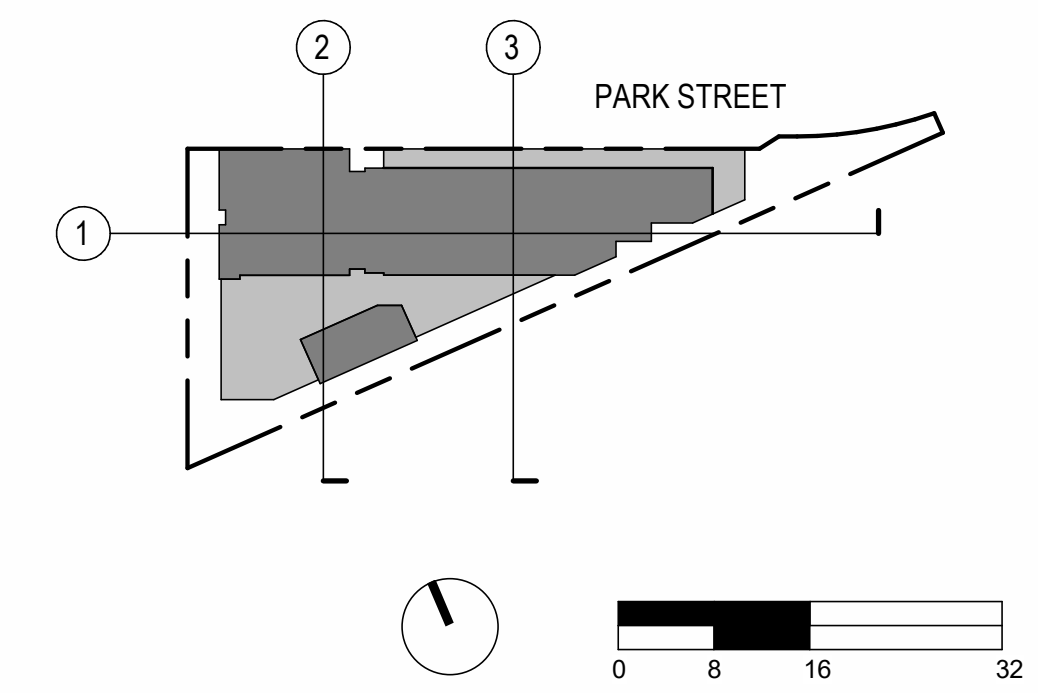
N-S SECTION 1 @ PARCEL 7  
1/16" = 1'-0" ②



E-W SECTION @ PARCEL 7  
1/16" = 1'-0" ①

- LEGEND**
- RESIDENTIAL
  - CIRCULATION
  - RESIDENT COMMON AREA
  - SERVICE
  - PARKING

NOTE: LEVEL LINE ELEVATIONS INDICATE FEET ABOVE SEA LEVEL.

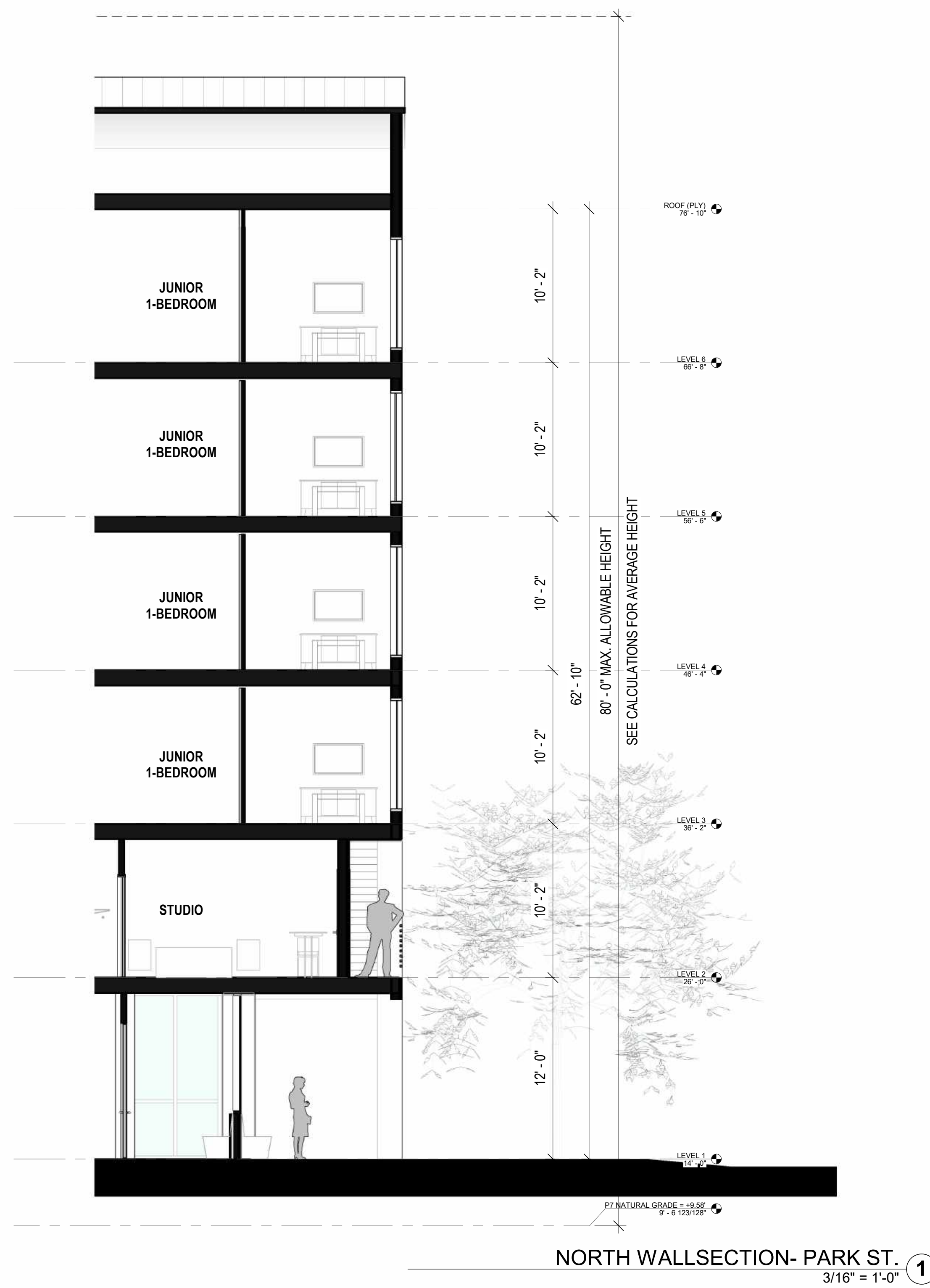
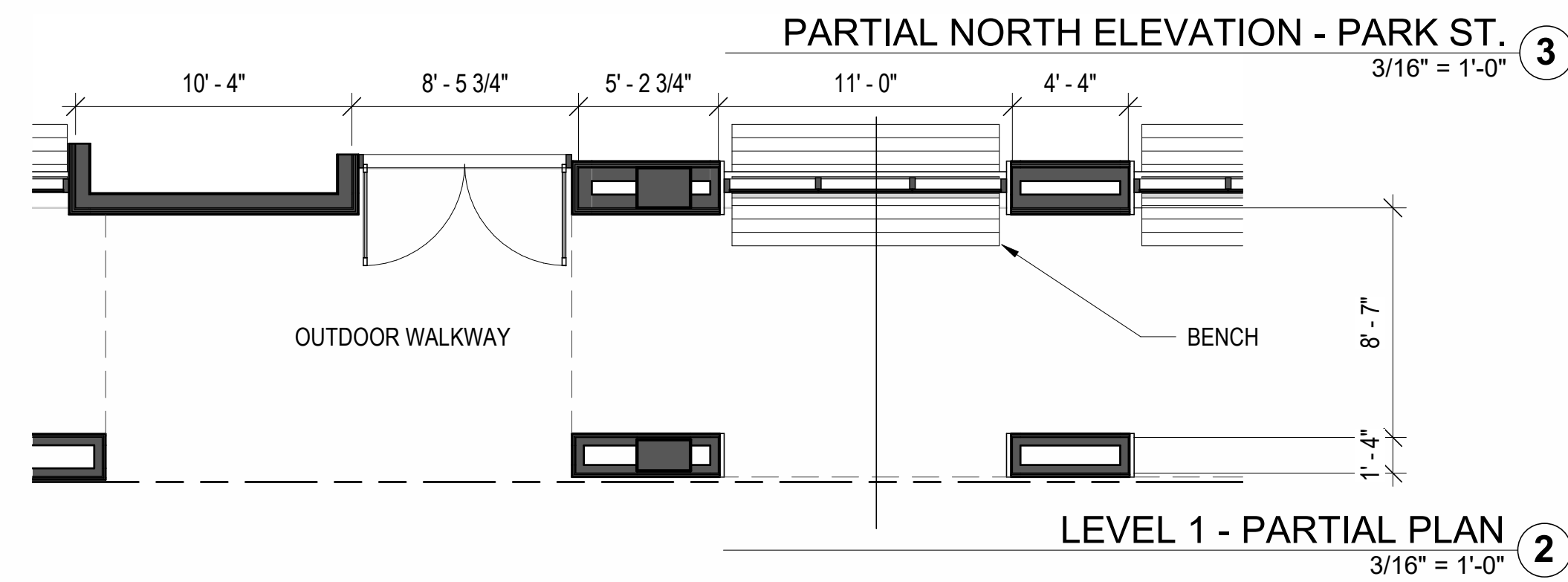
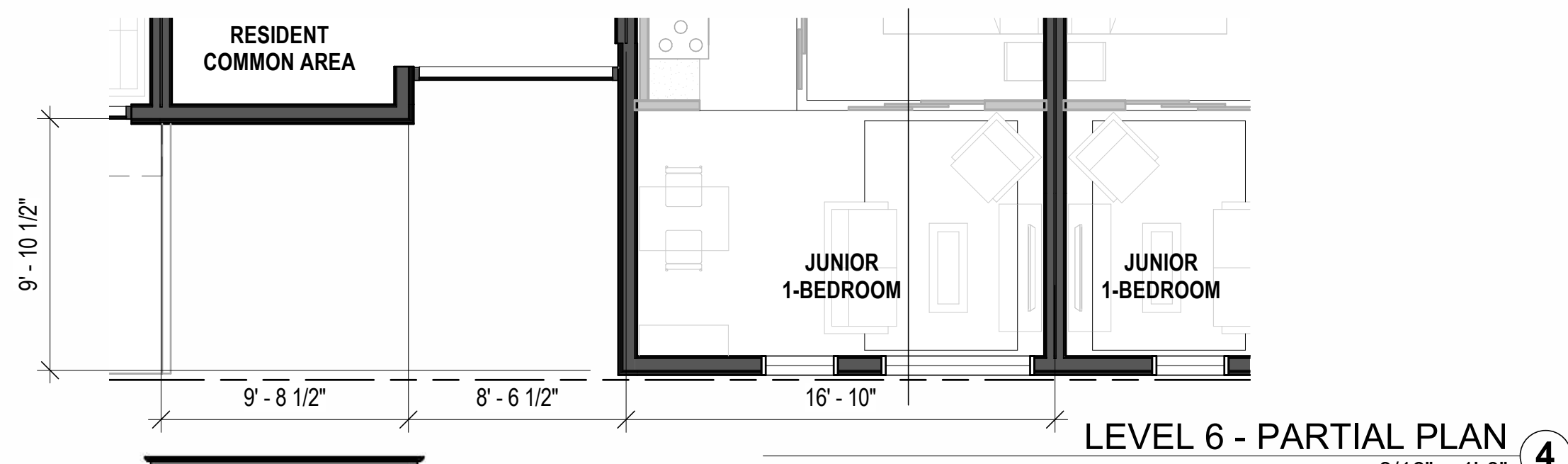


SCALE: As indicated  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
04/28/2023	ACP

REVISIONS		
NO.	DATE	ISSUE





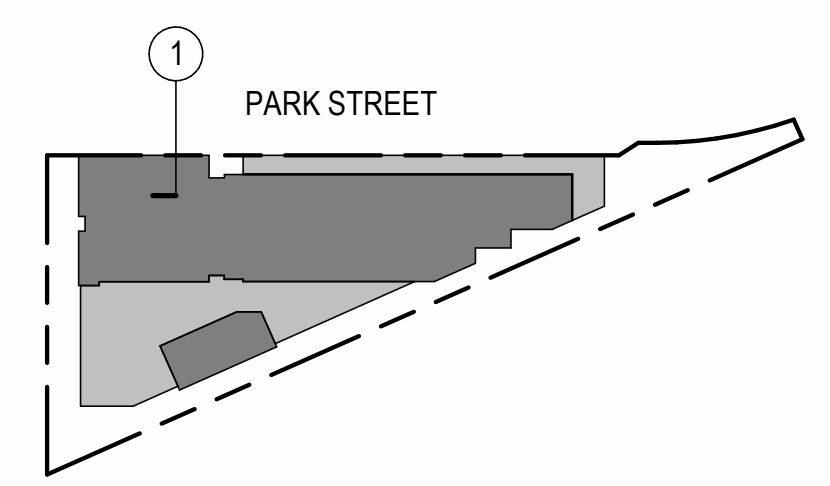
**LEGEND**

- 1 PANELIZED CEMENT BOARD, WARM WHITE
- 2 PANELIZED CEMENT BOARD, GRAY
- 3 WOOD LOOK SIDING SYSTEM
- 4 SMOOTH TROWELED STUCCO, WARM WHITE
- 5 SMOOTH TROWELED STUCCO, LIGHT GRAY
- 6 THIN BRICK CLADDING, MATTE DARK GRAY
- 7 CONCRETE, BOARD FORMED AESTHETIC
- 8 ALUMINUM SPANDREL PANEL, DARK BRONZE COLOR
- 9 WINDOW, DARK BRONZE AND/OR WHITE AND/OR TAN COLOR
- 10 STOREFRONT / CURTAIN WALL, DARK BRONZE COLOR
- 11 METAL GUARDRAIL
- 12 [NOT USED]
- 13 [NOT USED]
- 14 PAINTED METAL LOUVER
- 15 METAL SUNSHADE
- 16 STANDING SEAM METAL ROOFING

NOTE: LESS THAN 50% OF THE TOTAL BUILDING FACADE WILL BE CLAD IN SMOOTH TROWELED STUCCO IN COMPLIANCE WITH ZONING ORDINANCE 16.45.120(6)F.

NOTE: BIRD SAFE MEASURES ARE NOT DEPICTED IN THE FOLLOWING ELEVATIONS AND WILL FOLLOW IN A SUBSEQUENT DETAILED REPORT SUBMITTAL.

NOTE: LEVEL LINE ELEVATIONS INDICATE FEET ABOVE SEA LEVEL.



2/27/2023 7:56:41 PM

PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
Architectural Control Package - Parcel 7  
Menlo Park, CA

SCALE: As indicated  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

**MILESTONES**

DATE	ISSUE
04/28/2023	ACP

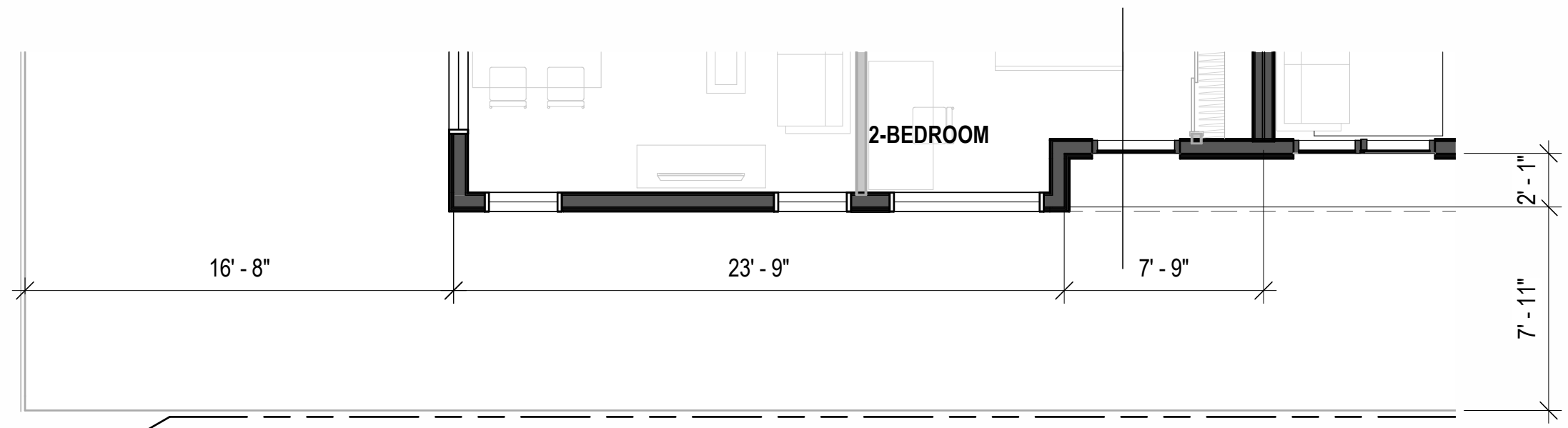
**REVISIONS**

NO.	DATE	ISSUE
#1	03/28/22	ACP

DRAWING TITLE:  
**PARTIAL SECTIONS & ELEVATIONS**

DRAWING NO:  
**A5.02**

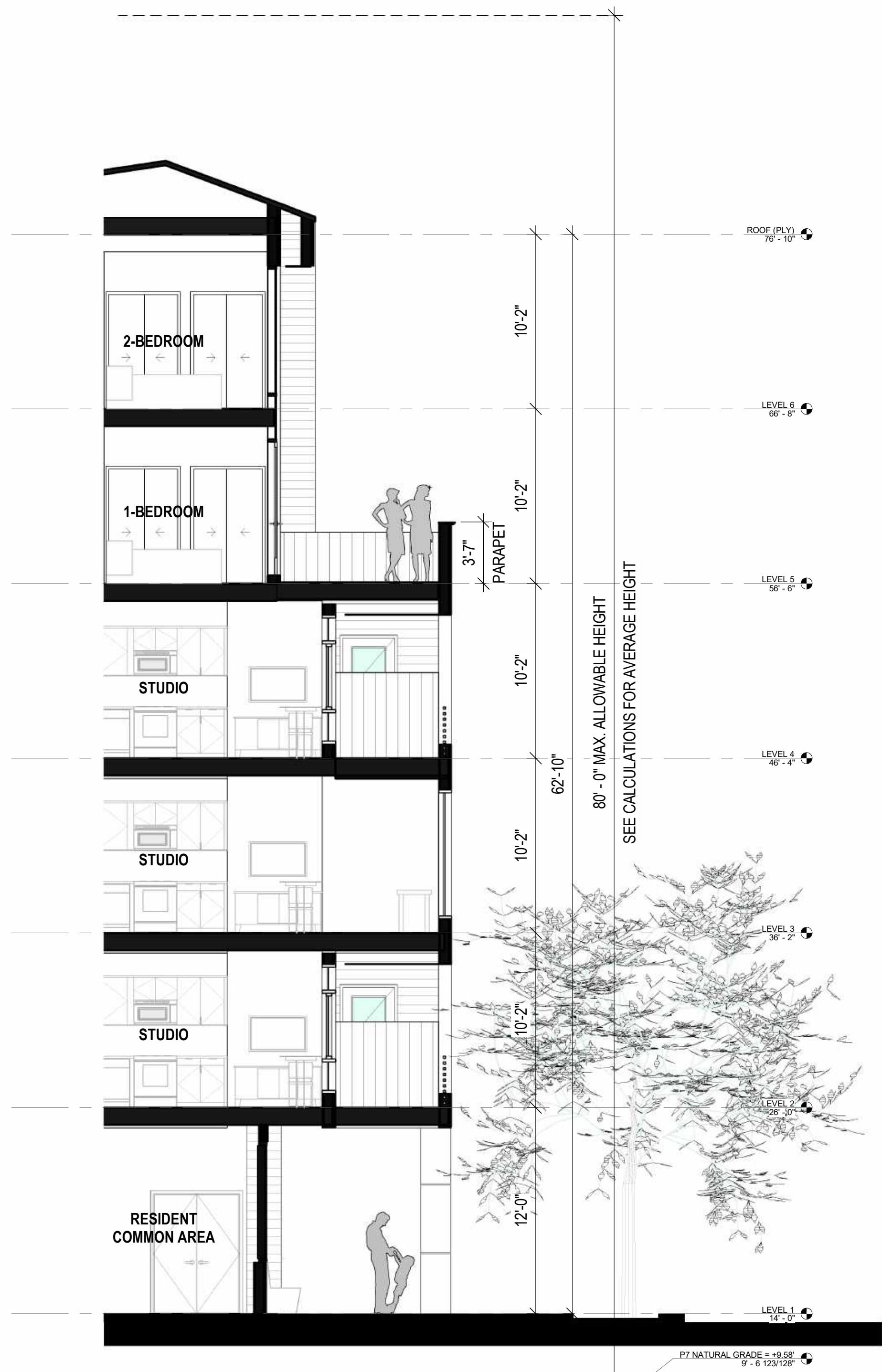




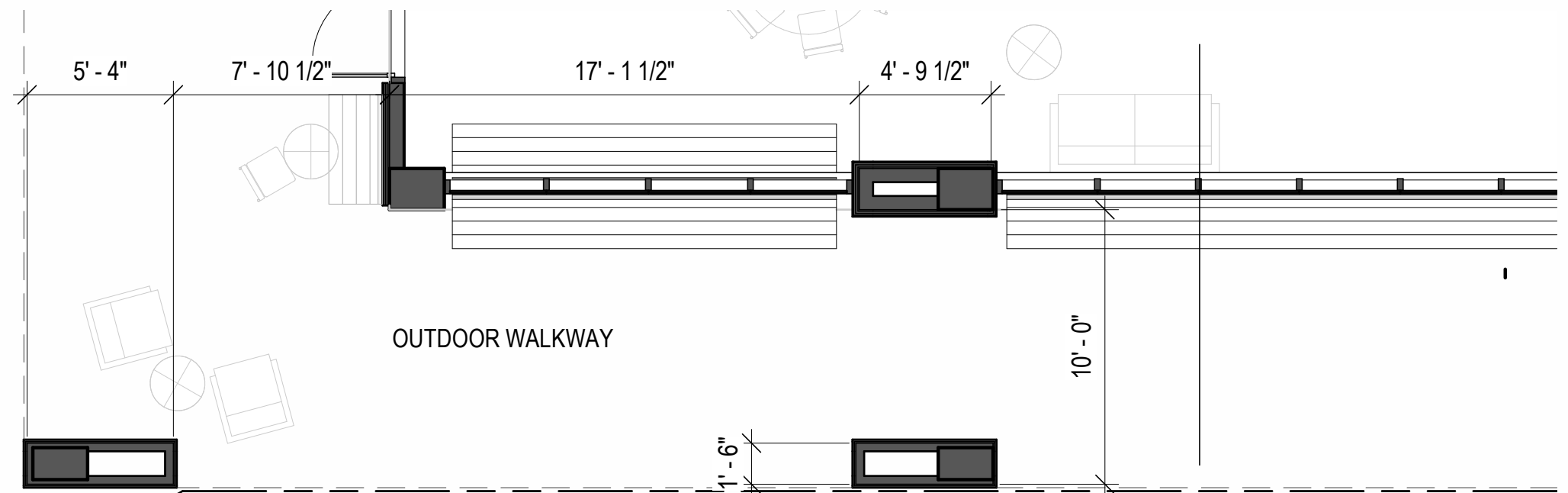
LEVEL 6 - PARTIAL PLAN  
3/16" = 1'-0" ③



NORTH ELEVATION - PARK ST.  
3/16" = 1'-0" ②



NORTH WALLSECTION - PARK ST.  
3/16" = 1'-0" ①



LEVEL 1 - PARTIAL PLAN  
3/16" = 1'-0" ④

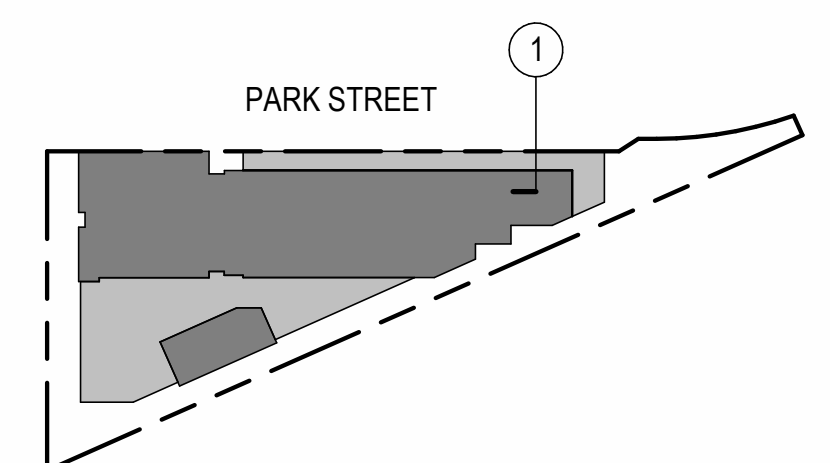
**LEGEND**

- 1 PANELIZED CEMENT BOARD, WARM WHITE
- 2 PANELIZED CEMENT BOARD, GRAY
- 3 WOOD LOOK SIDING SYSTEM
- 4 SMOOTH TROWELED STUCCO, WARM WHITE
- 5 SMOOTH TROWELED STUCCO, LIGHT GRAY
- 6 THIN BRICK CLADDING, MATTE DARK GRAY
- 7 CONCRETE, BOARD FORMED AESTHETIC
- 8 ALUMINUM SPANDREL PANEL, DARK BRONZE COLOR
- 9 WINDOW, DARK BRONZE AND/OR WHITE AND/OR TAN COLOR
- 10 STOREFRONT / CURTAIN WALL, DARK BRONZE COLOR
- 11 METAL GUARDRAIL
- 12 [NOT USED]
- 13 [NOT USED]
- 14 PAINTED METAL LOUVER
- 15 METAL SUNSHADE
- 16 STANDING SEAM METAL ROOFING

NOTE: LESS THAN 50% OF THE TOTAL BUILDING FACADE WILL BE CLAD IN SMOOTH TROWELED STUCCO IN COMPLIANCE WITH ZONING ORDINANCE 16.45.120(6)F.

NOTE: BIRD SAFE MEASURES ARE NOT DEPICTED IN THE FOLLOWING ELEVATIONS AND WILL FOLLOW IN A SUBSEQUENT DETAILED REPORT SUBMITTAL.

NOTE: LEVEL LINE ELEVATIONS INDICATE FEET ABOVE SEA LEVEL.



2/27/2023 7:56:49 PM

SCALE: As indicated  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. FOR SIZE CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

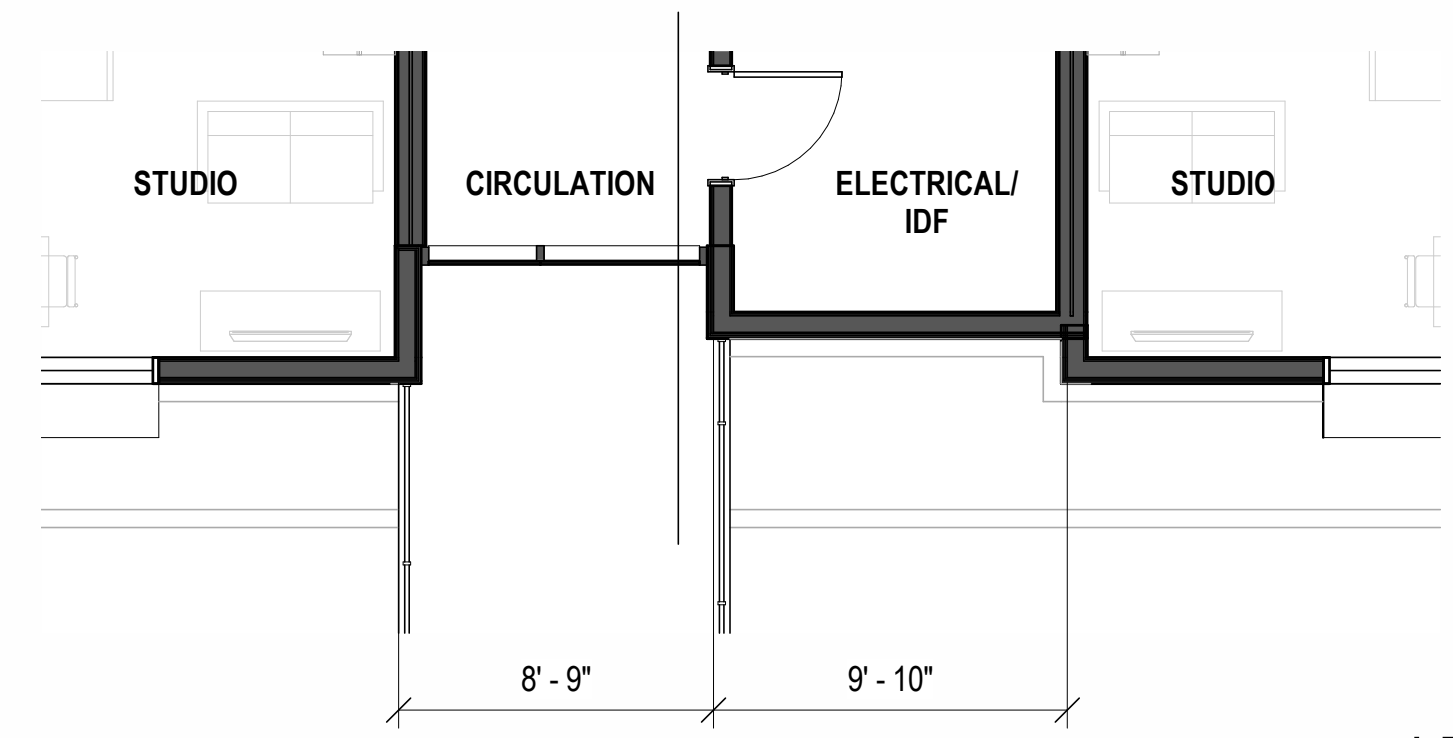
**MILESTONES**

DATE	ISSUE
04/28/2023	ACP

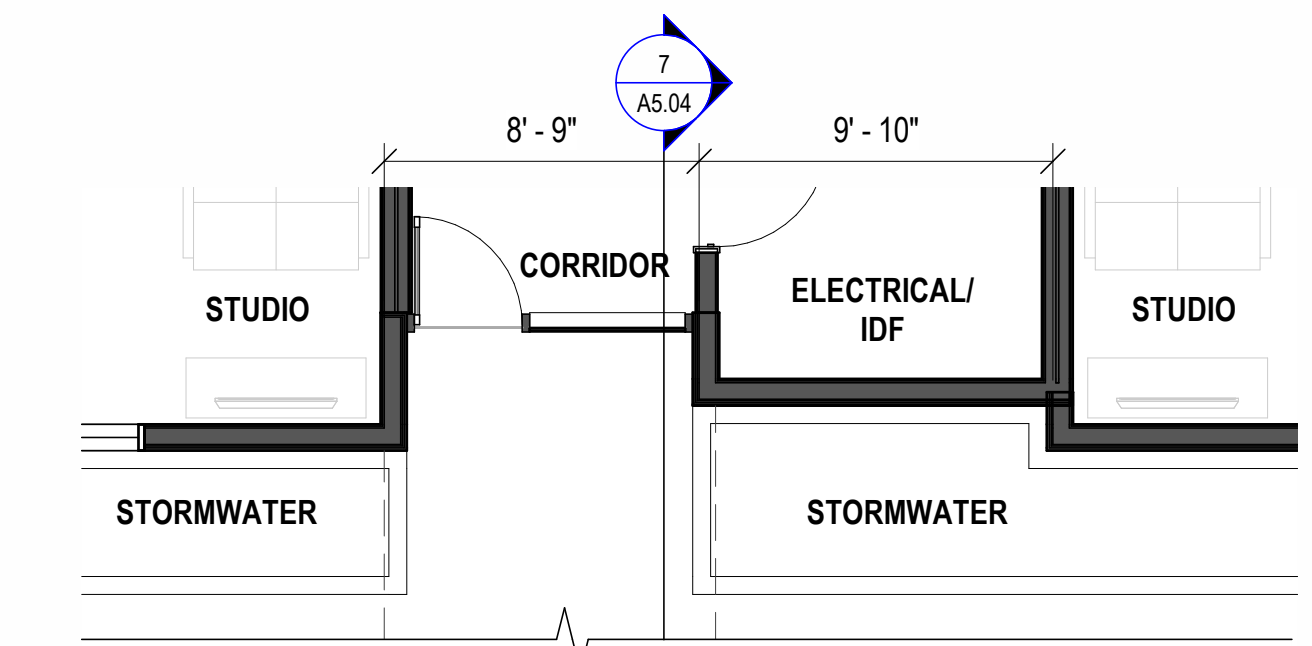
**REVISIONS**

NO.	DATE	ISSUE
#1	03/28/22	ACP





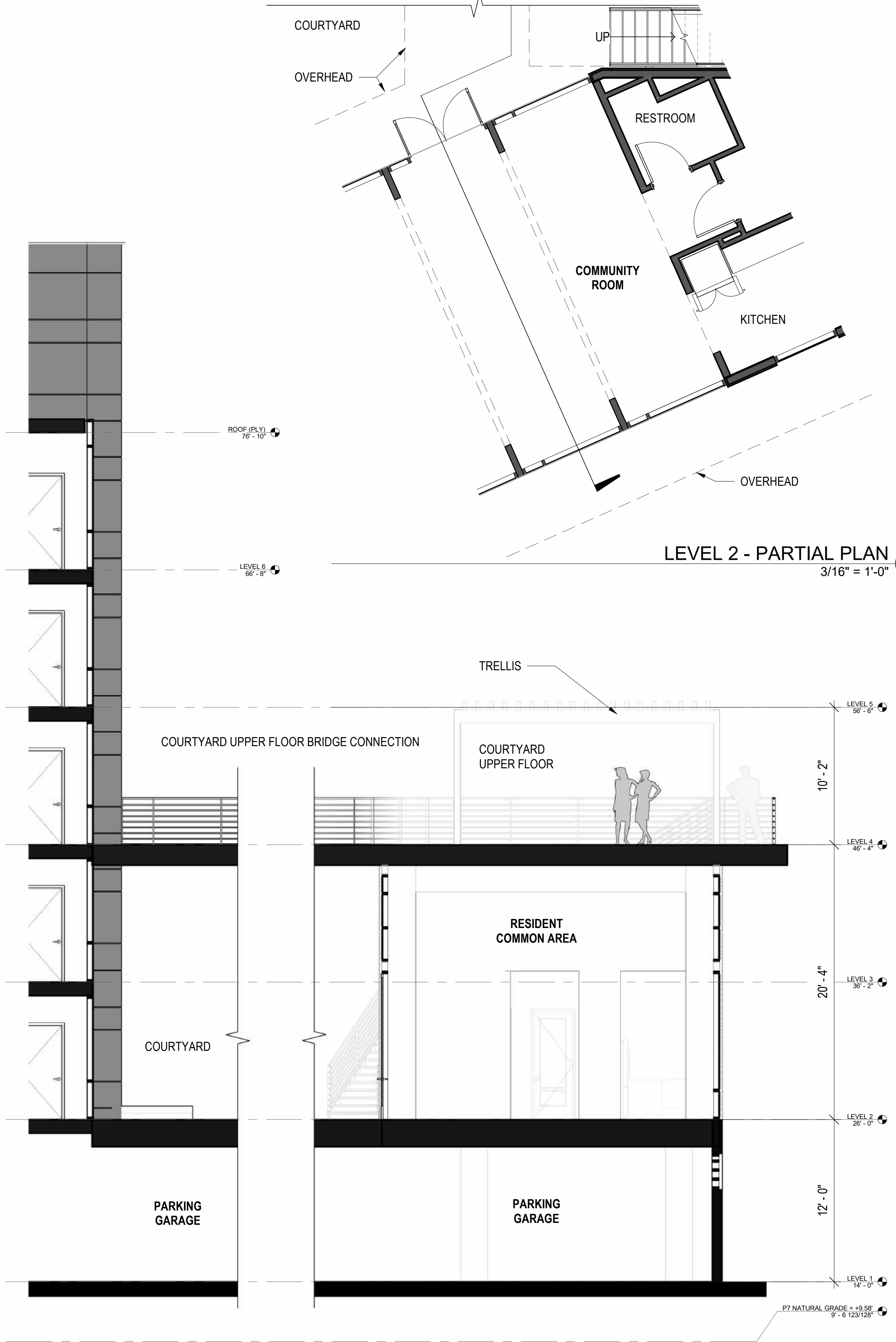
LEVEL 6 - PARTIAL PLAN  
3/16" = 1'-0" 4



LEVEL 2 - PARTIAL PLAN  
3/16" = 1'-0" 2



PARTIAL SOUTH ELEVATION  
3/16" = 1'-0" 3



SOUTH WALLSECTION  
3/16" = 1'-0" 1

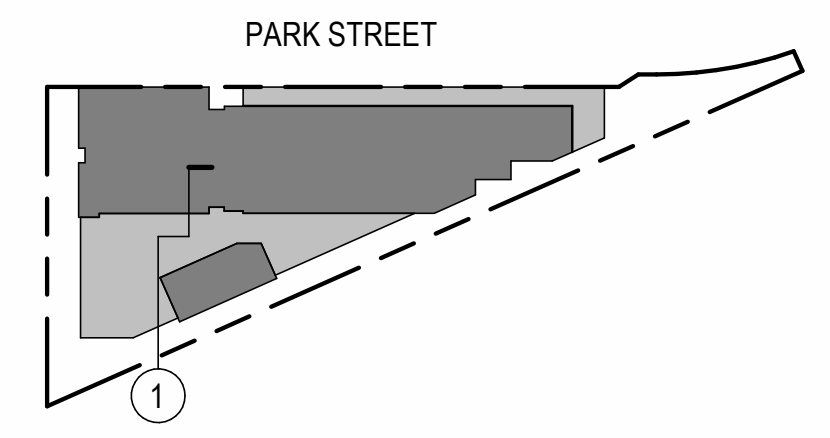
**LEGEND**

- 1 PANELIZED CEMENT BOARD, WARM WHITE
- 2 PANELIZED CEMENT BOARD, GRAY
- 3 WOOD LOOK SIDING SYSTEM
- 4 SMOOTH TROWELED STUCCO, WARM WHITE
- 5 SMOOTH TROWELED STUCCO, LIGHT GRAY
- 6 THIN BRICK CLADDING, MATTE DARK GRAY
- 7 CONCRETE, BOARD FORMED AESTHETIC
- 8 ALUMINUM SPANDREL PANEL, DARK BRONZE COLOR
- 9 WINDOW, DARK BRONZE AND/OR WHITE AND/OR TAN COLOR
- 10 STOREFRONT / CURTAIN WALL, DARK BRONZE COLOR
- 11 METAL GUARDRAIL
- 12 [NOT USED]
- 13 [NOT USED]
- 14 PAINTED METAL LOUVER
- 15 METAL SUNSHADE
- 16 STANDING SEAM METAL ROOFING

NOTE: LESS THAN 50% OF THE TOTAL BUILDING FACADE WILL BE CLAD IN SMOOTH TROWELED STUCCO IN COMPLIANCE WITH ZONING ORDINANCE 16.45.120(6)F.

NOTE: BIRD SAFE MEASURES ARE NOT DEPICTED IN THE FOLLOWING ELEVATIONS AND WILL FOLLOW IN A SUBSEQUENT DETAILED REPORT SUBMITTAL.

NOTE: LEVEL LINE ELEVATIONS INDICATE FEET ABOVE SEA LEVEL.



2/27/2023 7:56:57 PM

SCALE: As indicated  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR SIZE CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

**MILESTONES**

DATE	ISSUE
04/28/2023	ACP

**REVISIONS**

NO.	DATE	ISSUE
#1	03/28/22	ACP





VIEW FROM CENTRAL STREET TO PARCEL 7 AND BUILDING ENTRANCE

PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
Architectural Control Package - Parcel 7  
Menlo Park, CA

SCALE:  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR SIZE CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
04/28/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

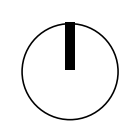
DRAWING TITLE:  
**PERSPECTIVES**

DRAWING NO:  
**A6.01**





ARCADE



PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 7  
 Menlo Park, CA

SCALE:  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY, OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
04/28/2023	ACP

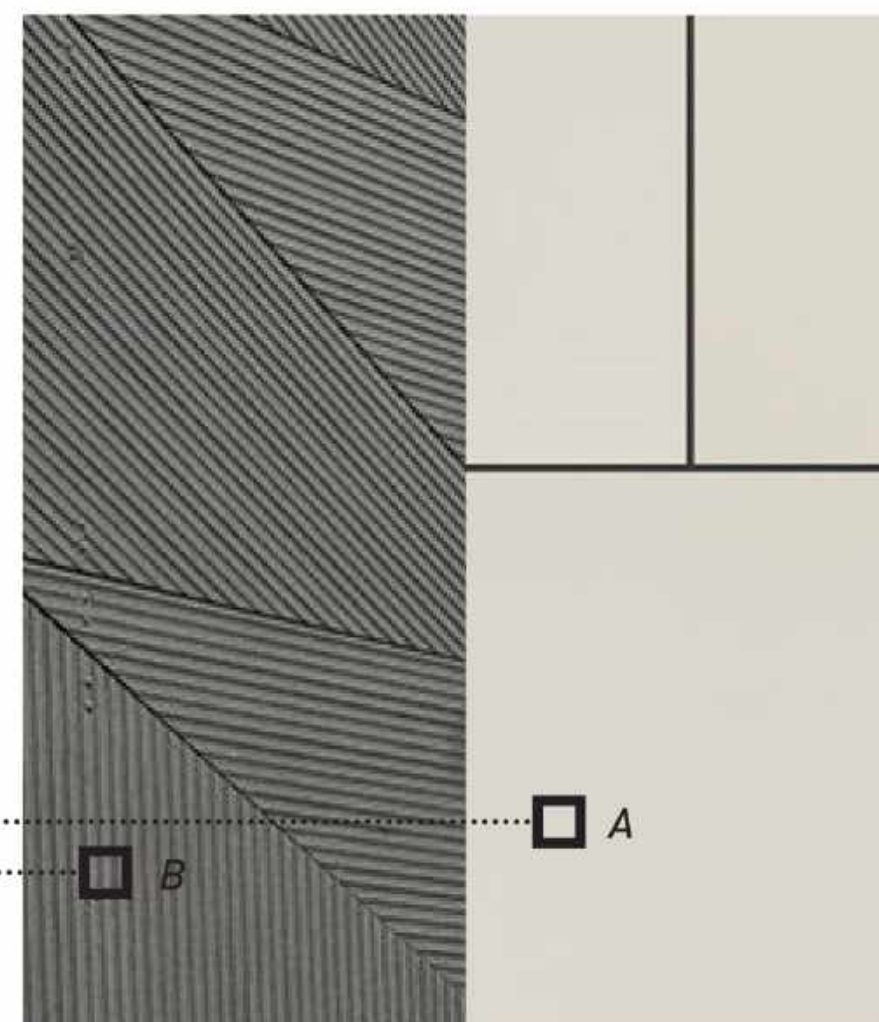
REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:  
**PERSPECTIVE**

DRAWING NO:  
**A6.02**



**PANELIZED CEMENT BOARD**  
 Equitone or similar  
 layout TBD  
 warm white (A)  
 medium gray (B)



**WOOD LOOK SIDING**  
 Parklex American Oak or similar

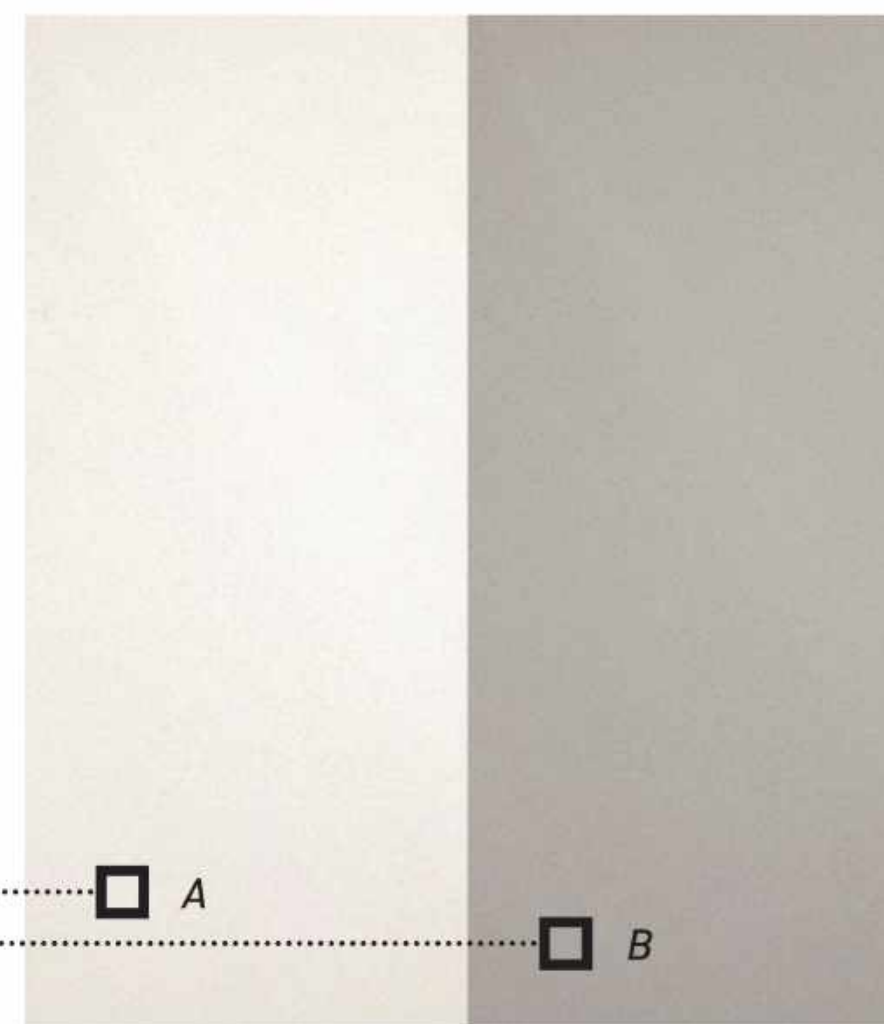
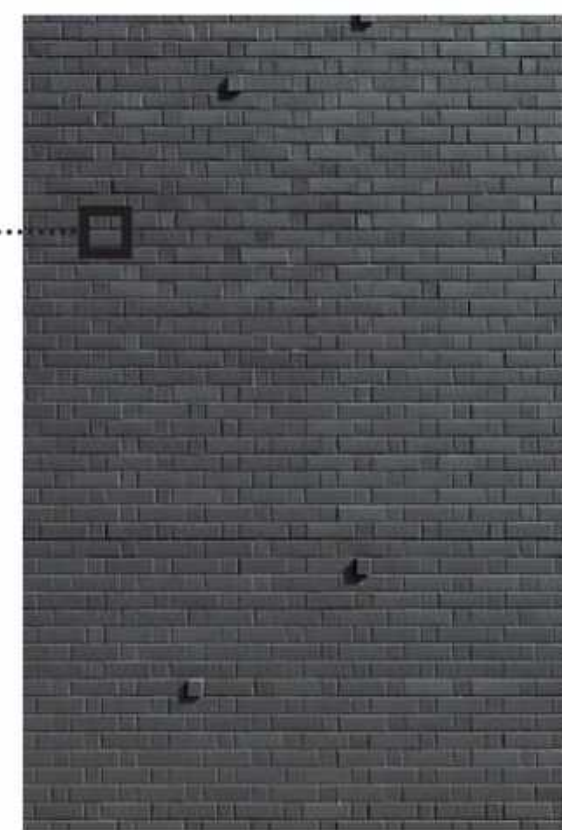


**STOREFRONT**  
 dark bronze color



**WINDOWS**  
 dark bronze and/or white and /or tan color

**THIN BRICK**  
 dark, matte gray brick with dark grout.  
 Pacific Clay thin brick or similar.



**SMOOTH TROWELED STUCCO**  
 warm white (A)  
 light gray (B)



**CONCRETE**  
 board-formed concrete



**METAL RAILS AND FENCES**  
 dark bronze color



**METAL ACCENT ELEMENTS**  
 trim, coping, and sunshades  
 dark bronze color



**ROOF MECHANICAL SCREEN**  
 Aluminum

SCALE:  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY, OR SIZE CLASSIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES

DATE	ISSUE
04/28/2023	ACP

REVISIONS

NO.	DATE	ISSUE



Property Description  
Site Address: Willow Village Parcel 7  
Base Zone: R-MU

**R-MU Development Regulations**

Note: Projects within the plan area will follow the standards prescribed for bonus level development.

Requirement	Reference	Standard	Proposal / Notes	Compliance
Minimum Setback at Street	16.45.050 16.45.120(1)	Minimum linear feet building can be sited from property line adjacent to street: 0' Measured from property line, or if there is a public access easement, from the back of the easement.	7'-10' setback at ground level and portions of Levels 5 and 6; 0' setback elsewhere	Project Complies
Maximum Setback at Street	16.45.050 16.45.120(1)	Maximum linear feet building can be sited from property line adjacent to street: 20'	7'-10' setback at ground level and portions of Levels 5 and 6; 0' setback elsewhere	Project Complies
Minimum Interior Side and Rear Setbacks	16.45.050	Minimum linear feet building can be sited from interior and rear property lines: 10' (See 16.45.120(5) when passive is required. Interior side setback may be reduced to zero feet for the entire building mass where there is a retail frontage.)	side and rear interior setbacks ≥ 10'	Project Complies
Height	16.45.050 WVMP Ex. 25	Per WVMP Exhibit 26, Average Height LHM is 62.5' and Maximum Height LHM is 70', exceeding 16.45.050 Height Limits.  "Height" is defined as average height of all buildings on one site, where a maximum height cannot be exceeded. Maximum height does not include roof-mounted equipment and utilities or parapets used to screen mechanical equipment. The maximum height allowed for rooftop mechanical equipment is 14' except for elevator towers and associated equipment, which may be 20'. Properties within the flood zone or subject to flooding and sea level rise are allowed a 10' increase in height and maximum height.	Maximum height = 70' from the natural grade  Average height compliance is regulated at a masterplan-wide level	Project Complies

**R-MU Parking Standards**

Requirement	Reference	Standard	Proposal / Notes	Compliance
Residential Units Bike Parking	16.45.080, 16.45.120(7) and best practice standards in Association of Pedestrian and Bicycle Professionals Bicycle Parking Guidelines	Minimum 1.0 long term bike parking space per unit; 10% additional short-term for guests	60 long term spaces (0.5:1 ratio) to units (total of 1.5:1) + 12 short term spaces (instead of 18 minimum code)	Requested Adjustment to Standard #7 (see APP1.03)
Retail and Eating/Drinking Establishments Bike Parking	1 per 5,000sf of gross floor area, 20% for long term and 80% for short term.		N/A	N/A

**R-MU Design Standards**

All new construction in R-MU districts is subject to architectural control. Design standards may be modified subject to approval of a use permit or a conditional development permit. Projects within the plan area will follow the standards prescribed for bonus level development.

Requirement	Reference	Standard	Proposal / Notes	Compliance
Relationship to the Street				
Build-To Area Requirement		Minimum percentage of street frontage between the minimum and maximum setback lines. If fronting a Local Street: 40%. If fronting a Boulevard, Thoroughfare, Mixed Use Collector, or Neighborhood Street: 60% minimum.	25% Building Length Within Build-To Area / 300 Total Park Street Frontage of Lot + 66%	Project Complies
Frontage Landscaping		Percentage of area between property line and face of building devoted to ground cover and vegetation. Setback areas adjacent to active ground floor uses are excepted. If fronting a Local Street: Minimum 40%, 50% of which shall provide on-site infiltration of stormwater runoff. If fronting a Boulevard, Thoroughfare, Mixed Use Collector, or Neighborhood Street then 25% minimum, 50% of which shall provide on-site infiltration of stormwater runoff. Allowable frontage uses: Nonresidential uses shall be a minimum of 50' in depth. If fronting a Local Street: No restrictions	25% frontage landscaping at ground floor setback with greater than 50% of which is for on-site stormwater runoff to be located adjacent to building at proportion of lot.	Requested Adjustment to Standard #8 (see APP1.03). To allow frontage landscaping adjacent to building and with greater than 50 percent on-site stormwater treatment.
Frontage Uses		Frontage uses = residential and residential common space		Project Complies
Surface Parking Along Street Frontage		Permitted if not back alleyway. The maximum percentage of linear frontage of property adjacent to the street allowed to be off-street surface parking: If fronting a Local Street: Maximum of 35%. If fronting a Boulevard, Thoroughfare, Mixed Use Collector, or Neighborhood Street then Maximum of 25%.	No surface parking	N/A
Minimum Surface Parking Setback		Minimum dimension property line to surface parking: 20'	No surface parking	N/A

**Building Mass and Scale**

Requirement	Reference	Standard	Proposal / Notes	Compliance
Base Height		The maximum height of a building at the minimum setback at street or before the building steps back the minimum horizontal distance required. Projections within the flood zone or subject to flooding and sea level rise are allowed a 10' increase. Base height: 45'	50' from natural grade	Project Complies
Minimum Stepback		The horizontal distance a building's upper story(ies) must be set back above the base height. 10' for a minimum of 75% of the building face along public streets. Per 16.08.100 excavation into a required setback shall not be permitted unless a use permit for this purpose is obtained from the planning commission.	8' stepback for 75% of the building facing Park Street	Requested Adjustment to Standard #1 (see APP1.01). To allow stepback depth of 8 feet instead of 10 foot code minimum.
Building Projections		The maximum depth of allowable building projections, such as balconies or bay windows, from the required setback for portions of the building above the ground floor.	Maximum depth of projection is 6'	Project Complies
Major Building Modulations		A break in the building plane from the ground level to the top of the building's base height. Required on facades facing publicly accessible spaces. Parking is not allowed in the recesses. Minimum of one recess of 10' wide by 10' deep per 200' of facade length.	10'x10' breaks are provided in every 200' (or less) at all facades	Project Complies
Minor Building Modulations		Required on facades facing publicly accessible spaces. Parking is not allowed in the recesses. Minimum recess of 5' wide by 5' deep per 50' of facade length. Building Projections spaced no more than 50' apart with a minimum depth of 3' and width of 0' may satisfy this requirement in lieu of a recess.	Compliant minor modulations are not provided at Park Street facade	Requested Adjustment to Standard #2 (see APP1.01). Request alternative facade design to permit North East/West Park Street without qualifying minor building modulations.

**Ground Floor Exterior**

Requirement	Reference	Standard	Proposal / Notes	Compliance
Building Entrances		Minimum ratio of entrances to building length along a public street or paseo. One entrance every 100 feet of building length along a public street or paseo is required, minimum one along each length. Entrances at a building corner may be used to satisfy that requirement for both buildings. Signs must be located in locations convenient to building users.	Entrances along Park Street are provided on every 100' or less.	Project Complies
Ground Floor Transparency		The minimum percentage of the ground floor facade (finished floor to ceiling) that must provide visible transparency. Windows shall not be opaque or mirrored. For the purpose of this chapter, "transparency" is defined as uses enumerated in the chapter, except office and research and development. 50% for residential uses, 60% for commercial uses.	53% transparency is provided at ground-level residential spaces facing Park Street (see sheet A0.12)	Project Complies
Minimum Ground Floor Height Along Street Frontage		The minimum height between the ground-level finished floor to the second-level finished floor along the street. Where individual residential units access from a street front floor shall be elevated 24" minimum above sidewalk level. 10' for residential uses, 15' for commercial uses.	12' ground floor height (no residential units at grade)	Project Complies
Garage Entrances		Width of garage door entry/door along street frontage. Garage entrances must be separated by a minimum of 100 feet to ensure all entrances/doors are not grouped together or resulting in an entire portion of sidewalk unusable and undesirable for pedestrians. Maximum 12' opening for one-way entrance; maximum 24' opening for two-way entrance.	One garage entrance, two-way, with opening no more than 24' wide on the alley	Project Complies
Awnings, Signs, and Canopies		The maximum depth of awnings, signs, and canopies that project horizontally from the face of the building. Horizontal projections shall not extend into the public right-of-way. A minimum vertical clearance of 8' from finished grade to the bottom of the projection is required. Maximum depth: 7'.	To be developed further	Project Complies

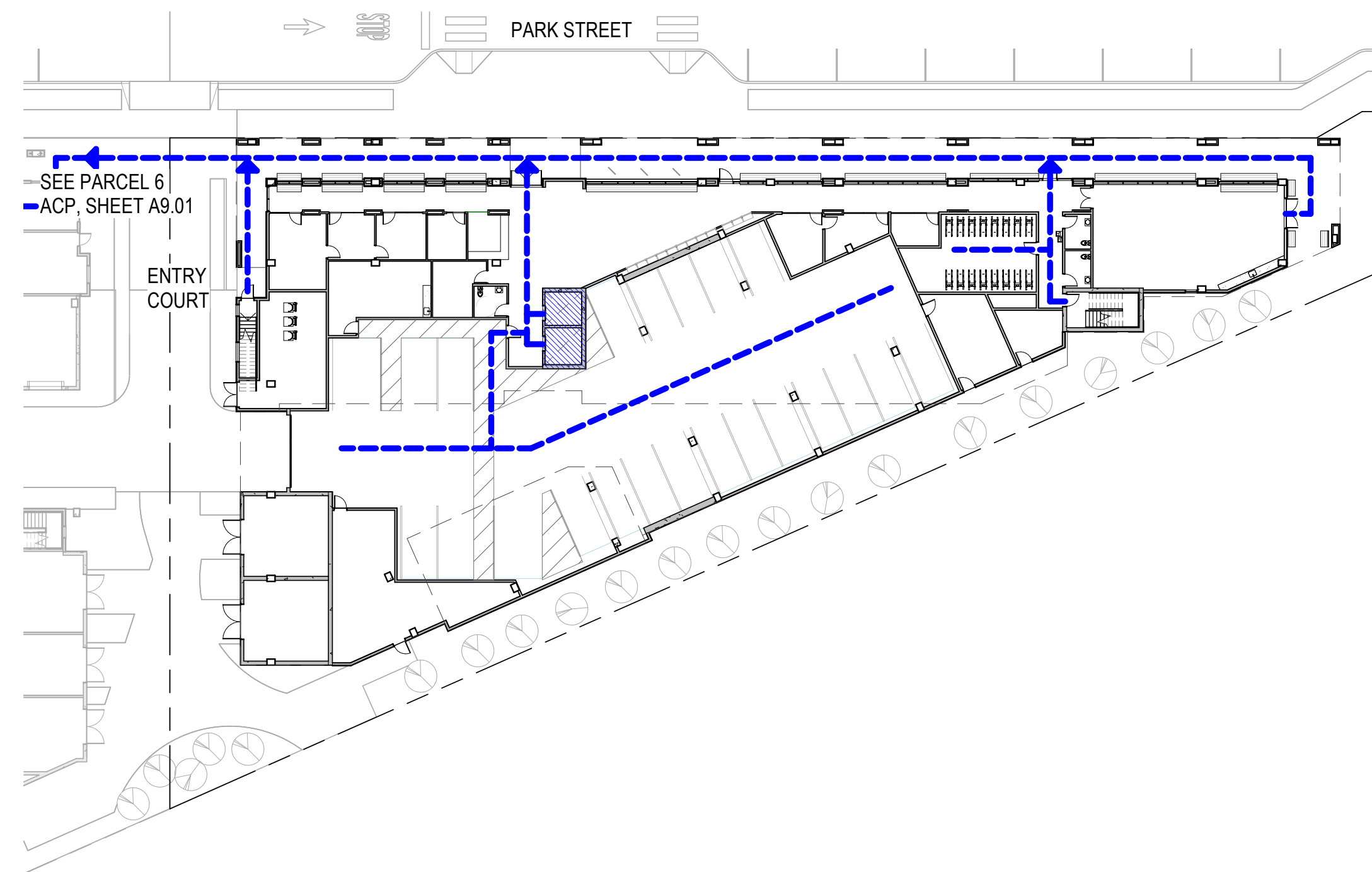
**Open Space**

Requirement	Reference	Standard	Proposal / Notes	Compliance
		Public and Private Open Spaces include patios, balconies, roof terraces, and courtyards. Residential developments shall provide 100sf of common open space or 100sf of private open space per unit. Private open space shall have a minimum dimension of 6' by 6'. This count towards the required 50% of area of open space. In the case of a mix of private and common open space, common open space shall be provided at a ratio of 1.25:1 for each 15' of private open space that is not provided. For projects with more than 100 units, a common space with a minimum dimension of 40' and a minimum area of 1,600sf shall be provided. Open Space shall interface with adjacent buildings via direct connections through doors, windows, and entryways. Open Space shall be integrated as part of the building modulation and articulation to enhance building facade and should be sited and designed to be appropriate for the size of the development and accommodate different activities, groups, and both active and passive uses. Open Space shall include sustainable stormwater features, a minimum landscaping bed no less than 2' in length or width and 2' in depth for infiltration planting, and native species able to grow to their maximum size without shearing.	The project provides mix of both quasi-public and private open space.  Courtyard & the minimum requirement	Project Complies  Project Complies  Project Complies
		All exterior landscaping counts towards open space requirements.	See Open Space Plans for areas counted toward open space requirements	Project Complies

**Building Design**



Requirement	Reference	Standard	Proposal / Notes	Compliance
		Main building entrances shall face the street or a publicly accessible courtyard. Building and/or frontage landscaping shall bring the human scale to the edges of the street. Retail building facade shall be sited to the street.	Provided	Project Complies
		Bricks, masonry, terra-cotta, and other materials shall be used for building facades. Landscaping, signage, etc. shall be integrated into the building design to the extent feasible, as determined by the public works director.	Provided	Project Complies
		Projects shall include dedicated, covered, and easily accessible space for recycling, compost, and solid waste storage and collection.	Three-stream waste collection area at each level, central waste room with direct access from the alley	Project Complies
		Trash and storage shall be enclosed and attractively screened from public view.	Provided	Project Complies
		Materials and colors of utility, trash, and storage enclosures shall match or be compatible with the primary building.	Provided	Project Complies
		Building materials shall be durable and high quality to ensure sustainability and reuse over time. Glass panelling and windows shall be used to invite outdoor views and introduce natural light into interior spaces. Balcony shall not be used on more than fifty per cent (50%) of the building facade. When stucco is used, it must be smooth troweled.	Provided	Refer to sheet A0.17 - a change was made to comply
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Proposed roof height modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Requested Adjustment to Standard #4 (see APP1.02) to allow roof height modulations of less than 4 feet.
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left side portion and East Elevation.	Provided	Project Complies
		Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four-foot minimum height modulation to break modulations of 2' at Park Street/North Elevation at left		

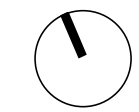




001\_LEVEL 1 - ACCESSIBILITY ①  
1" = 30'-0"

**ACCESSIBLE PATH LEGEND**

-  ACCESSIBLE PATH TO PUBLIC SIDEWALK
-  ELEVATOR



PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
Architectural Control Package - Parcel 7  
Menlo Park, CA

SCALE: As indicated  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

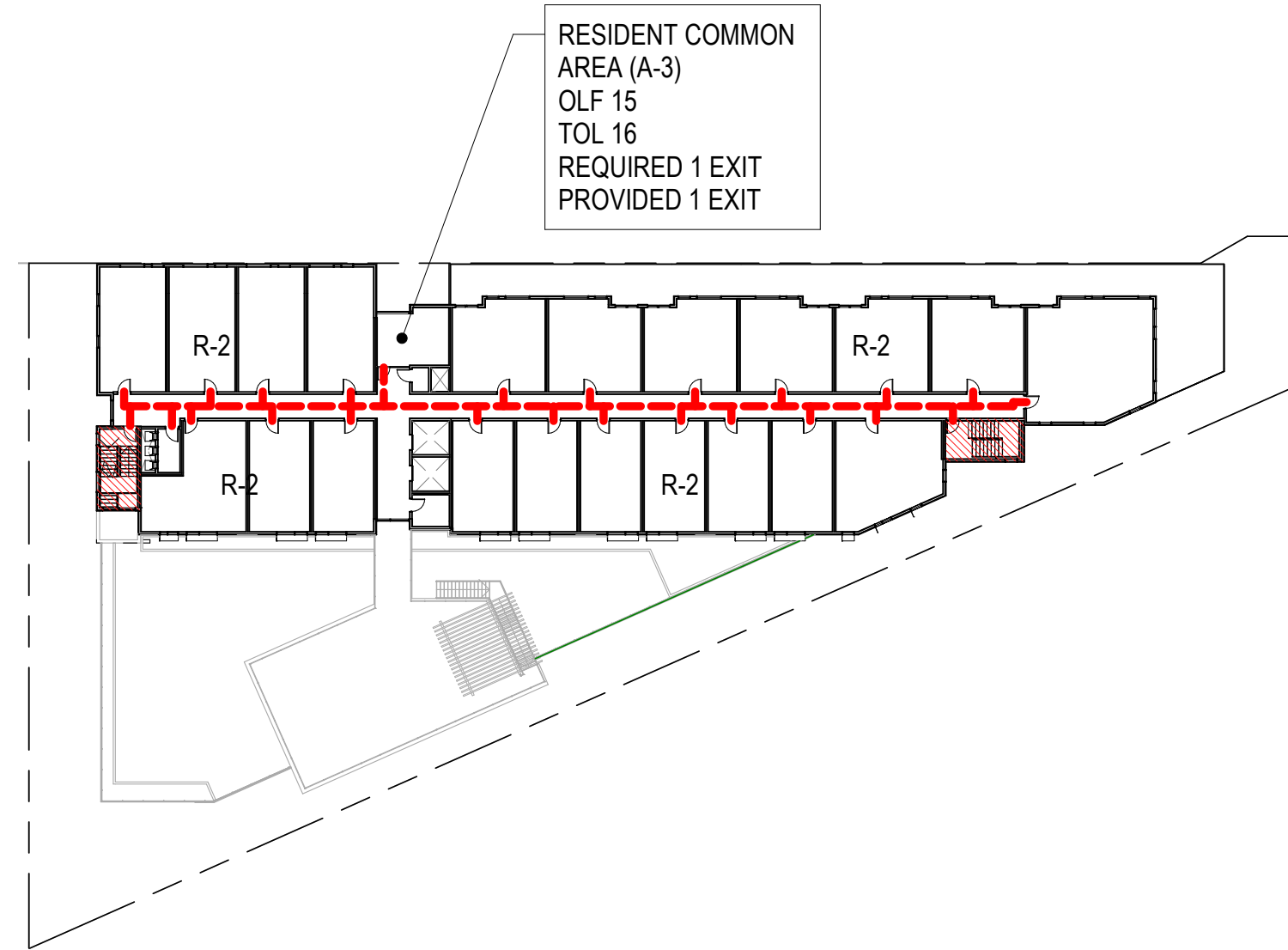
MILESTONES	
DATE	ISSUE
04/28/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

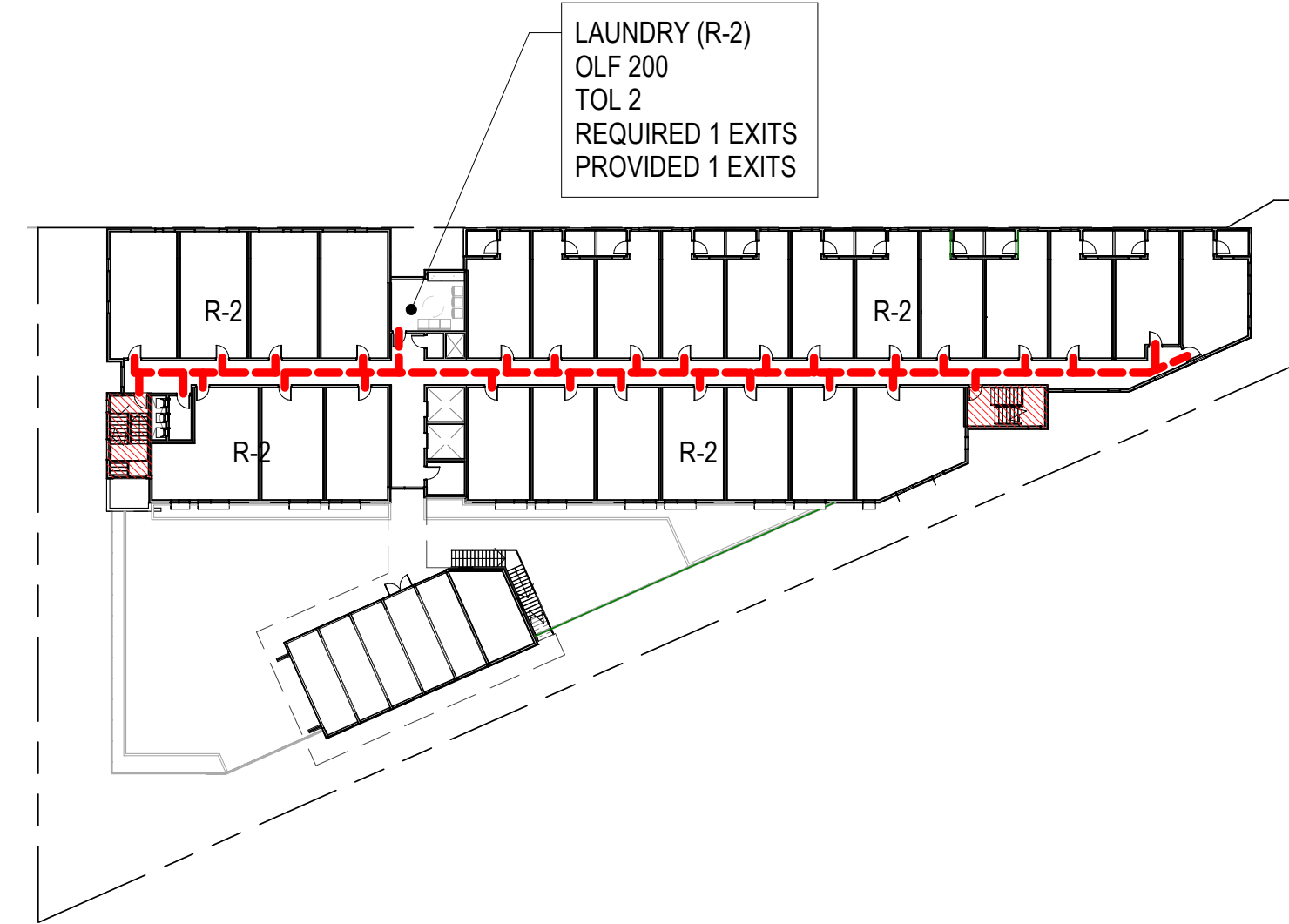
DRAWING TITLE:  
**ACCESSIBILITY PLAN**

DRAWING NO:  
**A9.01**

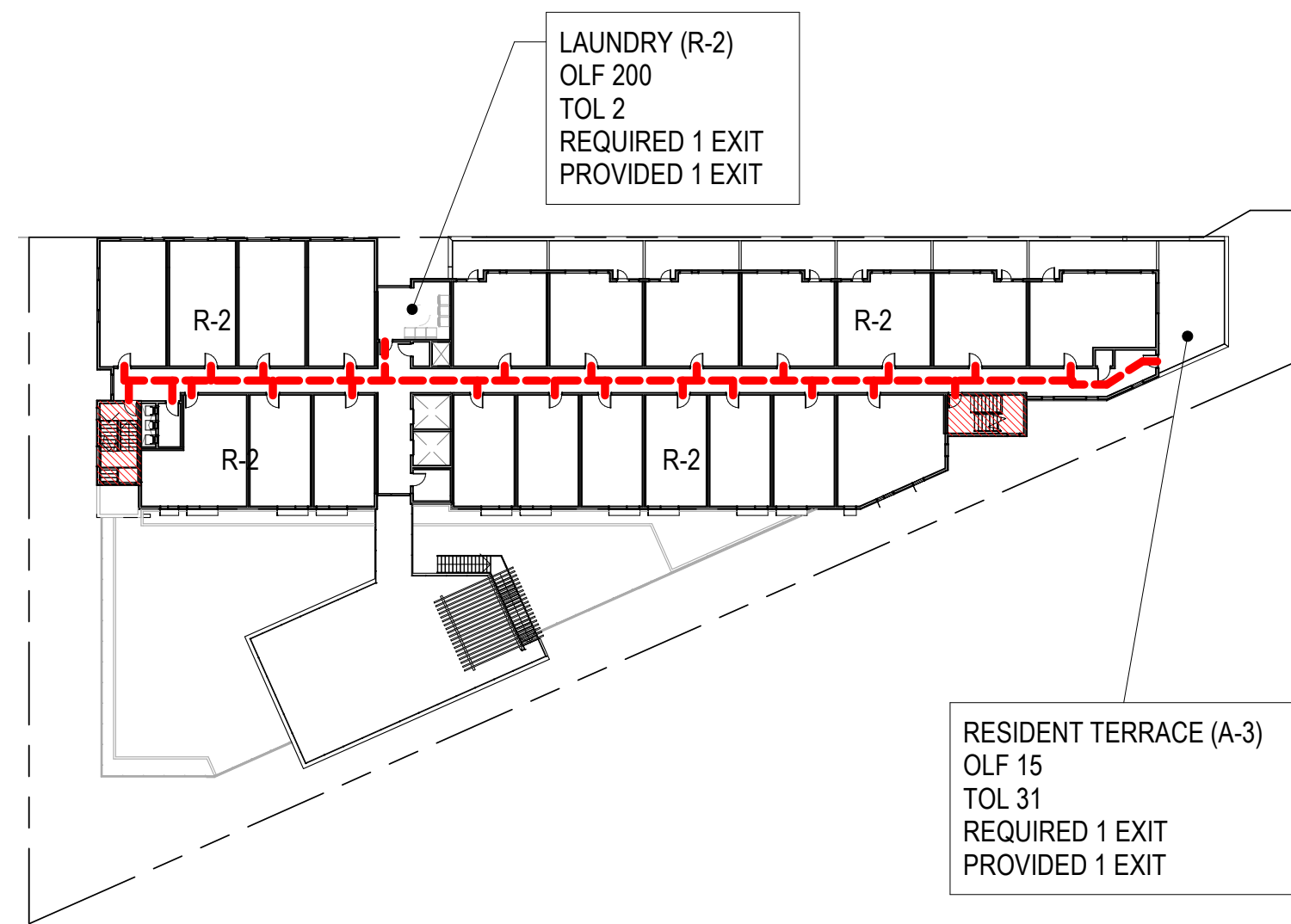




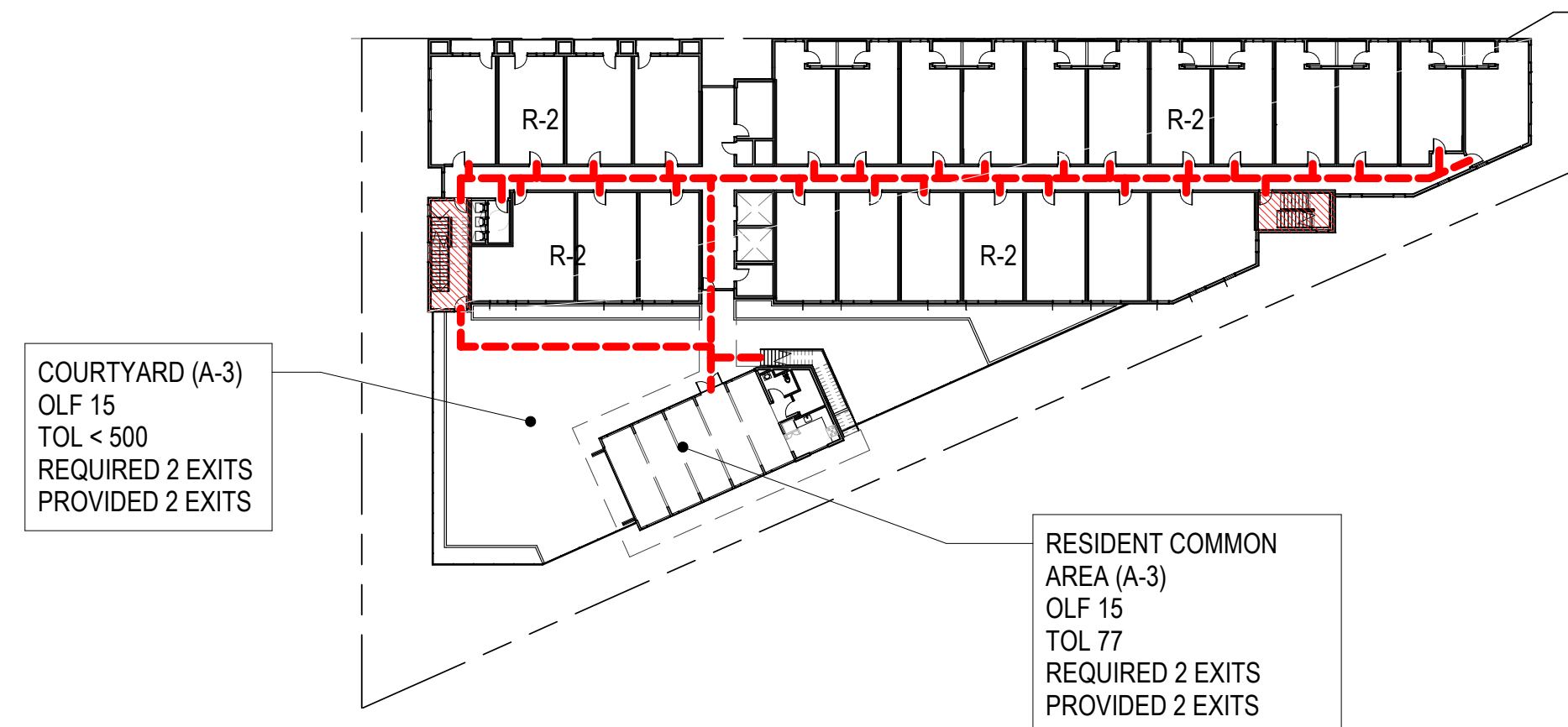
LEVEL 6 - EXIT PLAN  
1" = 40'-0" ⑥



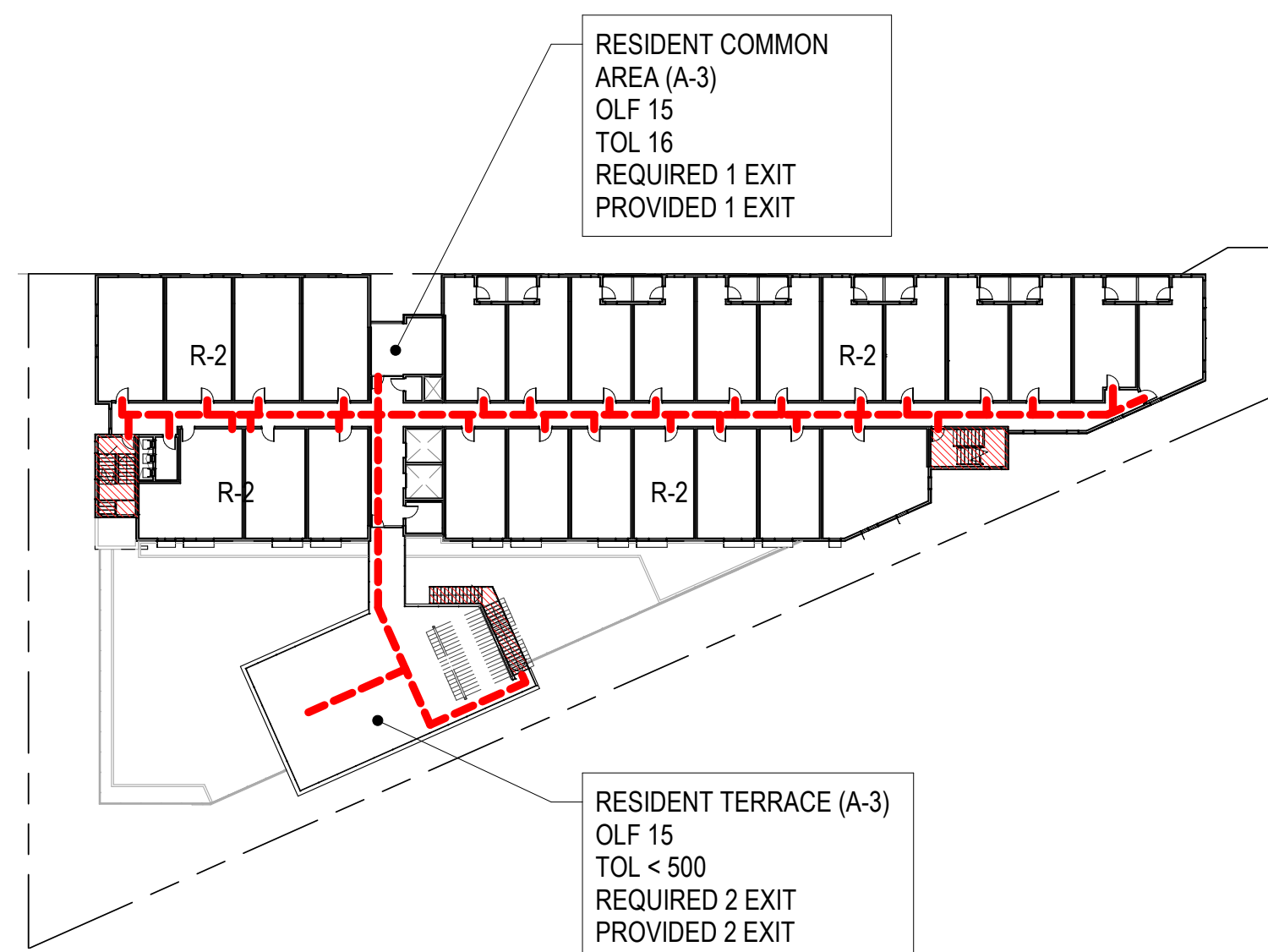
LEVEL 3 - EXIT PLAN  
1" = 40'-0" ③



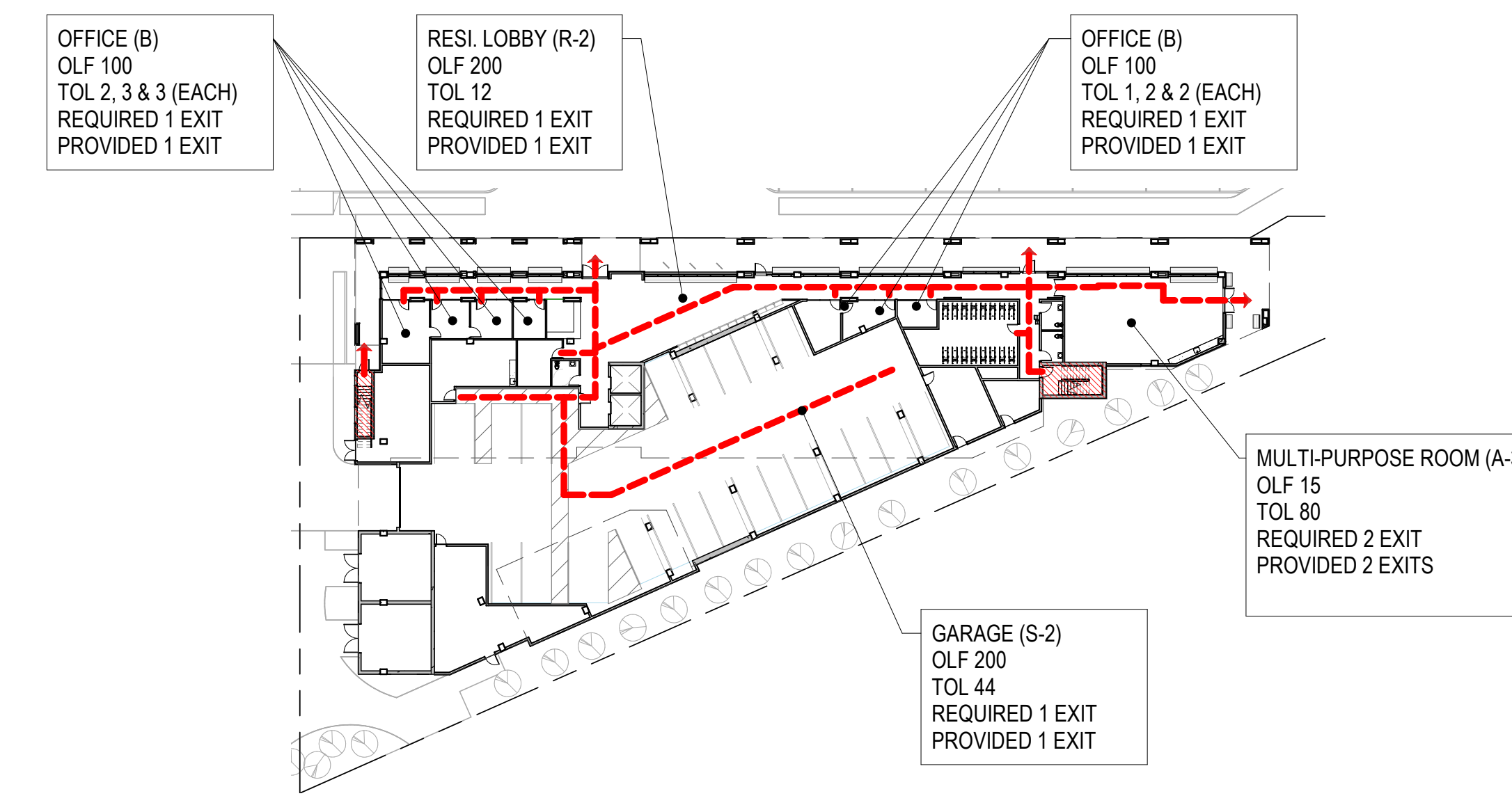
LEVEL 5 - EXIT PLAN  
1" = 40'-0" ⑤



LEVEL 2 - EXIT PLAN  
1" = 40'-0" ②

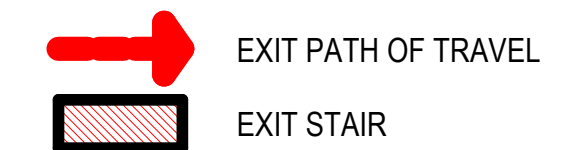


LEVEL 4 - EXIT PLAN  
1" = 40'-0" ④



LEVEL 1 - EXIT PLAN  
1" = 40'-0" ①

**EXIT PATH LEGEND**

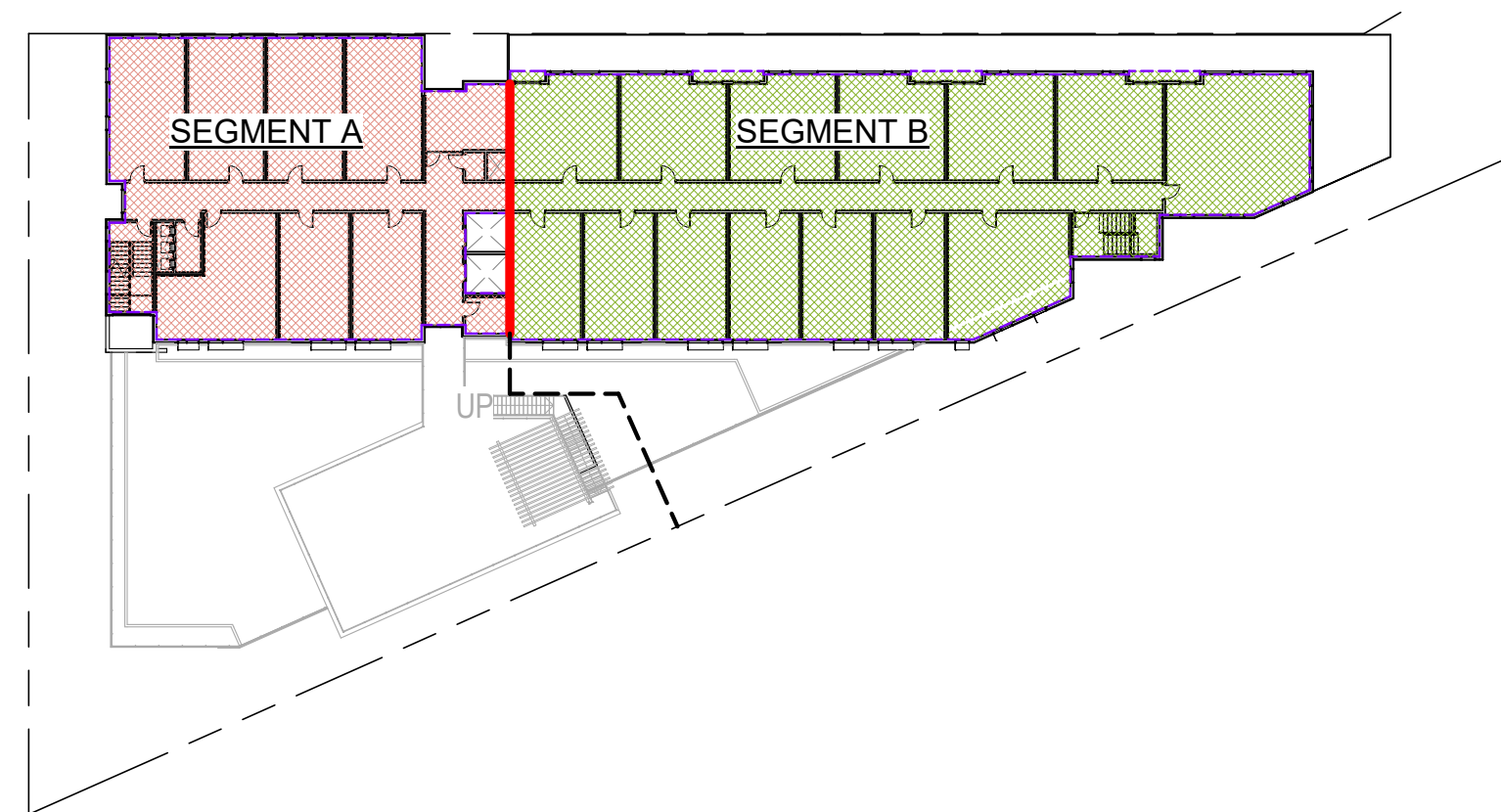


SCALE: As indicated  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE REQUIRED DIMENSIONS ONLY. FOR SIZE CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

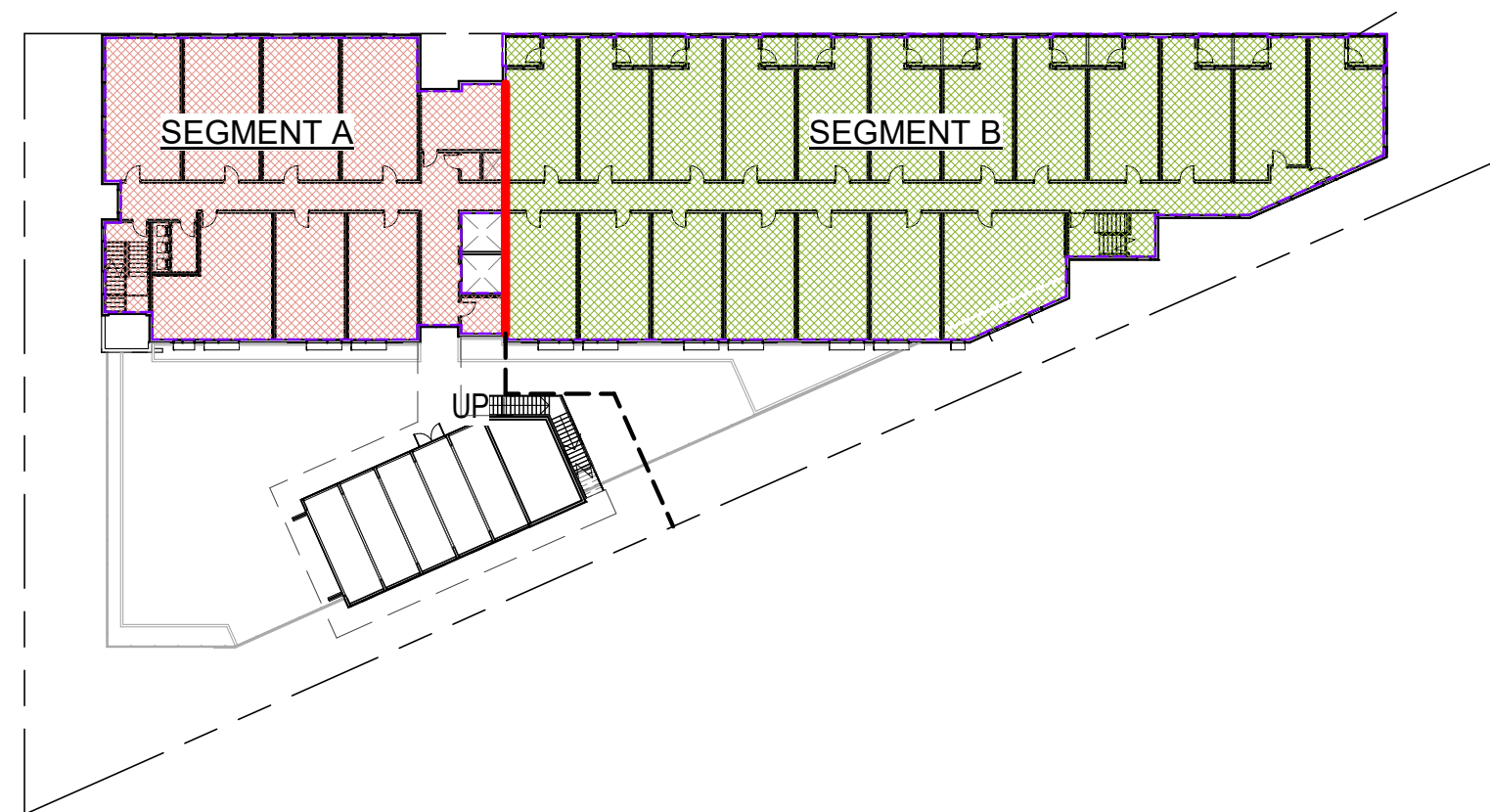
MILESTONES	
DATE	ISSUE
04/28/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

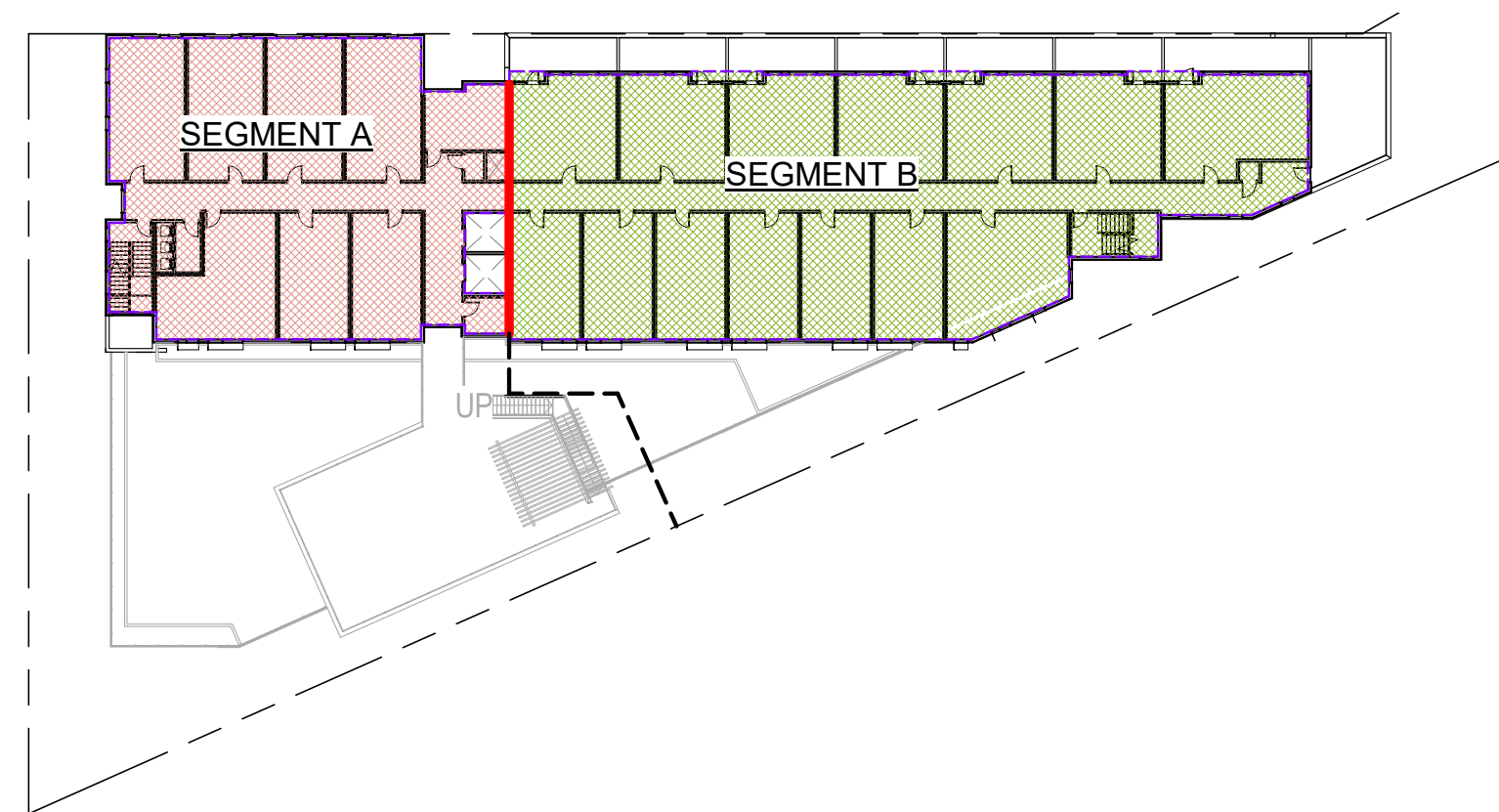




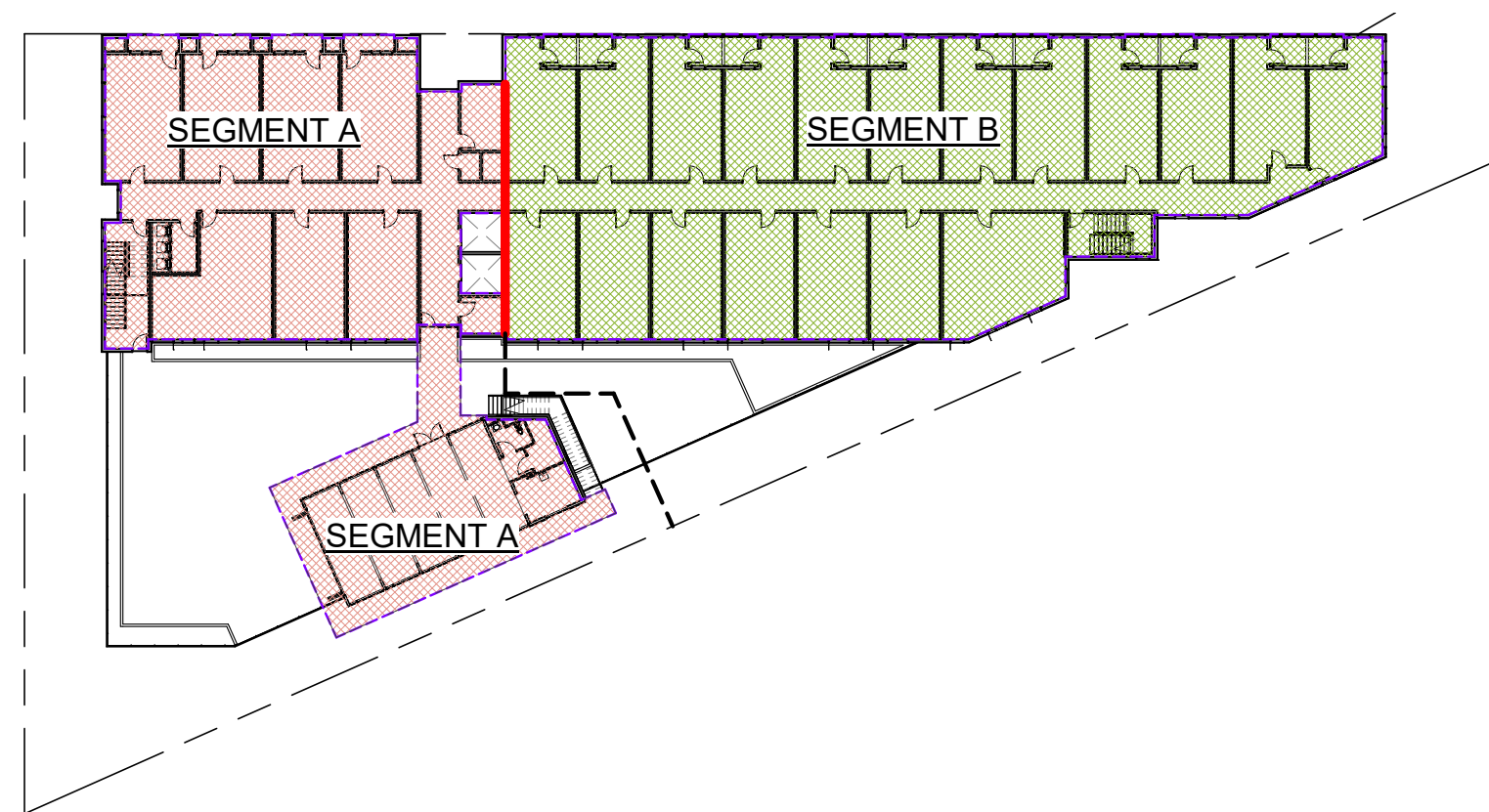
FLOOR PLAN - LEVEL 6  
1" = 40'-0" ⑥



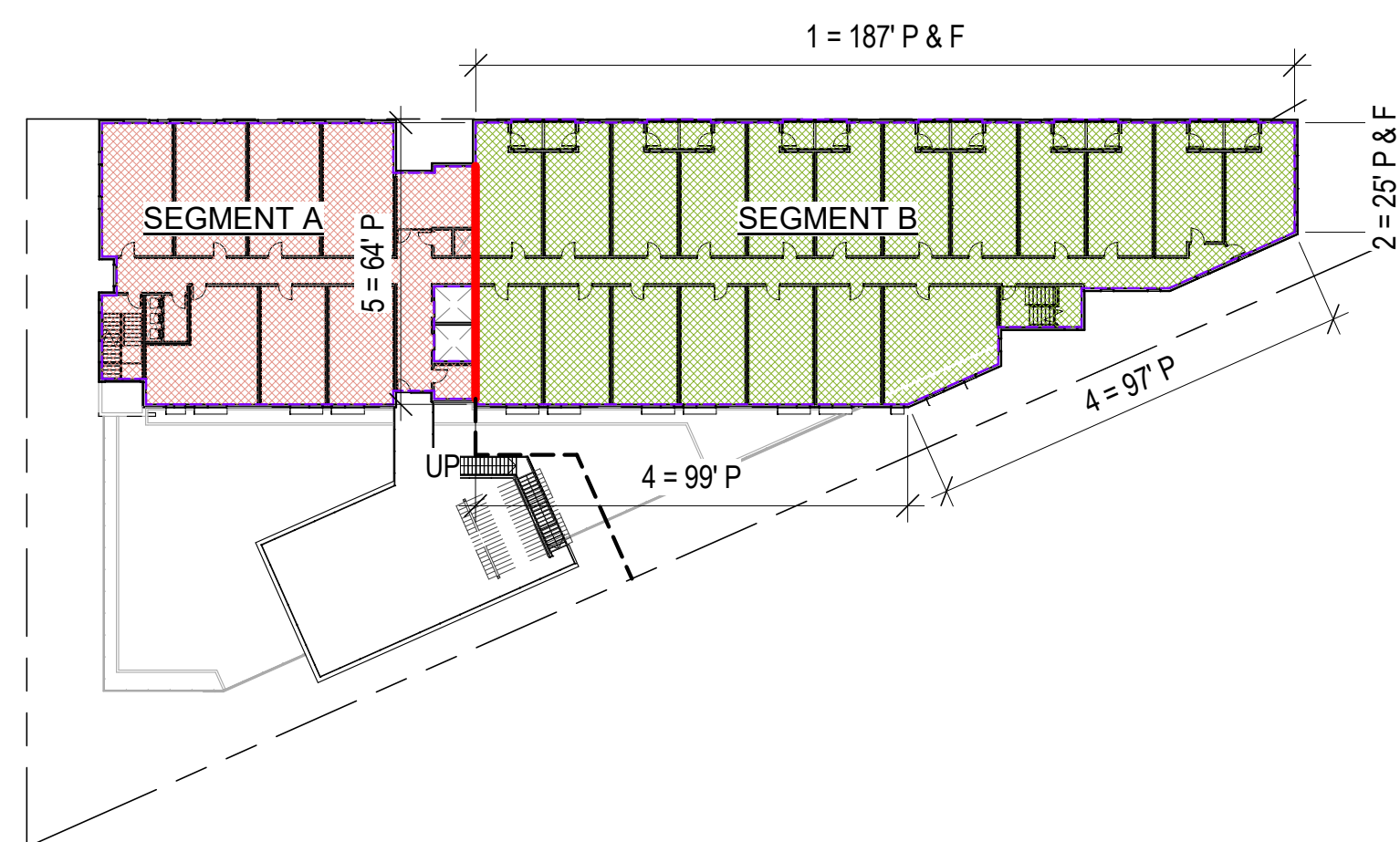
FLOOR PLAN - LEVEL 3  
1" = 40'-0" ③



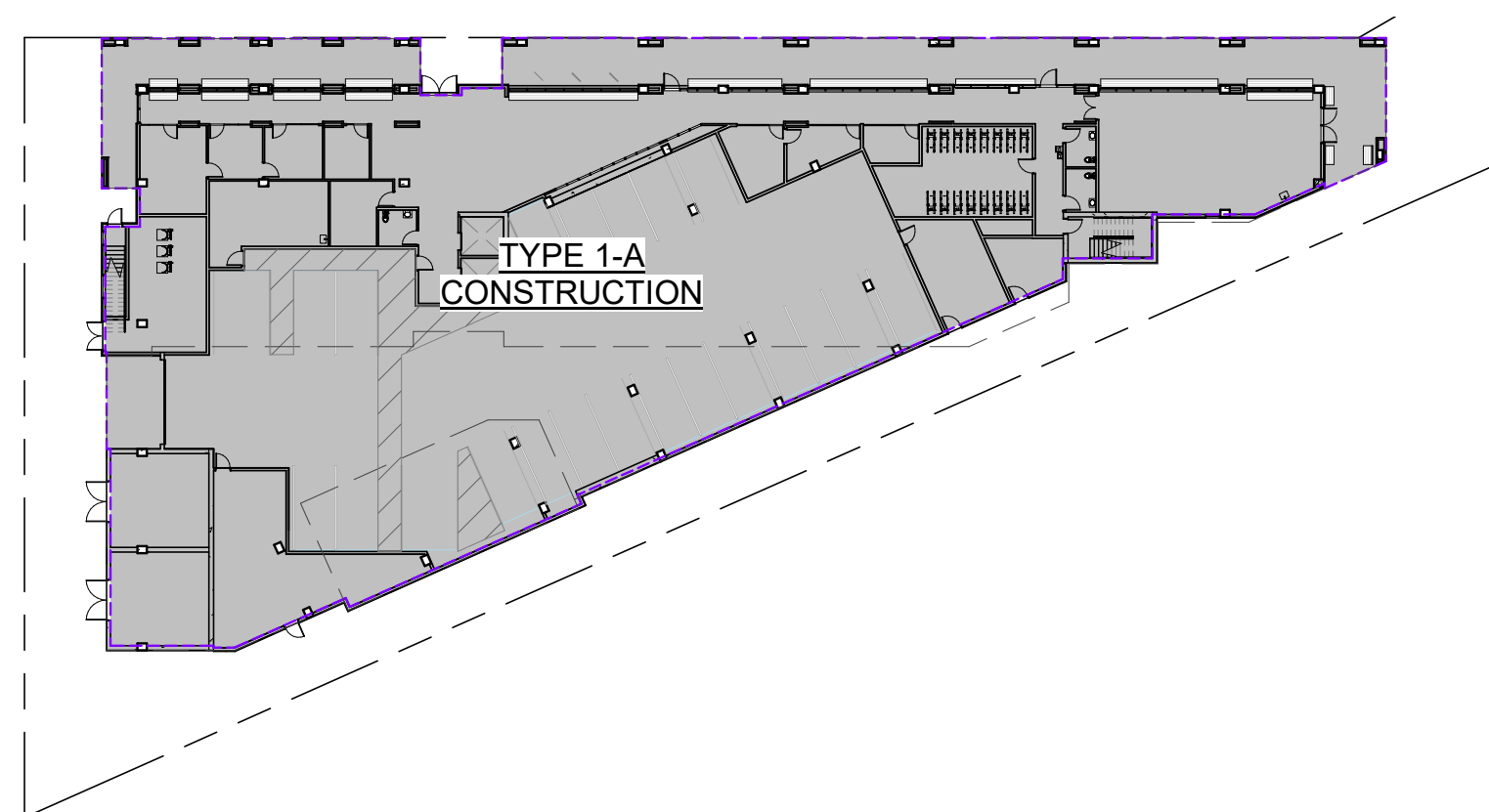
FLOOR PLAN - LEVEL 5  
1" = 40'-0" ⑤



FLOOR PLAN - LEVEL 2  
1" = 40'-0" ②



FLOOR PLAN - LEVEL 4  
1" = 40'-0" ④



FLOOR PLAN - LEVEL 1  
1" = 40'-0" ①

**TYPE I-A CONSTRUCTION**

AREA OF TYPE I-A CONSTRUCTION IS UNLIMITED FOR ALL OCCUPANCIES IN THE BUILDING, PER CBC TABLE 506.2

TYPE I-A CONST. BUILDING AREA, PER CBC		
Name	Area	Level
TYPE I-A CONSTRUCTION	22,028 SF	LEVEL 1
TYPE I-A CONSTRUCTION	22,028 SF	
TOTAL TYPE I-A	22,028 SF	

**TYPE III-A CONSTRUCTION**

SEGMENT - A	SEGMENT - A
OCCUPANCY TYPE	R2
FRONTAGE INCREASE If	NOT USED
ALLOWABLE AREA PER STORY Aa (Sa = 1)	PER CBC SECTION 506.2.3 (EQUATION 5-2) Aa = (At + NS x If) x Sa Aa = (24,000 + 24,000 x 0) x 1 As = 24,000 SF
ALLOWABLE AREA - TOTAL SEGMENT Aa (Sa = 2)	PER CBC SECTION 506.2.3 (EQUATION 5-2) Aa = (At + NS x If) x Sa Aa = (24,000 + 24,000 x 0) x 2 As = 48,000 SF
ACTUAL AREA - TOTAL SEGMENT	27,273 SF [ < 48,000 SF]

SEGMENT - B	SEGMENT - B
OCCUPANCY TYPE	R2
FRONTAGE INCREASE If (SEE LEVEL 4 PLAN FOR DIMS.)	PER CBC SECTION 506.3.3 (EQUATION 5-5) If = (F/P - .25) x W/30 If = (212/472 - .25) x 30/30 If = .19
ALLOWABLE AREA PER STORY Aa (Sa = 1)	PER CBC SECTION 506.2.3 (EQUATION 5-2) Aa = (At + NS x If) x Sa Aa = (24,000 + 24,000 x .19) x 1 As = 28,560 SF
ALLOWABLE AREA - TOTAL SEGMENT Aa (Sa = 2)	PER CBC SECTION 506.2.3 (EQUATION 5-2) Aa = (At + NS x If) x Sa Aa = (24,000 + 24,000 x .19) x 2 As = 57,120 SF
ACTUAL AREA - TOTAL SEGMENT	47,315 SF [ > 57,120 SF]

TYPE III-A CONST. BUILDING AREA, PER CBC		
Name	Area	Level
SEGMENT A	7,288 SF	LEVEL 2
SEGMENT A	4,996 SF	LEVEL 3
SEGMENT A	4,996 SF	LEVEL 4
SEGMENT A	4,996 SF	LEVEL 5
SEGMENT A	4,996 SF	LEVEL 6
SEGMENT A	27,273 SF	
SEGMENT B	10,203 SF	LEVEL 2
SEGMENT B	10,212 SF	LEVEL 3
SEGMENT B	10,203 SF	LEVEL 4
SEGMENT B	8,349 SF	LEVEL 5
SEGMENT B	8,349 SF	LEVEL 6
SEGMENT B	47,315 SF	
TOTAL TYPE III-A	74,588 SF	

- SEGMENT A
- SEGMENT B
- FIRE SEPARATION
- ASSUMED PROPERTY LINE



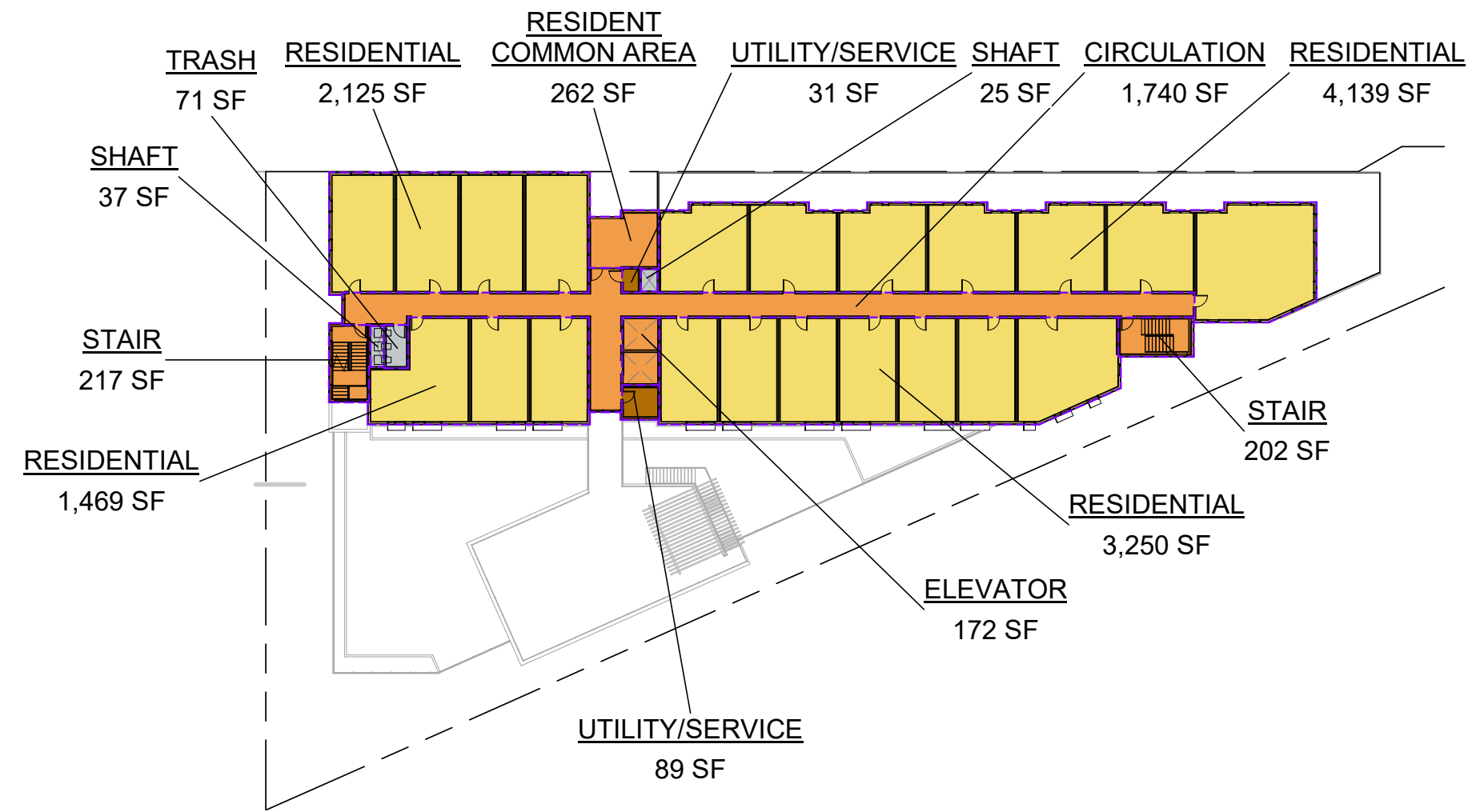
SCALE: As indicated  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY, OR SIZE CLASSIFICATIONS FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
04/28/2023	ACP

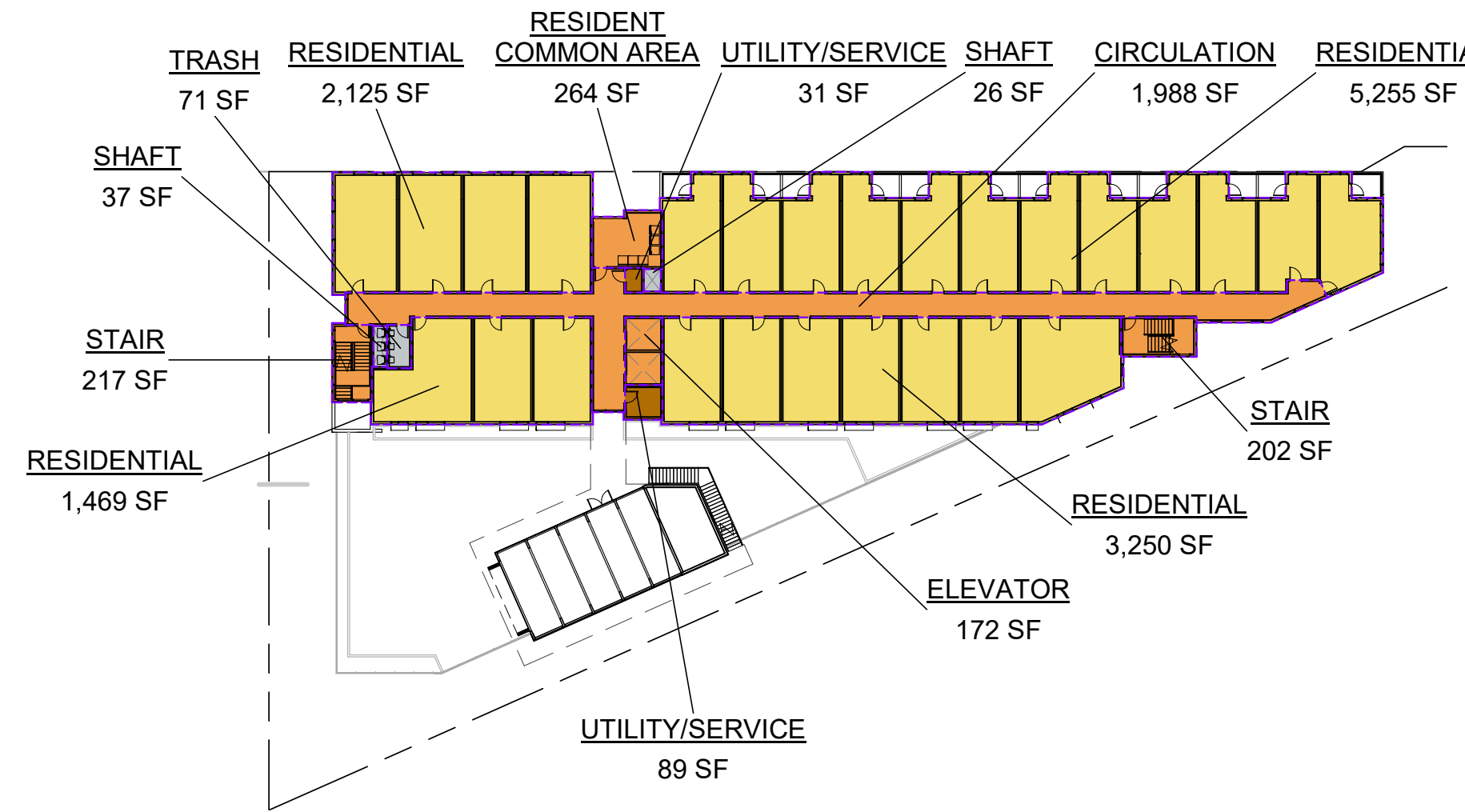
REVISIONS		
NO.	DATE	ISSUE



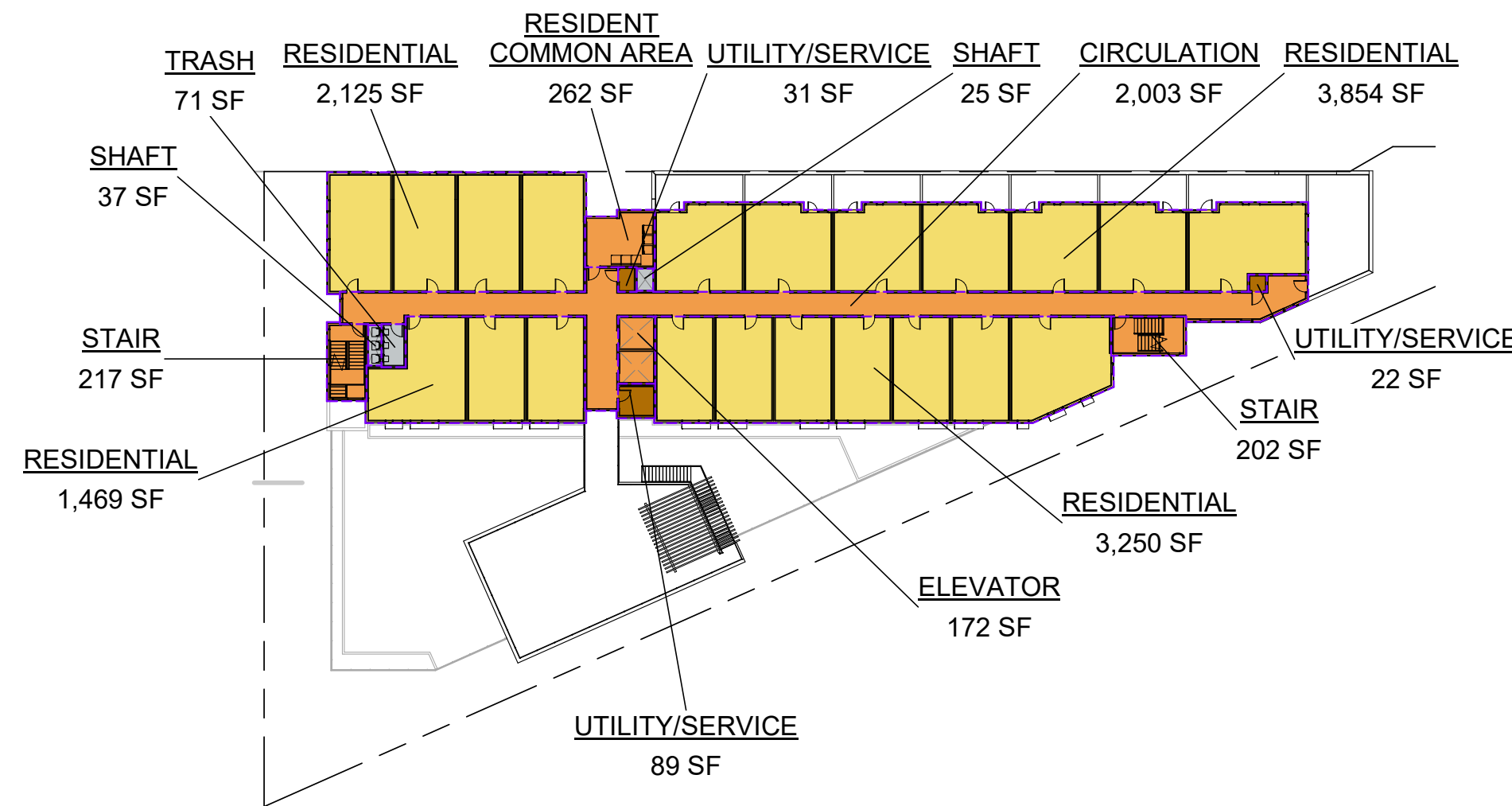
2/27/2023 7:57:41 PM



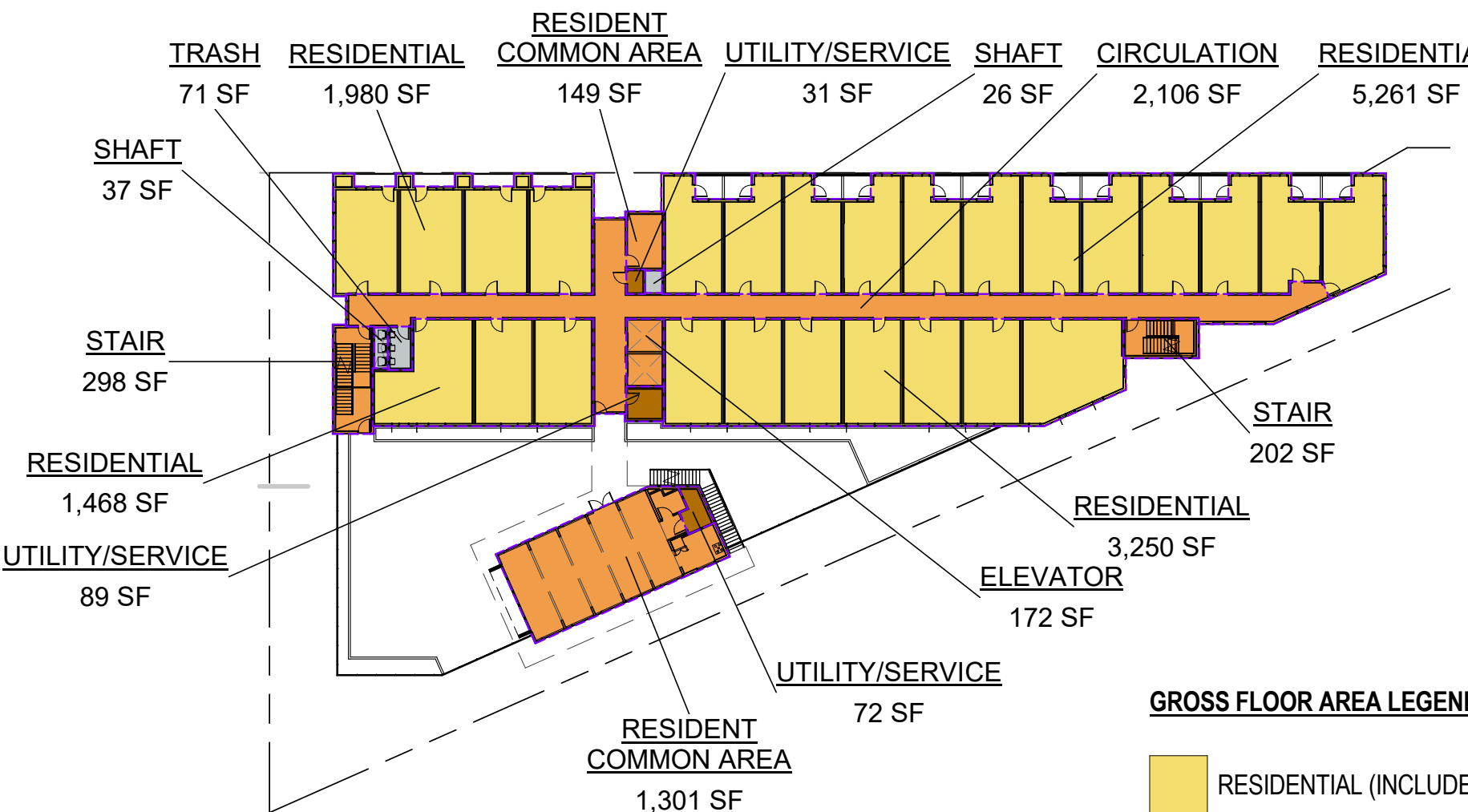
FLOOR PLAN - LEVEL 6  
1" = 40'-0" 6



FLOOR PLAN - LEVEL 3  
1" = 40'-0" 3



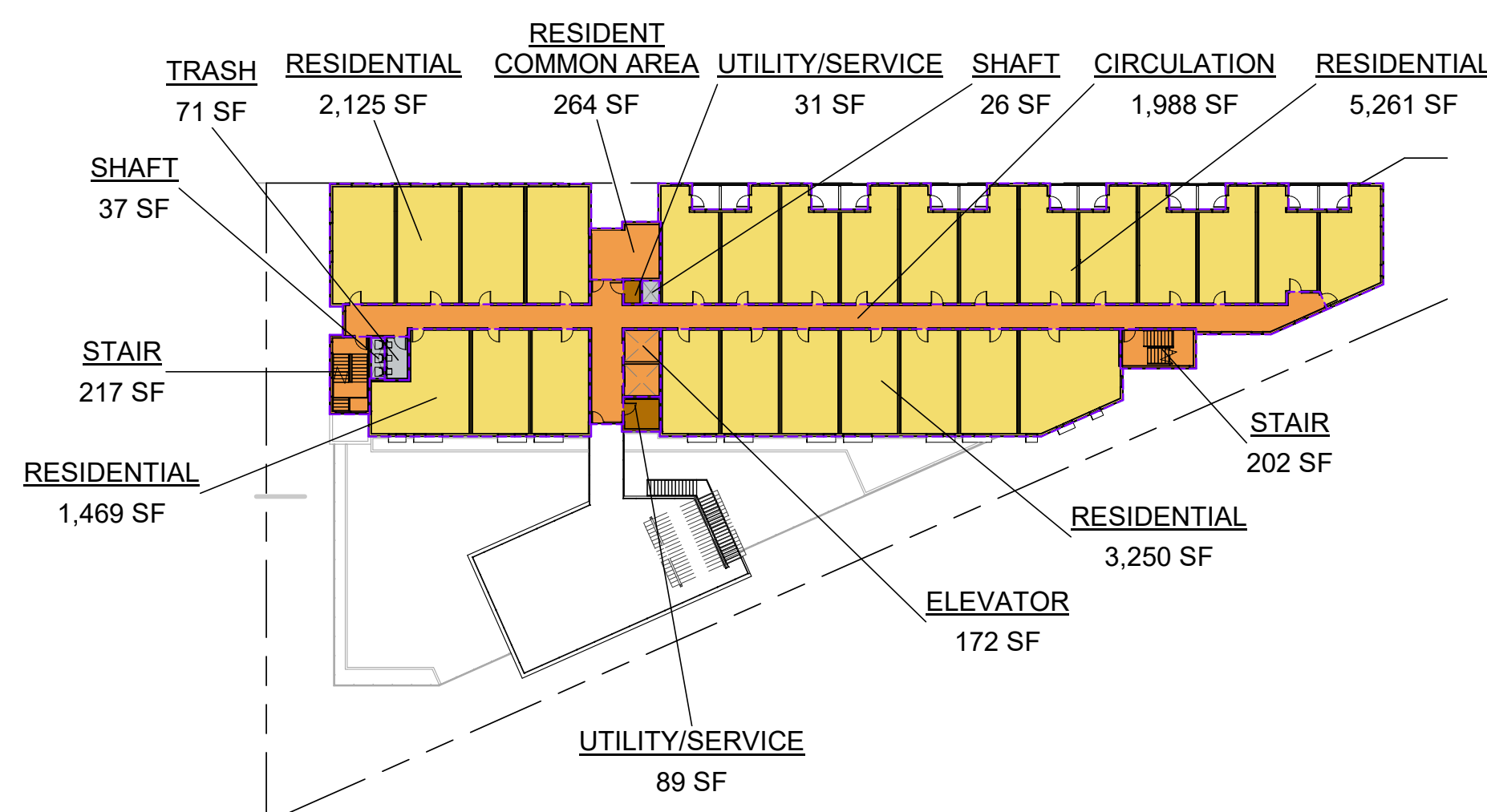
FLOOR PLAN - LEVEL 5  
1" = 40'-0" 5



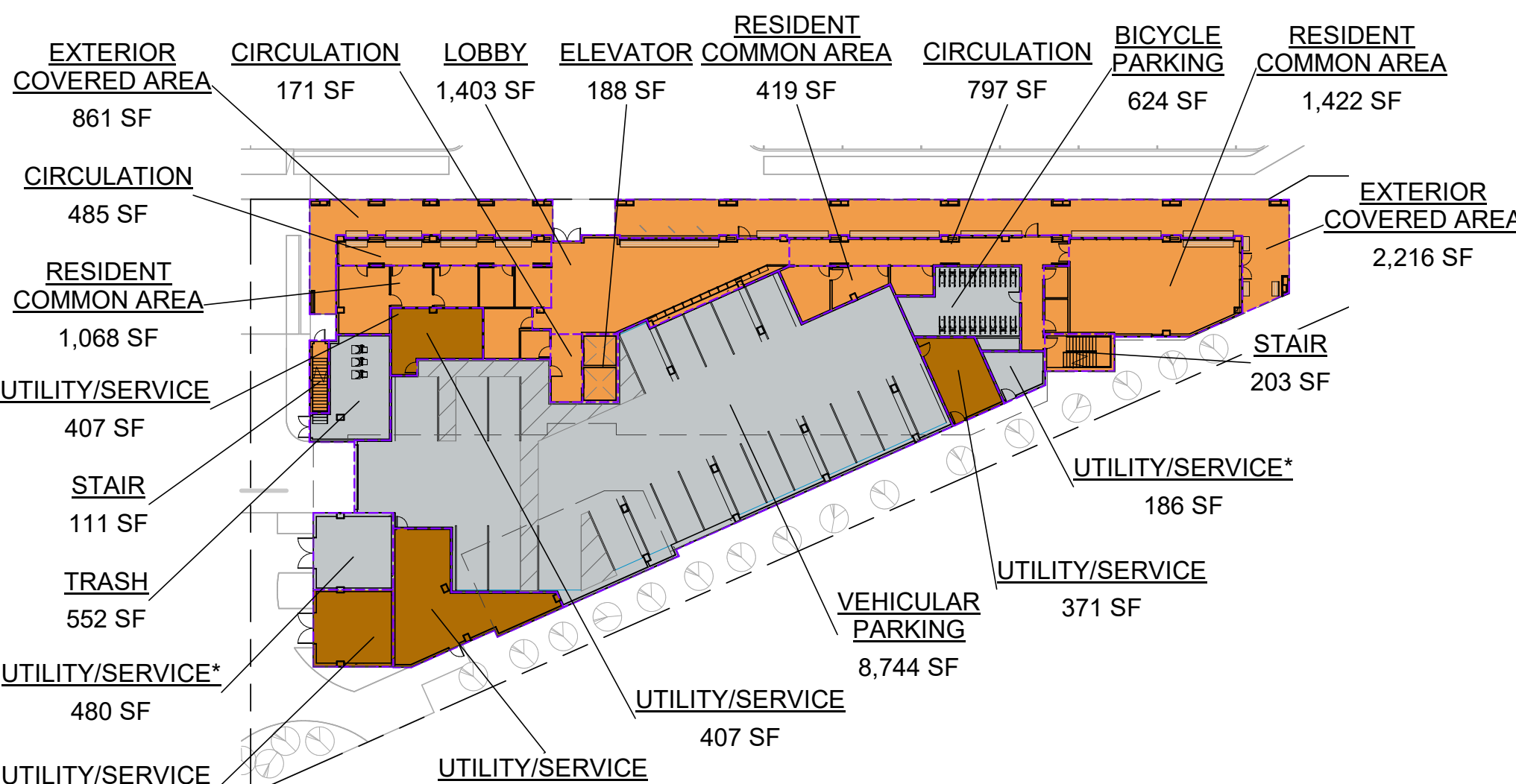
FLOOR PLAN - LEVEL 2  
1" = 40'-0" 2

**GROSS FLOOR AREA LEGEND**

- RESIDENTIAL (INCLUDED IN GFA)
- CIRCULATION / LOBBY / COMMON AREA (INCLUDED IN GFA)
- UTILITY / SERVICE (INCLUDED IN GFA)
- EXCLUDED FROM GFA



FLOOR PLAN - LEVEL 4  
1" = 40'-0" 4



FLOOR PLAN - LEVEL 1  
1" = 40'-0" 1

GROSS FLOOR AREA BY PROGRAM		
PROGRAM	AREA	ZONING CODE REFERENCE
BUILDING AREA EXCLUDED FROM GFA PER ZONING		
BICYCLE PARKING	624 SF	EXCLUDED PER 16.04.325(C)(3)
SHAFT	311 SF	EXCLUDED PER 16.04.325(C)(5)
TRASH	910 SF	EXCLUDED PER 16.04.325(C)(6)
UTILITY/SERVICE*	666 SF	EXCLUDED PER 16.04.325(C)(2)
VEHICULAR PARKING	8,744 SF	EXCLUDED PER 16.04.325(C)(3)
<b>BUILDING AREA EXCLUDED FROM GFA PER ZONING</b>	<b>11,255 SF</b>	

BUILDING AREA INCLUDED IN GFA PER ZONING		
CIRCULATION	11,278 SF	INCLUDED PER 16.04.325(A), 16.04.325(B)(4), & 16.04.325
ELEVATOR	1,047 SF	INCLUDED PER 16.04.325(B)(7)
EXTERIOR COVERED AREA	3,077 SF	INCLUDED PER 16.04.325(C)(4)
LOBBY	1,403 SF	INCLUDED PER 16.04.325(A)
RESIDENT COMMON AREA	5,410 SF	INCLUDED PER 16.04.325(A), 16.04.325(B)(4), & 16.04.325
RESIDENTIAL	57,845 SF	INCLUDED PER 16.04.325(A)
STAIR	2,490 SF	INCLUDED PER 16.04.325(B)(7)
UTILITY/SERVICE	2,880 SF	INCLUDED PER 16.04.325(A), 16.04.325(B)(4), & 16.04.325
<b>BUILDING AREA INCLUDED IN GFA PER ZONING</b>	<b>85,430 SF</b>	
<b>TOTAL BUILDING AREA</b>	<b>96,683 SF</b>	

GROSS FLOOR AREA	
NAME	AREA

BUILDING AREA EXCLUDED FROM GFA PER ZONING	
LEVEL 1	
BICYCLE PARKING	624 SF
TRASH	552 SF
UTILITY/SERVICE*	666 SF
VEHICULAR PARKING	8,744 SF
<b>LEVEL 1</b>	<b>10,585 SF</b>

LEVEL 2	
SHAFT	62 SF
TRASH	71 SF
<b>LEVEL 2</b>	<b>134 SF</b>

LEVEL 3	
SHAFT	62 SF
TRASH	71 SF
<b>LEVEL 3</b>	<b>134 SF</b>

LEVEL 4	
SHAFT	62 SF
TRASH	71 SF
<b>LEVEL 4</b>	<b>133 SF</b>

LEVEL 5	
SHAFT	62 SF
TRASH	71 SF
<b>LEVEL 5</b>	<b>133 SF</b>

LEVEL 6	
SHAFT	62 SF
TRASH	71 SF
<b>LEVEL 6</b>	<b>133 SF</b>

<b>BUILDING AREA EXCLUDED FROM GFA PER ZONING</b>	<b>11,253 SF</b>
---	------------------

**MENLO PARK ZONING CODE REQUIREMENTS**

16.04.325 (C): AREAS EXCLUDED FROM GROSS FLOOR AREAS (DEFINITION)

(2) AREAS OF A BUILDING OR BUILDINGS DEDICATED TO THE ENCLOSURE OF NOISE GENERATING EQUIPMENT, SUCH AS BUILDING MECHANICAL EQUIPMENT AND GENERATORS, NOT TO EXCEED ONE PERCENT (1%) OF THE MAXIMUM ALLOWED GROSS FLOOR AREA OF THE LOT. THIS EXCLUSION APPLIES TO EQUIPMENT UTILIZED FOR THE OPERATION OF THE BUILDING SYSTEMS AND DOES NOT APPLY TO EQUIPMENT UTILIZED IN CONNECTION WITH A BUSINESS OPERATING WITHIN A BUILDING;

(3) ALL AREAS DEVOTED TO COVERED PARKING AND RELATED CIRCULATION FOR AUTOMOBILES AND BICYCLES, INCLUDING GARAGES, CARPORTS, BELOW GRADE PARKING STRUCTURES, AND ABOVE GRADE PARKING STRUCTURES;

NOTE: UTILITY ROOMS IN P7 BUILDING WILL HAVE SOME SORT OF NOISE GENERATING EQUIPMENTS SUCH AS COOLERS. PER 16.04.325(C)(2) CODE, ONLY ONE PERCENT (1%) OF THE MAXIMUM ALLOWED GROSS FLOOR AREA OF THE LOT IS EXCLUDED FROM GFA.

TOTAL BUILDING AREA INCLUDED IN GFA = 82,355 SF

82,355 X 0.01 = 823 SF MAXIMUM AREA DEDICATED TO NOISE GENERATING EQUIPMENT ALLOWED TO BE EXCLUDED FROM GFA

NOISE GENERATING UTILITY/SERVICES EXCLUDED FROM GFA IN P7 = 669 SF < 823 SF

\* INCLUDED IN 1% GFA EXCLUSION

GROSS FLOOR AREA	
NAME	AREA

BUILDING AREA INCLUDED IN GFA PER ZONING	
LEVEL 1	
CIRCULATION	1,453 SF
ELEVATOR	188 SF
EXTERIOR COVERED AREA	3,077 SF
LOBBY	1,403 SF
RESIDENT COMMON AREA	2,909 SF
STAIR	314 SF
UTILITY/SERVICE	2,184 SF
<b>LEVEL 1</b>	<b>11,528 SF</b>

LEVEL 2	
CIRCULATION	2,106 SF
ELEVATOR	172 SF
RESIDENT COMMON AREA	1,450 SF
RESIDENTIAL	11,959 SF
STAIR	500 SF
UTILITY/SERVICE	192 SF
<b>LEVEL 2</b>	<b>16,379 SF</b>

LEVEL 3	
CIRCULATION	1,988 SF
ELEVATOR	172 SF
RESIDENT COMMON AREA	264 SF
RESIDENTIAL	12,099 SF
STAIR	419 SF
UTILITY/SERVICE	121 SF
<b>LEVEL 3</b>	<b>15,062 SF</b>

LEVEL 4	
CIRCULATION	1,988 SF
ELEVATOR	172 SF
RESIDENT COMMON AREA	264 SF
RESIDENTIAL	12,106 SF
STAIR	419 SF
UTILITY/SERVICE	121 SF
<b>LEVEL 4</b>	<b>15,068 SF</b>

LEVEL 5	
CIRCULATION	2,003 SF
ELEVATOR	172 SF
RESIDENT COMMON AREA	262 SF
RESIDENTIAL	10,699 SF
STAIR	419 SF
UTILITY/SERVICE	142 SF
<b>LEVEL 5</b>	<b>13,696 SF</b>

LEVEL 6	
CIRCULATION	1,740 SF
ELEVATOR	172 SF
RESIDENT COMMON AREA	262 SF
RESIDENTIAL	10,983 SF
STAIR	419 SF
UTILITY/SERVICE	121 SF
<b>LEVEL 6</b>	<b>13,696 SF</b>

<b>BUILDING AREA INCLUDED IN GFA PER ZONING</b>	<b>85,430 SF</b>
<b>TOTAL BUILDING AREA</b>	<b>96,683 SF</b>



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE  
Architectural Control Package - Parcel 7  
Menlo Park, CA

SCALE: 1" = 40'-0"  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

**MILESTONES**

DATE	ISSUE
04/28/2023	ACP

**REVISIONS**

NO.	DATE	ISSUE
-----	------	-------

DRAWING TITLE:  
SQUARE FOOTAGE PLANS

DRAWING NO:  
A9.04



R-MU BUILDING HEIGHT ANALYSIS							
Parcel 7							
Roofs w/ Different Heights	Average Natural Level (FASL)	New FFE (FASL)	Added Height (Nat. to FFE)	Roof Height (FFE. to roof)	Roof Height (Nat. to roof)	Footprint (SF)	Roof Height x Footprint
UPPER ROOF (WEST)	9.58	13.58	4.00	71.98	75.98	2,164	164,421
UPPER ROOF (EAST)				67.53	71.53	4,014	287,121
ROOF (MAIN ROOF)				63.25	67.25	7,775	522,869
LEVEL 5 (TERRACE)				46.50	50.50	1,860	93,930
LEVEL 5 (TRELLIS)				47.36	47.36	411	19,465
LEVEL 4 (PAVILION ROOF)				32.75	36.75	1,899	69,788
LOWER ROOF (STAIR)				22.92	26.92	80	2,154
LEVEL 2 (PODIUM)				12.42	16.42	4,674	76,747
TOTAL						22,877	1,236,495
				Weighted Average Height (ft)		54.05	
				Proposed Maximum Height (ft)		75.98	

**MENLO PARK ZONING CODE REQUIREMENTS**

**16.04.330:** HEIGHT OF STRUCTURE (DEFINITION)

EXCEPT AS OTHERWISE PROVIDED IN THIS CHAPTER, "HEIGHT OF STRUCTURE" MEANS THE VERTICAL DISTANCE FROM THE AVERAGE LEVEL OF THE HIGHEST AND LOWEST POINTS OF THE NATURAL GRADE OF THE PORTION OF THE LOT COVERED BY THE STRUCTURE TO THE TOPMOST POINT OF THE STRUCTURE, EXCLUDING ELEVATOR EQUIPMENT ROOMS, VENTILATING AND AIR CONDITIONING EQUIPMENT AND CHIMNEYS.

**16.45.050:** HEIGHT

"HEIGHT" IS DEFINED AS AVERAGE HEIGHT OF ALL BUILDINGS ON ONE SITE, WHERE A MAXIMUM HEIGHT CANNOT BE EXCEEDED. MAXIMUM HEIGHT DOES NOT INCLUDE ROOF-MOUNTED EQUIPMENT AND UTILITIES.

HEIGHT: 52.5 FEET

MAXIMUM HEIGHT: 70 FEET

A PARAPET USED TO SCREEN MECHANICAL EQUIPMENT IS NOT INCLUDED IN THE HEIGHT OR MAXIMUM HEIGHT. THE MAXIMUM ALLOWED HEIGHT FOR ROOFTOP MECHANICAL EQUIPMENT IS 14 FEET, EXCEPT FOR ELEVATOR TOWERS AND ASSOCIATED EQUIPMENT, WHICH MAY BE 20 FEET.

PROPERTIES WITHIN THE FLOOD ZONE OR SUBJECT TO FLOODING AND SEA LEVEL RISE ARE ALLOWED A 10-FOOT INCREASE IN HEIGHT AND MAXIMUM HEIGHT.

**PROPOSED DESIGN**

**MAXIMUM HEIGHT:**  
 ALLOWED PER ZONING CODE: 70' + 10' = 80'  
 PROPOSED DESIGN: 76.06' ABOVE NATURAL GRADE

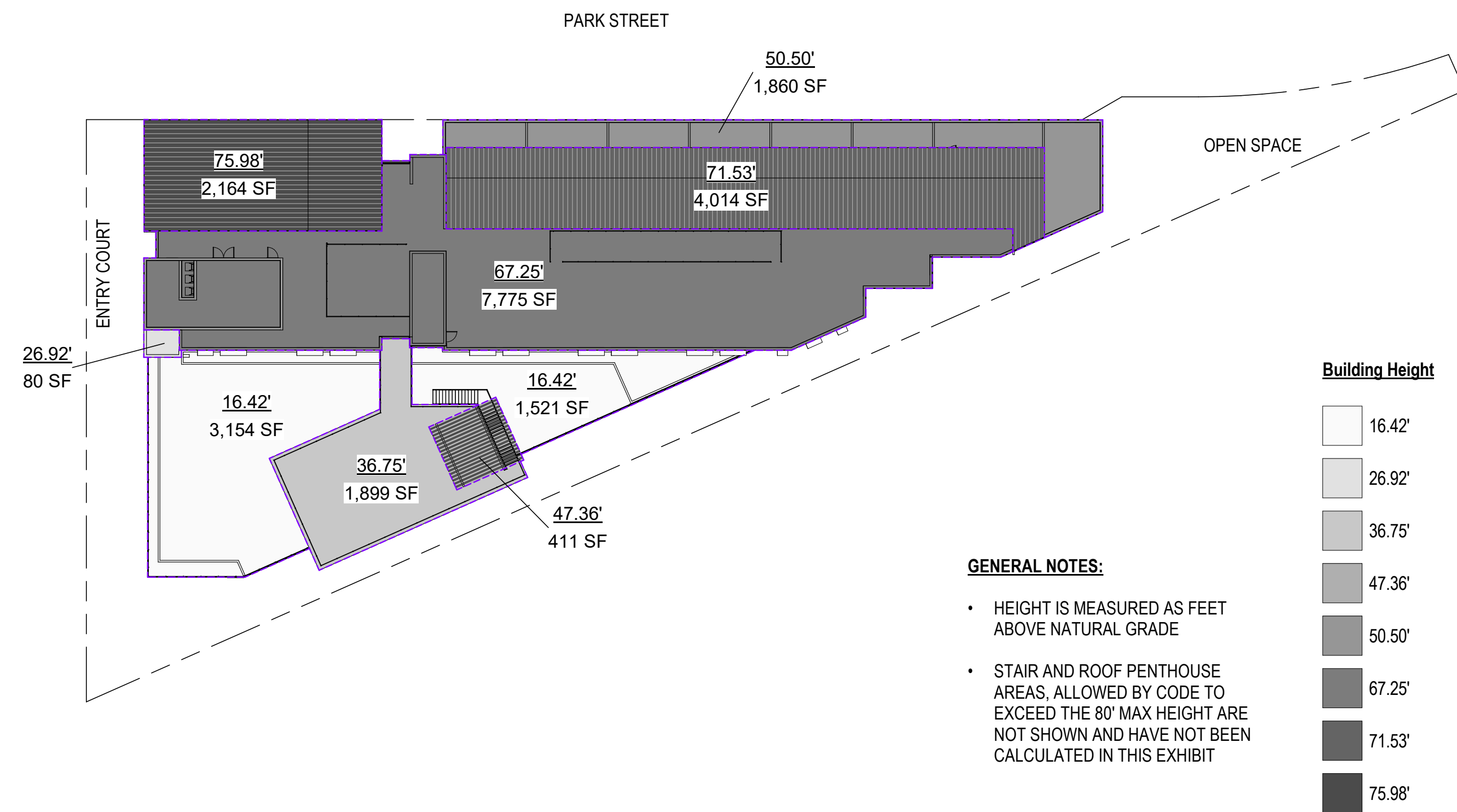
(SEE ELEVATION SHEETS AND PLAN DIAGRAM FOR MAXIMUM BUILDING HEIGHT DIMENSIONS)

**AVERAGE HEIGHT:**  
 ALLOWED PER ZONING CODE: 52.5' + 10' = 62.5'  
 PROPOSED DESIGN: 53.83' ABOVE NATURAL GRADE

(SEE PLAN DIAGRAM FOR ROOF AREAS AND HEIGHTS. SEE TABLE FOR AVERAGE HEIGHT CALCULATIONS.)

**NOTES:**  
 THIS PROJECT IS SUBJECT TO FLOODING AND SEA LEVEL RISE, AND THEREFORE QUALIFIES FOR THE 10-FOOT INCREASE IN HEIGHT AND MAXIMUM HEIGHT.

AVERAGE HEIGHT COMPLIANCE IS REGULATED AT A MASTERPLAN-WIDE LEVEL FOR WILLOW VILLAGE.



BUILDING HEIGHT ANALYSIS ①  
 1" = 30'-0"



WILLOW VILLAGE  
 Architectural Control Package - Parcel 7  
 Menlo Park, CA

SCALE: 1" = 30'-0"  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE DIMENSIONS ONLY, OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

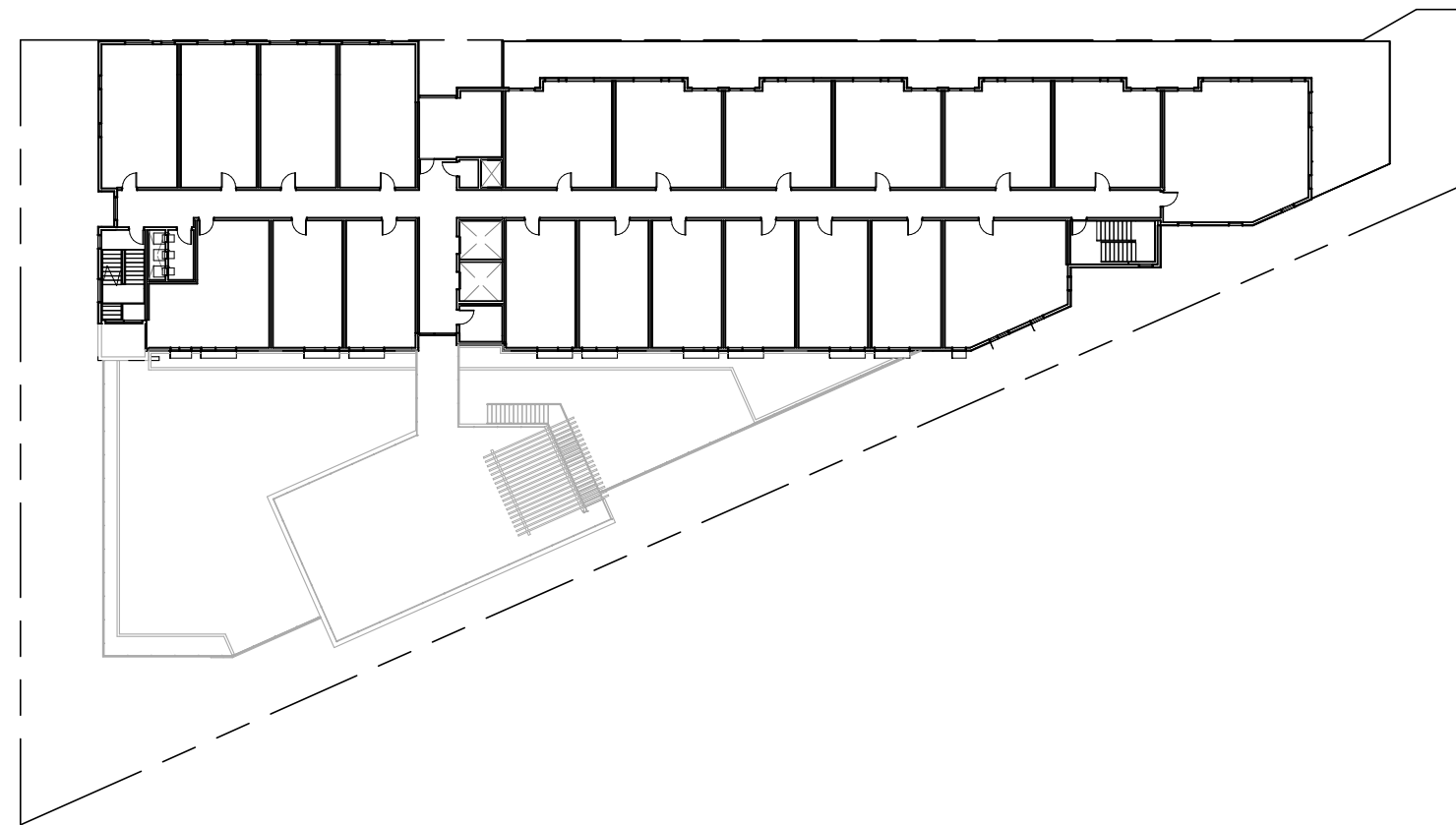
MILESTONES	
DATE	ISSUE
04/28/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

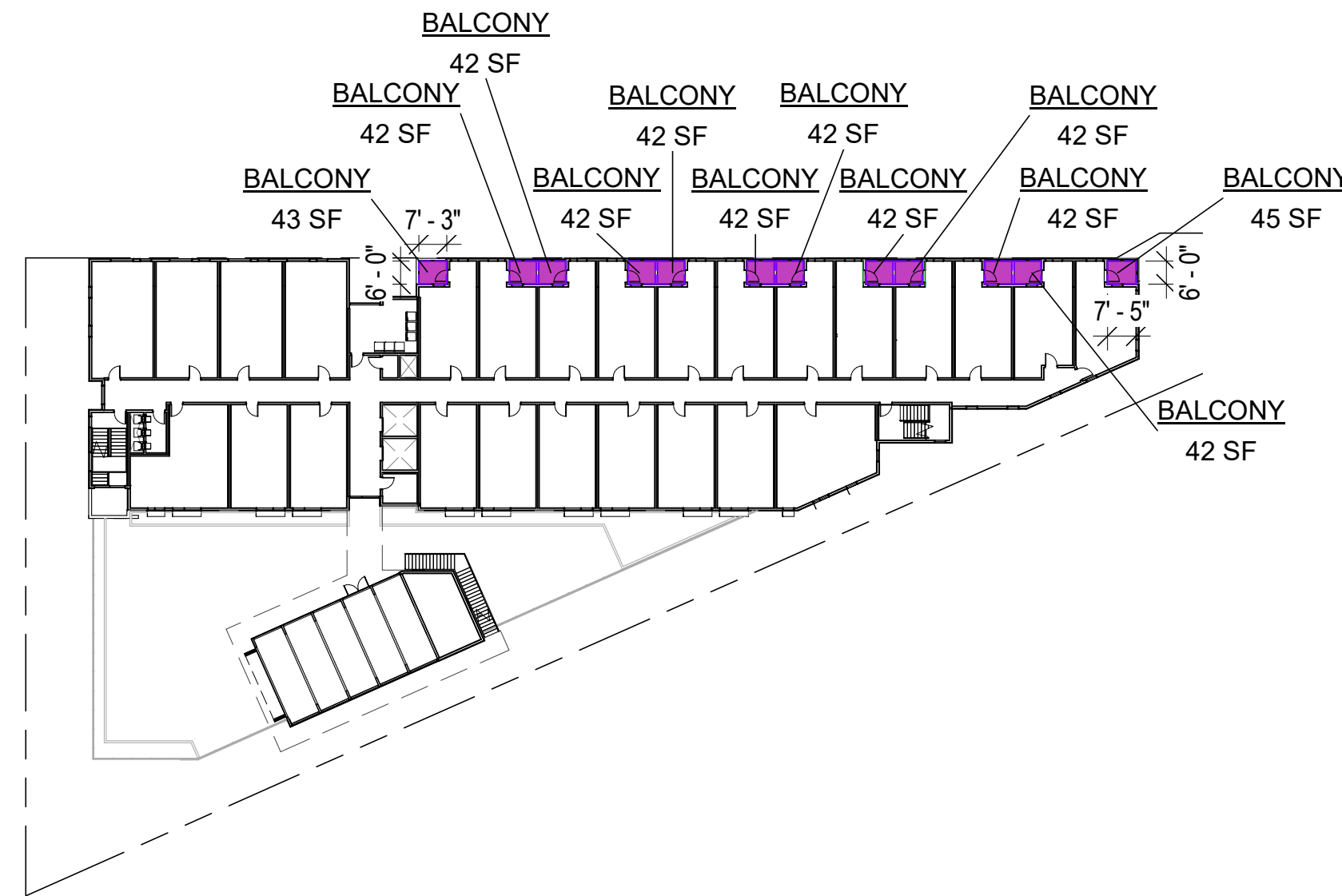
DRAWING TITLE:  
 BUILDING HEIGHT ANALYSIS PLAN

DRAWING NO:  
**A9.05**

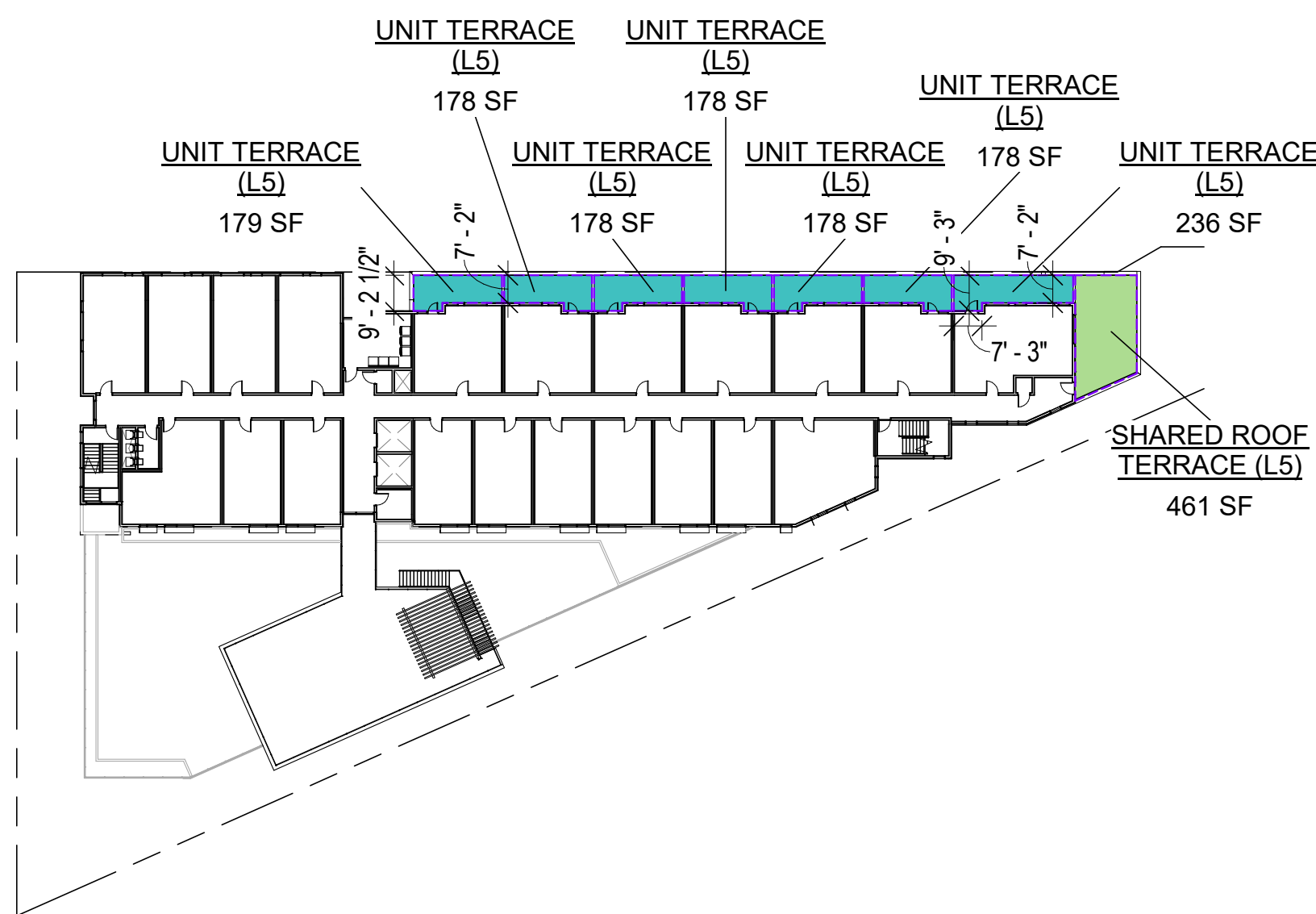




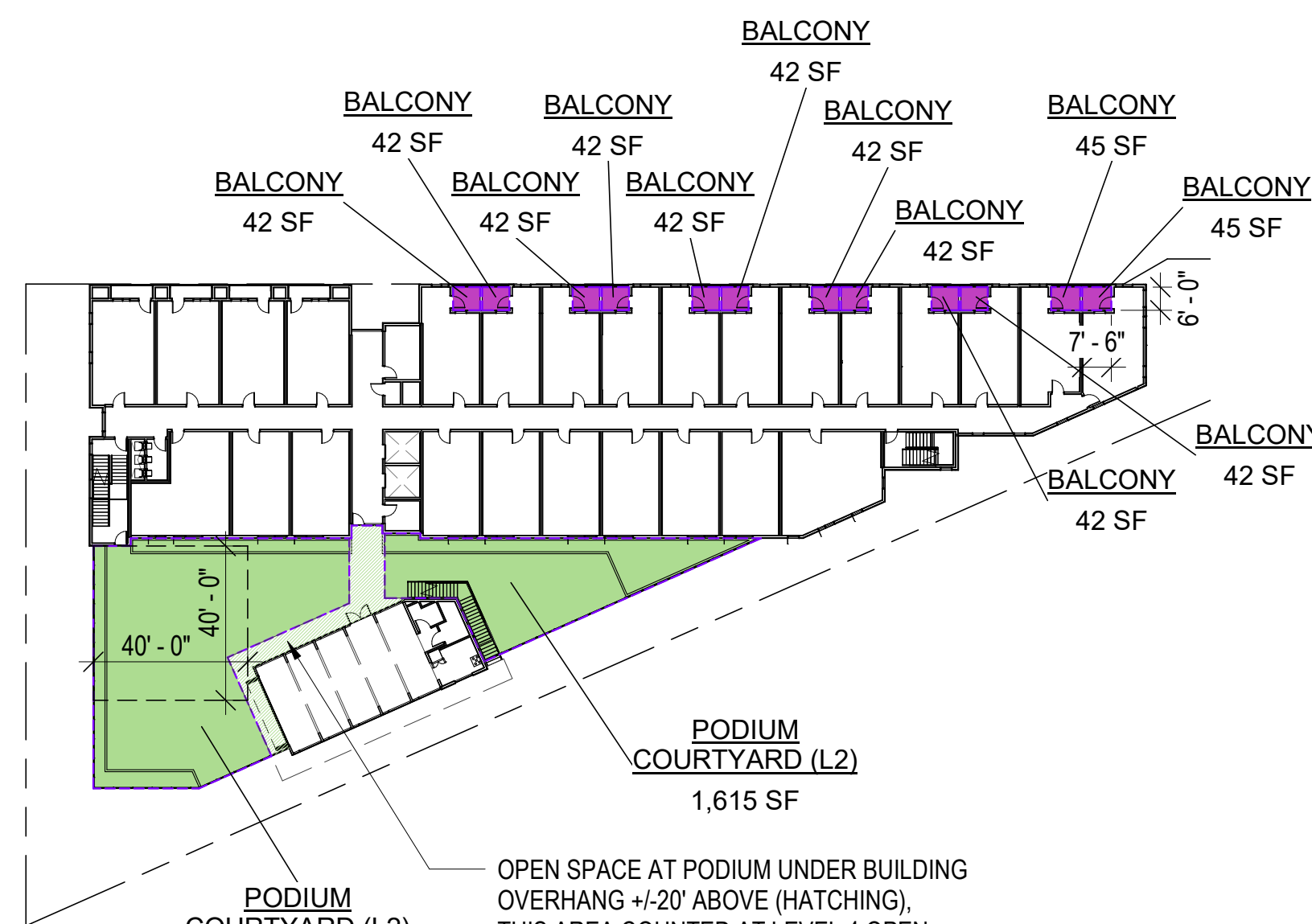
LEVEL 6  
1" = 40'-0" ⑥



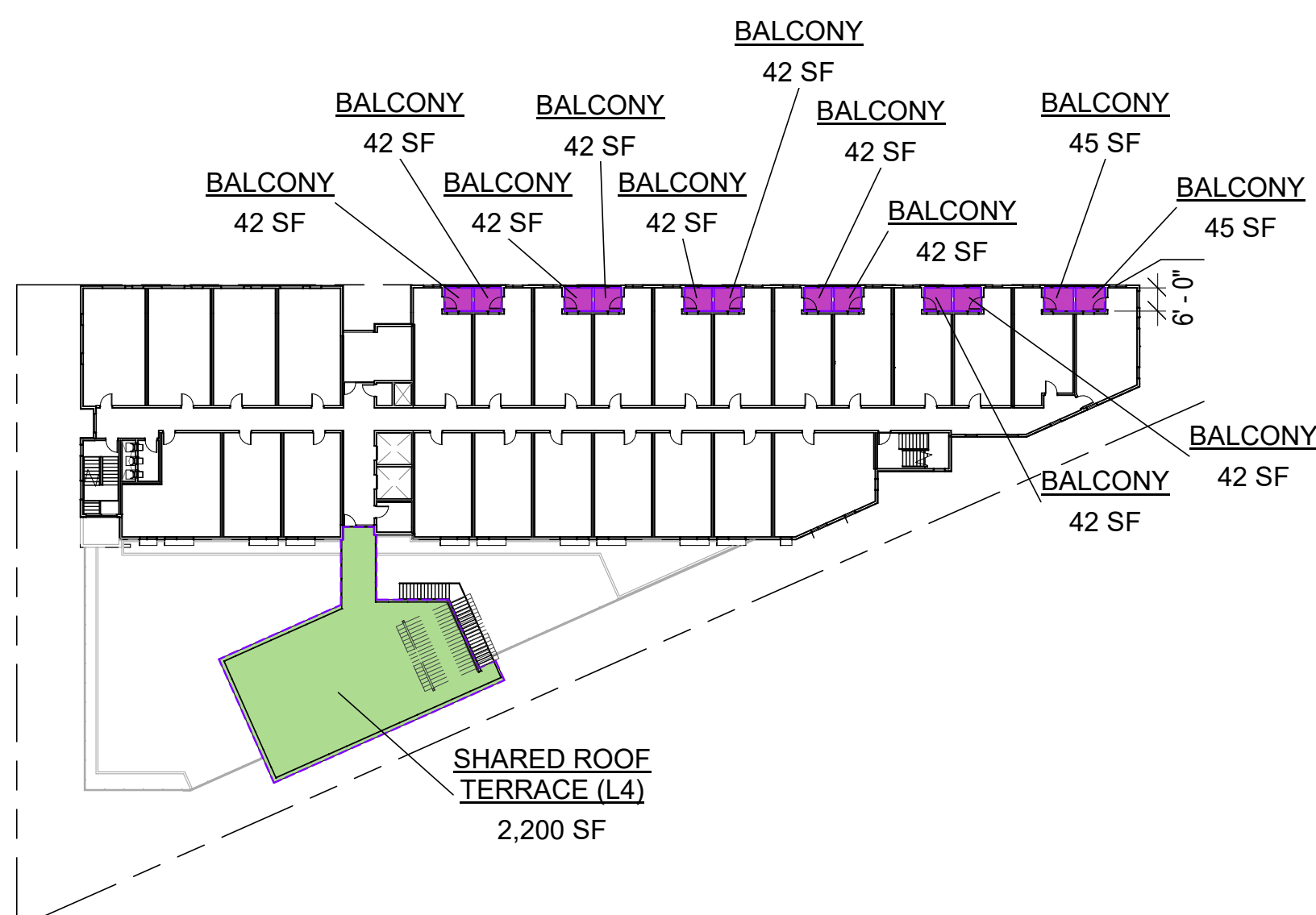
LEVEL 3  
1" = 40'-0" ③



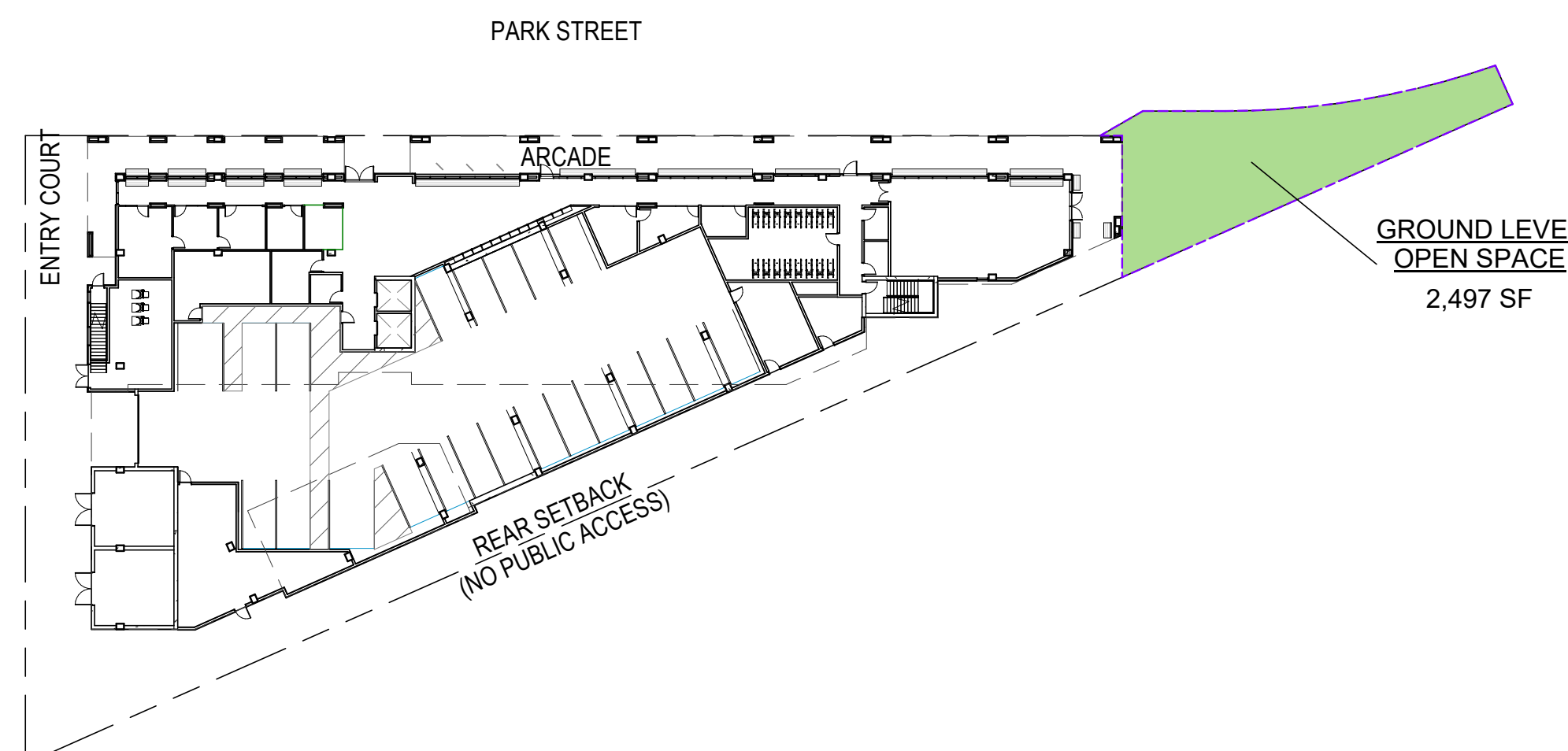
LEVEL 5  
1" = 40'-0" ⑤



LEVEL 2  
1" = 40'-0" ②



LEVEL 4  
1" = 40'-0" ④



LEVEL 1  
1" = 40'-0" ①

PARCEL 7 - OPEN SPACE AREA CALCS			
Name	Open Space Type	Open Space Location	Area
GROUND LEVEL OPEN SPACE	COMMON OPEN SPACE	LEVEL 1 GROUND	2,497 SF
GROUND LEVEL OPEN SPACE: 2			2,497 SF
PODIUM COURTYARD (L2)	COMMON OPEN SPACE	LEVEL 2	4,765 SF
PODIUM COURTYARD (L2): 2			4,765 SF
SHARED ROOF TERRACE (L4)	COMMON OPEN SPACE	LEVEL 4	2,200 SF
SHARED ROOF TERRACE (L4): 1			2,200 SF
SHARED ROOF TERRACE (L5)	COMMON OPEN SPACE	LEVEL 5	461 SF
SHARED ROOF TERRACE (L5): 1			461 SF
COMMON OPEN SPACE			9,923 SF
BALCONY	PRIVATE OPEN SPACE	LEVELS 2-4	1,534 SF
BALCONY: 36			1,534 SF
PRIVATE OPEN SPACE <80SF			1,534 SF
UNIT TERRACE (L5)	PRIVATE OPEN SPACE	LEVEL 5	1,303 SF
UNIT TERRACE (L5): 7			1,303 SF
PRIVATE OPEN SPACE >80SF			1,303 SF
Total Open Space			12,760 SF

PARCEL 7 OPEN SPACE ANALYSIS:

OPEN SPACE SUMMARY:

LOT AREA: 32,101 SF 100%

OPEN SPACE	AREA	% OF TOTAL AREA
PRIVATE OPEN SPACE	2,837 SF	9%
COMMON OPEN SPACE	9,923 SF	31%
<b>TOTAL</b>	<b>12,760 SF</b>	<b>40%</b>
<b>MINIMUM REQUIRED</b>		<b>25%</b>

PROVIDED PRIVATE OPEN SPACE	Unit Count	Area/Unit	Total Area
Units with 80SF or more Private Open Space:	7	Varies (>80SF)	1,303 SF
Units with less than 80SF Private Open Space:	113	Varies (<80SF)	1,534 SF
<b>Total:</b>	<b>120</b>		<b>2,837 SF</b>

PRIVATE & COMMON OPEN SPACE MIX:

MIN. REQUIRED PRIVATE OPEN SPACE FOR 113 UNITS:  
80 SF/UNIT \* 113 UNITS = 9,040 SF

MIN. AREA OF COMMON OPEN SPACE TO REPLACE (1) SF OF REQUIRED PRIVATE OPEN SPACE THAT IS NOT PROVIDED: 1.25 SF

9,040	SF (REQ. PRIVATE OPEN SPACE)
- 1,534	SF (PROVIDED PRIVATE OPEN SPACE)
7,506	SF (REQ. PRIVATE OPEN SPACE THAT IS NOT PROVIDED)
x 1.25	SF (RATIO OF REQ. COMMON OPEN SPACE TO PRIVATE)
<b>9,383</b>	<b>SF (MIN. REQUIRED COMMON OPEN SPACE)</b>
<b>9,923</b>	<b>SF (PROVIDED COMMON OPEN SPACE) &gt; 9,383 SF = COMPLIANT</b>

MENLO PARK ZONING CODE REQUIREMENTS

16.45.120 (4): OPEN SPACE

(C) RESIDENTIAL DEVELOPMENTS SHALL HAVE A MINIMUM OF COMMON OPEN SPACE AND PRIVATE OPEN SPACE. THESE REQUIREMENTS ARE COUNTED TOWARDS THE MINIMUM AMOUNT OF OPEN SPACE EQUAL TO TWENTY-FIVE PERCENT (25%) OF THE TOTAL LOT AREA.

(I) ONE HUNDRED (100) SQUARE FEET OF OPEN SPACE PER UNIT SHALL BE CREATED AS COMMON OPEN SPACE OR A MINIMUM OF EIGHTY (80) SQUARE FEET OF OPEN SPACE PER UNIT CREATED AS PRIVATE OPEN SPACE, WHERE PRIVATE OPEN SPACE SHALL HAVE A MINIMUM DIMENSION OF SIX (6) FEET BY SIX (6) FEET;

(II) IN THE CASE OF A MIX OF PRIVATE AND COMMON OPEN SPACE, SUCH COMMON OPEN SPACE SHALL BE PROVIDED AT A RATIO EQUAL TO ONE AND ONE-QUARTER (1.25) SQUARE FEET FOR EACH ONE (1) SQUARE FOOT OF PRIVATE OPEN SPACE THAT IS NOT PROVIDED.

(III) DEPENDING ON THE NUMBER OF DWELLING UNITS, COMMON OPEN SPACE SHALL BE PROVIDED TO MEET THE FOLLOWING CRITERIA:  
C. ONE HUNDRED ONE (101) OR MORE UNITS:  
MINIMUM OF ONE (1) SPACE, FORTY (40) FEET  
MINIMUM DIMENSION (ONE THOUSAND SIX HUNDRED (1,600) SQUARE FEET TOTAL, MINIMUM).

(D) ALL OPEN SPACES SHALL:

(I) INTERFACE WITH ADJACENT BUILDINGS VIA DIRECT CONNECTIONS THROUGH DOORS, WINDOWS, AND ENTRYWAYS;

(II) BE INTEGRATED AS PART OF BUILDING MODULATION AND ARTICULATION TO ENHANCE BUILDING FACADE AND SHOULD BE SITED AND DESIGNED TO BE APPROPRIATE FOR THE SIZE OF THE DEVELOPMENT AND ACCOMMODATE DIFFERENT ACTIVITIES, GROUPS AND BOTH ACTIVE AND PASSIVE USES;

(III) INCORPORATE LANDSCAPING DESIGN THAT INCLUDES:  
A. SUSTAINABLE STORMWATER FEATURES;  
B. A MINIMUM LANDSCAPING BED NO LESS THAN THREE (3) FEET IN LENGTH OR WIDTH AND FIVE (5) FEET IN DEPTH FOR INFILTRATION PLANTING;  
C. NATIVE SPECIES ABLE TO GROW TO THEIR MAXIMUM SIZE WITHOUT SHEARING.

(E) ALL EXTERIOR LANDSCAPING COUNTS TOWARDS OPEN SPACE REQUIREMENTS.

PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE  
Architectural Control Package - Parcel 7  
Menlo Park, CA

SCALE: 1" = 40'-0"

NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE REQUIRED DIMENSIONS ONLY. FOR SIZE CLARIFICATION FROM ARCHITECT FOR REQUIREMENTS THAT ARE NOT INDICATED.

MILESTONES

DATE	ISSUE
04/28/2023	ACP

REVISIONS

NO.	DATE	ISSUE

DRAWING TITLE:  
OPEN SPACE PLANS

DRAWING NO.:

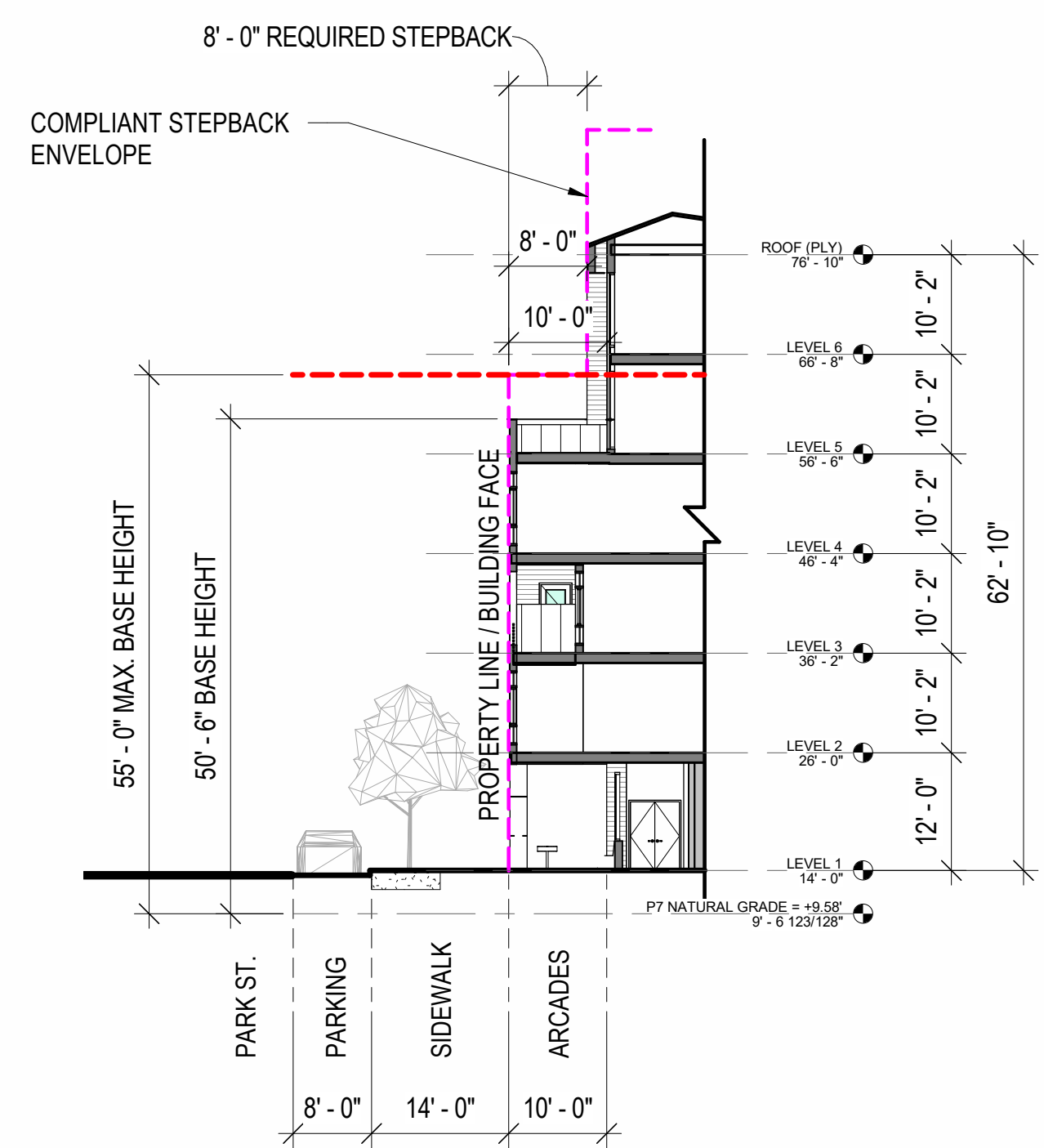
A9.06



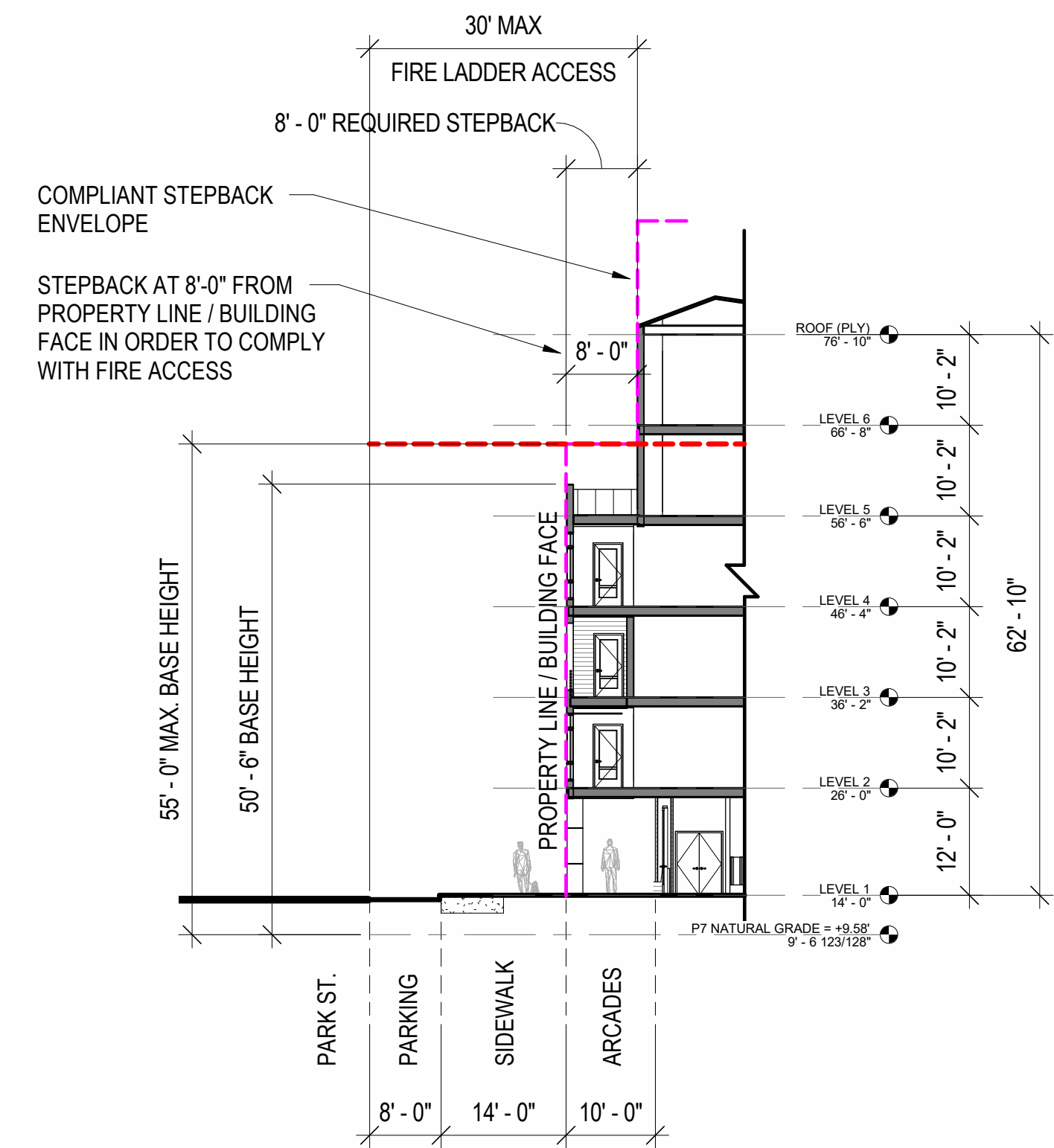
**MENLO PARK ZONING CODE REQUIREMENTS**

**16.45.120 (2): MINIMUM STEPBACK**  
 THE HORIZONTAL DISTANCE A BUILDING'S UPPER STORY(IES) MUST BE SET BACK ABOVE THE BASE HEIGHT.  
 10 FEET FOR A MINIMUM OF 75% OF THE BUILDING FACE ALONG PUBLIC STREET(S).  
 A MAXIMUM OF 25% OF THE BUILDING FACE ALONG PUBLIC STREET(S) MAY BE EXCEPTED FROM THIS STANDARD IN ORDER TO PROVIDE ARCHITECTURAL VARIATION.

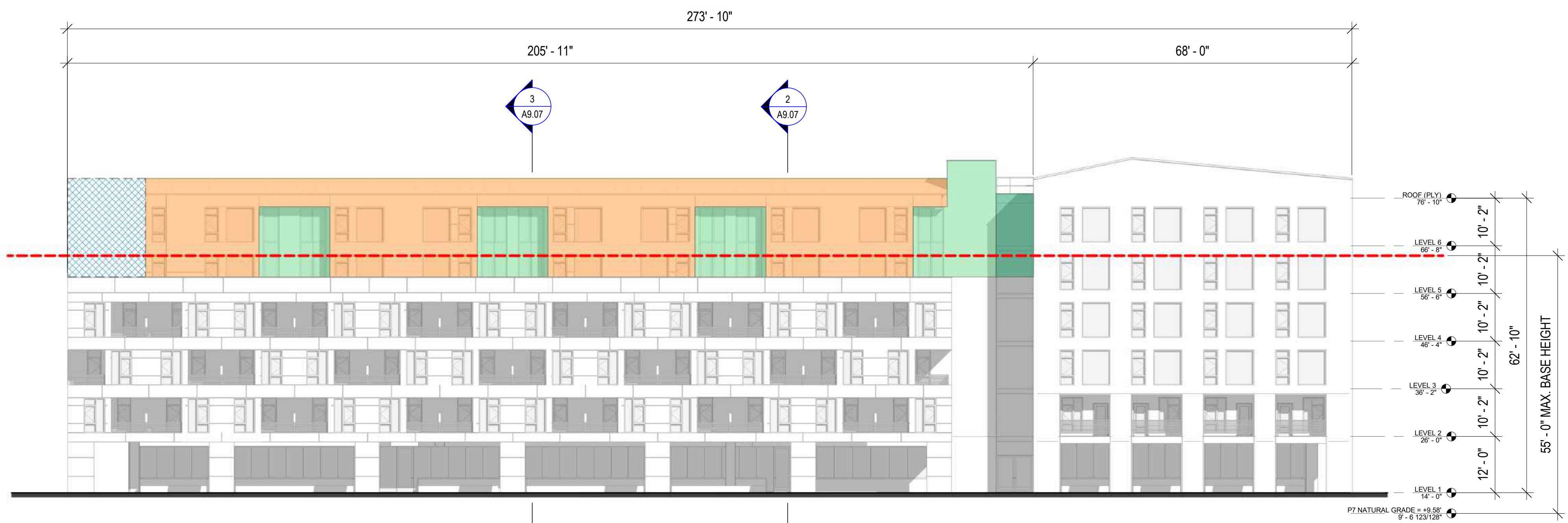
**NOTE:** PLEASE SEE APPENDIX SHEETS FOR MODIFICATIONS TO ZONING CODE RELATED TO STEPBACK REQUIREMENTS WHICH WERE APPROVED WITH THE CDP.



N-S SECTION - STEPBACK DIAGRAM 3  
 1/16" = 1'-0"



N-S SECTION - STEPBACK DIAGRAM 2  
 1/16" = 1'-0"



PARK STREET - NORTH BUILDING ELEVATION  
 NORTH ELEVATION - STEPBACK DIAGRAM 1  
 1/16" = 1'-0"

TOTAL FACADE LENGTH: 273'-10"  
 STEPBACK FACADE LENGTH: 205'-11"  
 $205'-11" / 273'-10" = 75.2\%$  (75% MIN. REQ.)

- < 10' STEPBACKS:**
- 8' STEPBACK
- > 10' STEPBACKS:**
- 10' STEPBACK
  - 13' STEPBACK
  - NO BUILDING MASS ABOVE BASE HEIGHT



PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 7  
 Menlo Park, CA

SCALE: 1/16" = 1'-0"  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
04/28/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:  
**STEPBACK DIAGRAMS**

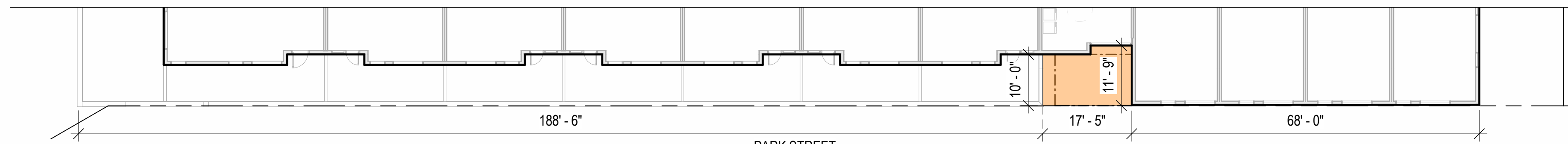
DRAWING NO:  
**A9.07**



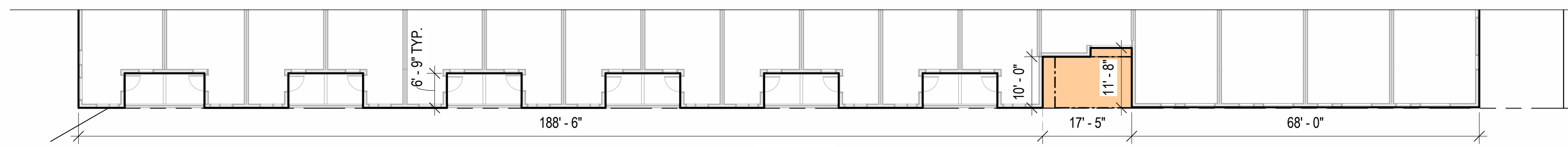


■ PROPOSED MAJOR BUILDING MODULATIONS  
□ REQUIRED MAJOR BUILDING MODULATION MIN. WIDTH 15'  
 NOTE: NO MINOR BUILDING MODULATION REQUIRED, PER APPROVED MODIFICATION

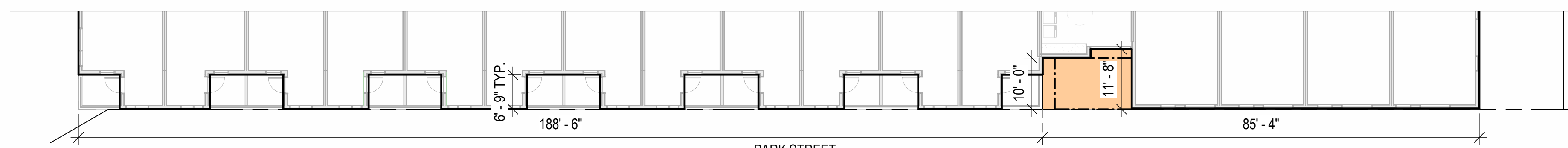
**NORTH ELEVATION - STEPBACK DIAGRAM** ⑥  
1/16" = 1'-0"



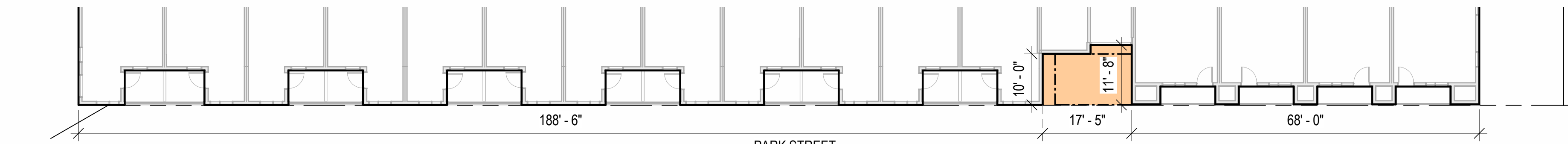
**LEVELS 5-6 - NORTH FACADE MODULATION DIAGRAM** ⑤  
1/16" = 1'-0"



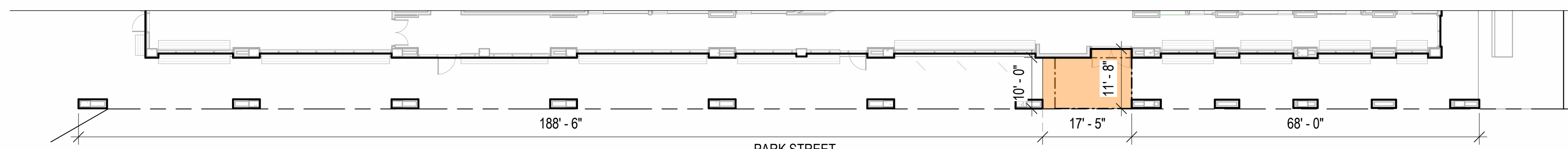
**LEVEL 4 - NORTH FACADE MODULATION DIAGRAM** ④  
1/16" = 1'-0"



**LEVEL 3 - NORTH FACADE MODULATION DIAGRAM** ③  
1/16" = 1'-0"



**LEVEL 2 - NORTH FACADE MODULATION DIAGRAM** ②  
1/16" = 1'-0"



**LEVEL 1 - NORTH FACADE MODULATION DIAGRAM** ①  
1/16" = 1'-0"

**MENLO PARK ZONING CODE REQUIREMENTS**

**16.45.120 (2): MAJOR BUILDING MODULATIONS**

A MAJOR MODULATION IS A BREAK IN THE BUILDING PLANE FROM THE GROUND LEVEL TO THE TOP OF THE BUILDING'S BASE HEIGHT THAT PROVIDES VISUAL VARIETY, REDUCES LARGE BUILDING VOLUMES, AND PROVIDES SPACES FOR ENTRYWAYS AND PUBLICLY ACCESSIBLE SPACES.

MINIMUM OF ONE RECESS OF 15 FEET WIDE BY 10 FEET DEEP PER 200 FEET OF FACADE LENGTH.

MODULATION IS REQUIRED ON THE BUILDING FACADE(S) FACING PUBLICLY ACCESSIBLE SPACES (STREETS, OPEN SPACE, AND PASEOS).

PARKING IS NOT ALLOWED IN THE MODULATION RECESS.

**16.45.120 (2): MINOR BUILDING MODULATIONS**

MINIMUM RECESS OF 5 FEET WIDE BY 5 FEET DEEP PER 50 FEET OF FACADE LENGTH.

MODULATION IS REQUIRED ON THE BUILDING FACADE(S) FACING PUBLICLY ACCESSIBLE SPACES (STREETS, OPEN SPACE, AND PASEOS).

PARKING IS NOT ALLOWED IN THE MODULATION RECESS.

BUILDING PROJECTIONS SPACED NO MORE THAN 50 FEET APART WITH A MINIMUM OF 3-FOOT DEPTH AND 5-FOOT WIDTH MAY SATISFY THIS REQUIREMENT IN LIEU OF A RECESS.

**NOTE:** PLEASE SEE APPENDIX SHEETS FOR MODIFICATIONS TO ZONING CODE RELATED TO MODULATION REQUIREMENTS WHICH WERE APPROVED WITH THE CDP.

**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 7  
 Peninsula Innovation Partners  
 Menlo Park, CA

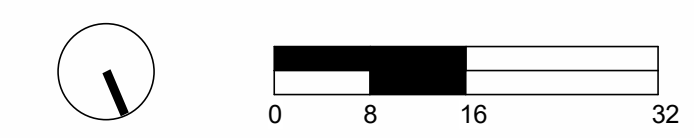
SCALE: 1/16" = 1'-0"  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
04/28/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:  
**MODULATION DIAGRAMS**

DRAWING NO:  
**A9.09**





**MENLO PARK ZONING CODE REQUIREMENTS**

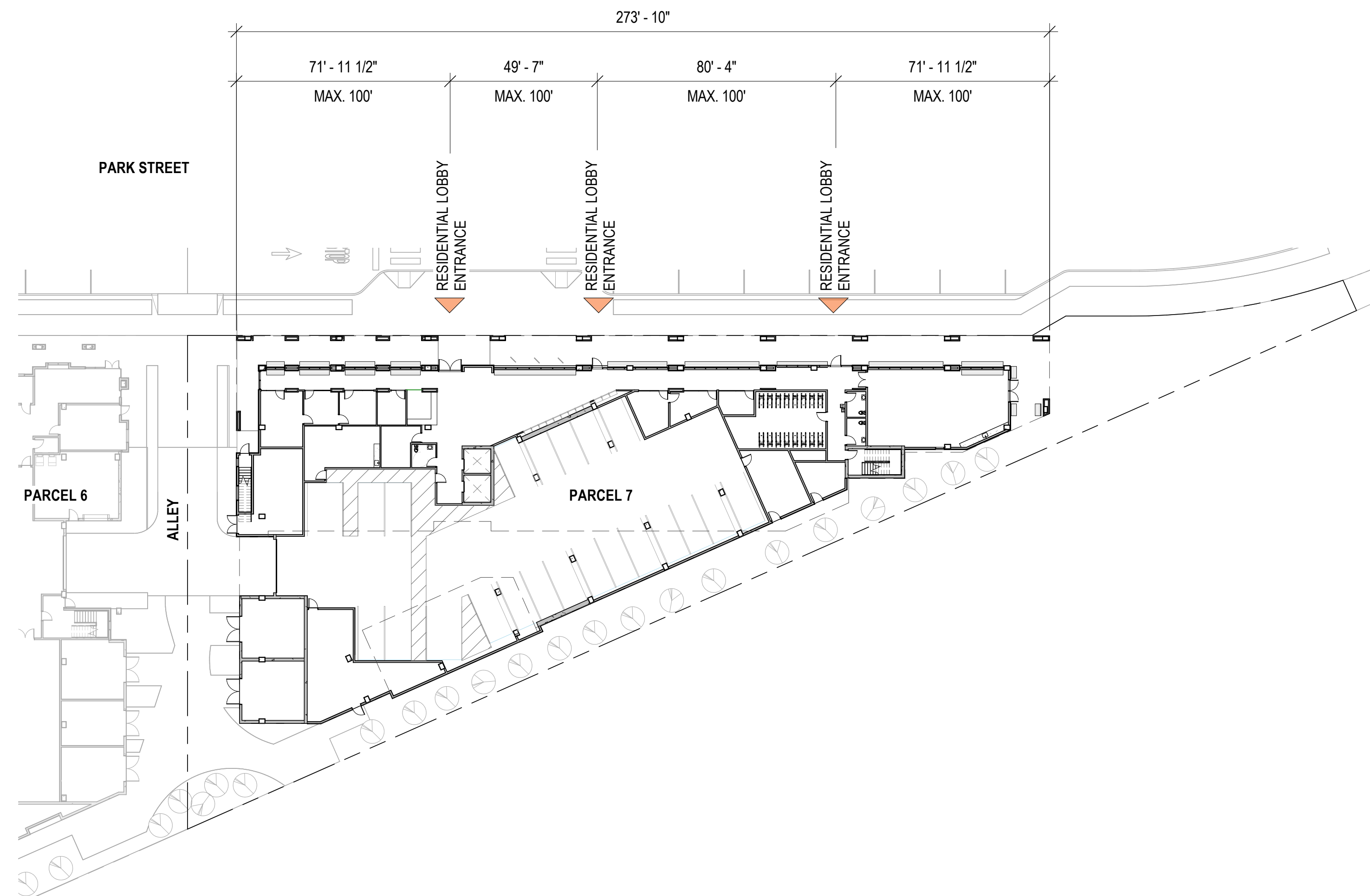
**16.45.12 (3): BUILDING ENTRANCES**

THE MINIMUM RATIO OF ENTRANCES TO BUILDING LENGTH ALONG A PUBLIC STREET OR PASEO.

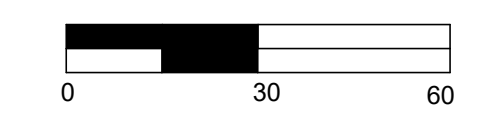
ONE ENTRANCE EVERY 100 FEET OF BUILDING LENGTH ALONG A PUBLIC STREET OR PASEO. A MINIMUM OF ONE IS REQUIRED ALONG EACH LENGTH.

ENTRANCES AT A BUILDING CORNER MAY BE USED TO SATISFY THIS REQUIREMENT FOR BOTH FRONTAGES.

STAIRS MUST BE LOCATED IN LOCATIONS CONVENIENT TO BUILDING USERS.



LEVEL 1 - BUILDING ENTRANCE DIAGRAM 1  
1" = 30'-0"



PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
Architectural Control Package - Parcel 7  
Menlo Park, CA

SCALE: 1" = 30'-0"  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY, OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
04/28/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:  
**BUILDING ENTRANCE DIAGRAM**

DRAWING NO:  
**A9.11**



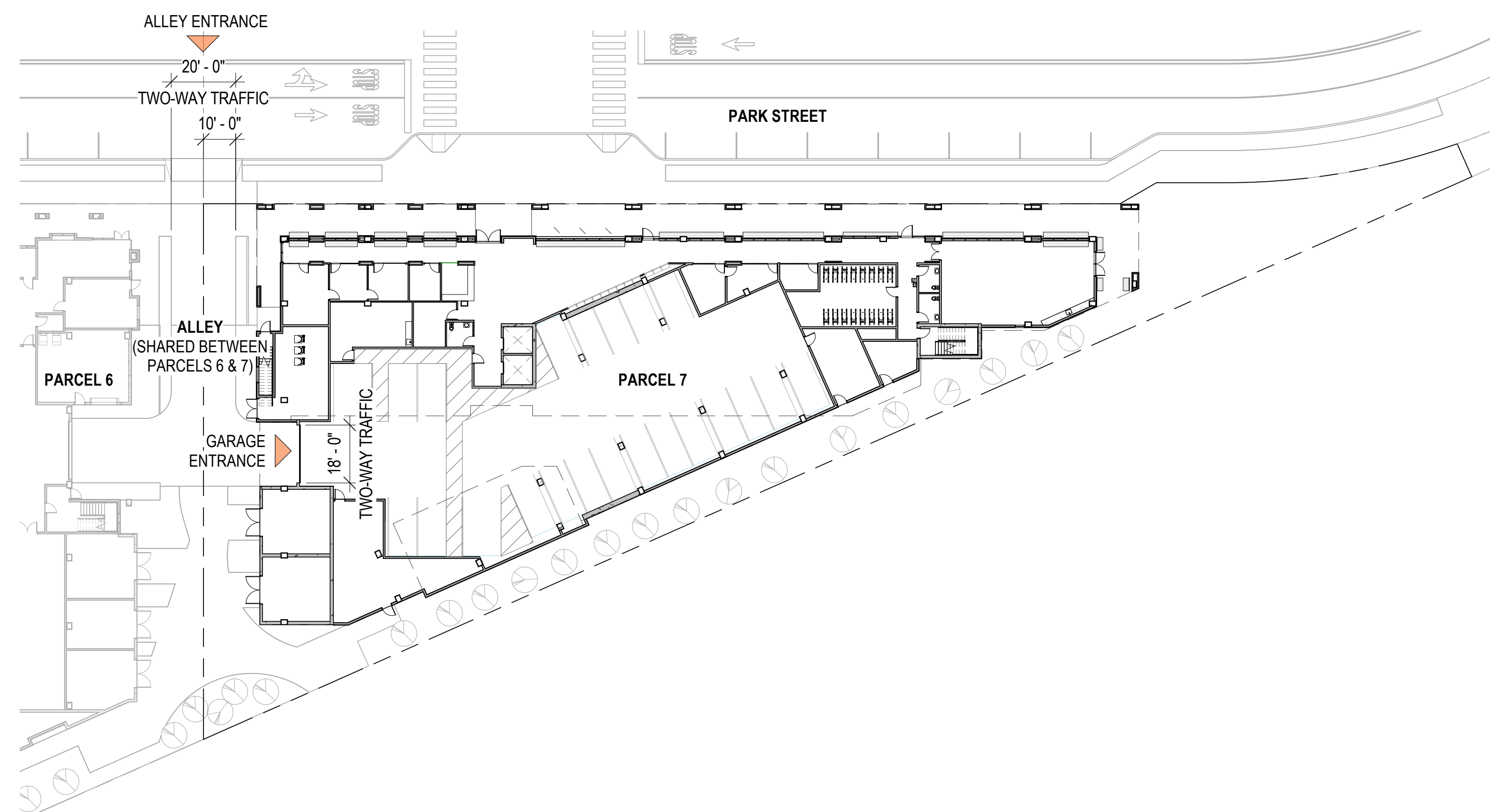
**MENLO PARK ZONING CODE REQUIREMENTS**

**16.45.12 (3): GARAGE ENTRANCES**

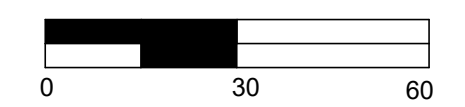
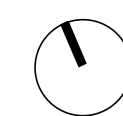
WIDTH OF GARAGE ENTRY/DOOR ALONG STREET FRONTAGE.

MAXIMUM 12-FOOT OPENING FOR ONE-WAY ENTRANCE; MAXIMUM 24-FOOT OPENING FOR TWO-WAY ENTRANCE

GARAGE ENTRANCES MUST BE SEPARATED BY A MINIMUM OF 100 FEET TO ENSURE ALL ENTRANCES/EXITS ARE NOT GROUPED TOGETHER OR RESULTING IN AN ENTIRE STRETCH OF SIDEWALK UNSAFE AND UNDESIRABLE FOR PEDESTRIANS.



LEVEL 1 - GARAGE ENTRANCE DIAGRAM 1  
1" = 30'-0"



PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
Architectural Control Package - Parcel 7  
Menlo Park, CA

SCALE: 1" = 30'-0"  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
04/28/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:  
**GARAGE ENTRANCE DIAGRAM**

DRAWING NO:  
**A9.12**



**MENLO PARK ZONING CODE REQUIREMENTS**

**16.45.12 (3): GROUND FLOOR TRANSPARENCY**

THE MINIMUM PERCENTAGE OF THE GROUND FLOOR FACADE (FINISHED FLOOR TO CEILING) THAT MUST PROVIDE VISUAL TRANSPARENCY, SUCH AS CLEAR-GLASS WINDOWS, DOORS, ETC.

30% FOR RESIDENTIAL USES; 50% FOR COMMERCIAL USES

WINDOWS SHALL NOT BE OPAQUE OR MIRRORRED. FOR THE PURPOSE OF THIS CHAPTER, "COMMERCIAL" IS DEFINED AS USES ENUMERATED IN THIS CHAPTER, EXCEPT OFFICE AND RESEARCH AND DEVELOPMENT.

PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 7  
 Menlo Park, CA

SCALE: 1/16" = 1'-0"  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE PROVIDED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
04/28/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

TOTAL GROUND FLOOR FAÇADE AREA: 2,868 SF  
 TRANSPARENT GROUND FLOOR FAÇADE AREA: 1,393 SF  
 1,393 / 2,868 = 48.5% (30% MIN. REQ.)

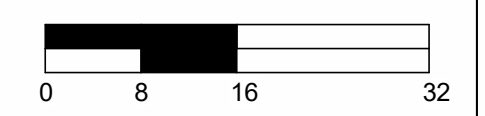
NOTE: ALL PORTIONS OF GROUND LEVEL STREET-FRONTING FAÇADE ARE RESIDENTIAL

GROUND FLOOR TRANSPARENCY LEGEND

- SOLID FAÇADE
- TRANSPARENT FAÇADE



NORTH ELEVATION - GROUND FLOOR TRANSPARENCY DIAGRAM 1  
 1/16" = 1'-0"



DRAWING TITLE:  
**GROUND FLOOR  
 TRANSPARENCY  
 DIAGRAM**

DRAWING NO:  
**A9.13**



**RESIDENTIAL CAR PARKING**

16.45.08: PARKING STANDARDS

RESIDENTIAL UNITS	MIN. SPACES	MAX. SPACES
	1 PER UNIT	1.5 PER UNIT

PROPOSED UNITS: 120    120 SPACES MIN.    180 SPACES MAX.

PARCEL 7 - RESIDENTIAL CAR PARKING	
TYPE	COUNT

**SPACES AT SURFACE LEVEL AT P7:**

ACCESSIBLE (18' x 9')	3
VAN ACCESSIBLE (18' x 12')	2
STANDARD (18' x 8'-6")	13
COMPACT (16' x 8'-6")	4
<b>TOTAL:</b>	<b>22</b>

**SPACES IN STACKERS AT P6:**

4-LEVEL STACKER SPACE	38
<b>TOTAL:</b>	<b>38</b>

**GRAND TOTAL: 60**

NOTE: 38 SPACES INCLUDED IN TABLE ABOVE ARE LOCATED AT PARCEL 6 AND ARE DESIGNATED FOR USE BY PARCEL 7 RESIDENTS.

NOTE: THE APPROVED CDP ALLOWS FOR 60 CAR PARKING SPACES, AND THE APPROVED ZONING ORDINANCE MODIFICATION #4 (SEE APPENDIX) ALLOWS FOR THE SHARING ARRANGEMENT WITH PARCEL 6 DESCRIBED ABOVE.

**RESIDENTIAL CAR PARKING - EVSE SPACES**

**MENLO PARK ZONING CODE REQUIREMENTS**

12.18.030 & 12.18.050: CALIFORNIA GREEN BUILDING STANDARDS CODE AMENDMENTS

FOR EACH DWELLING UNIT, INSTALLATION OF A LISTED RACEWAY AND WIRING TO ACCOMMODATE A 208/240-VOLT DEDICATED BRANCH CIRCUIT.

FOR 100 PERCENT BELOW MARKET RATE HOUSING DEVELOPMENTS, EVSE SHALL BE PROVIDED FOR A MINIMUM OF 10 PERCENT OF THE TOTAL NUMBER OF DWELLING UNITS.

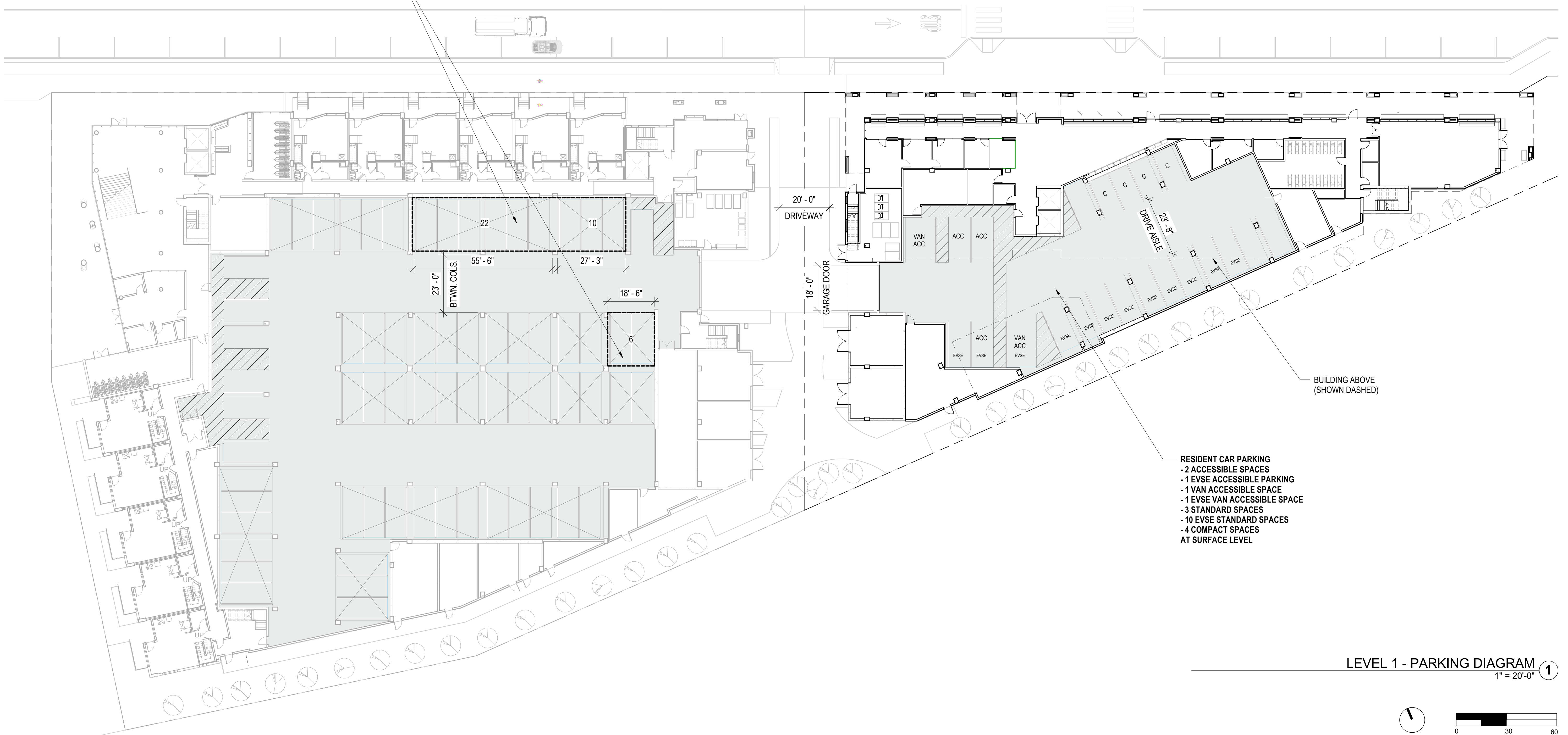
CALCULATIONS FOR THE REQUIRED NUMBER OF EV SPACES SHALL BE ROUNDED UP TO THE NEAREST WHOLE NUMBER.

RESIDENTIAL UNITS    EVSE CALC.    REQ. EVSE SPACES

120                      120 \* 10% = 12            **12 REQ. EVSE SPACES**

12 EVSE SPACES PROVIDED (INCLUDING 1 VAN ACCESSIBLE AND 1 STANDARD ACCESSIBLE). REMAINING 48 SPACES PROVIDED WITH RACEWAY AND WIRING PER 12.18.50.

38 TOTAL SPACES IN P6 GARAGE DESIGNATED FOR EXCLUSIVE USE OF P7 RESIDENTS  
4-LEVEL PUZZLE LIFTS + PITS  
(4-HIGH 01/A9.14B LIFT TYPE)



**LEVEL 1 - PARKING DIAGRAM** ①  
1" = 20'-0"



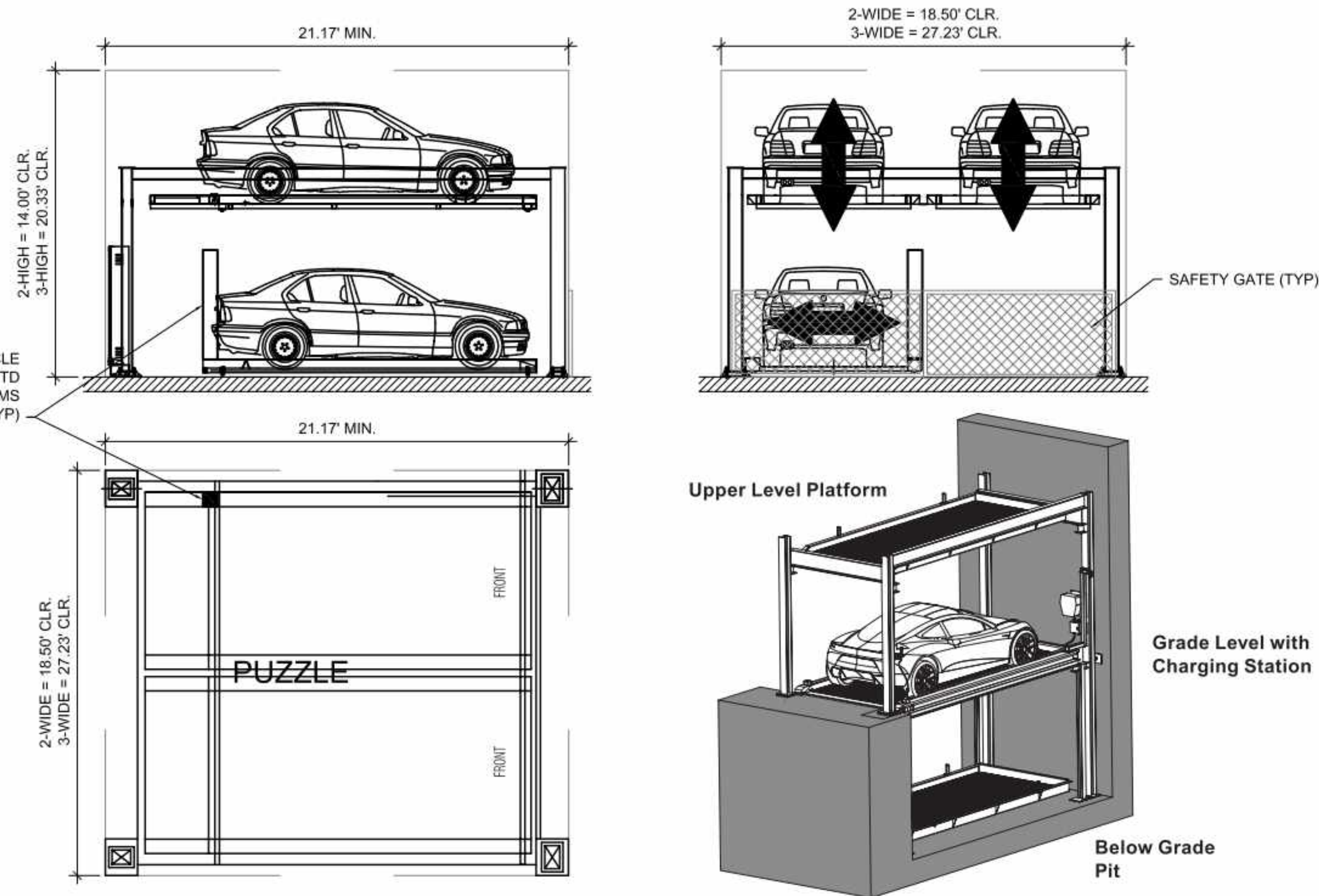
SCALE: 1" = 20'-0"  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE PROVIDED DIMENSIONS ONLY, OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
04/28/2023	ACP

REVISIONS		
NO.	DATE	ISSUE



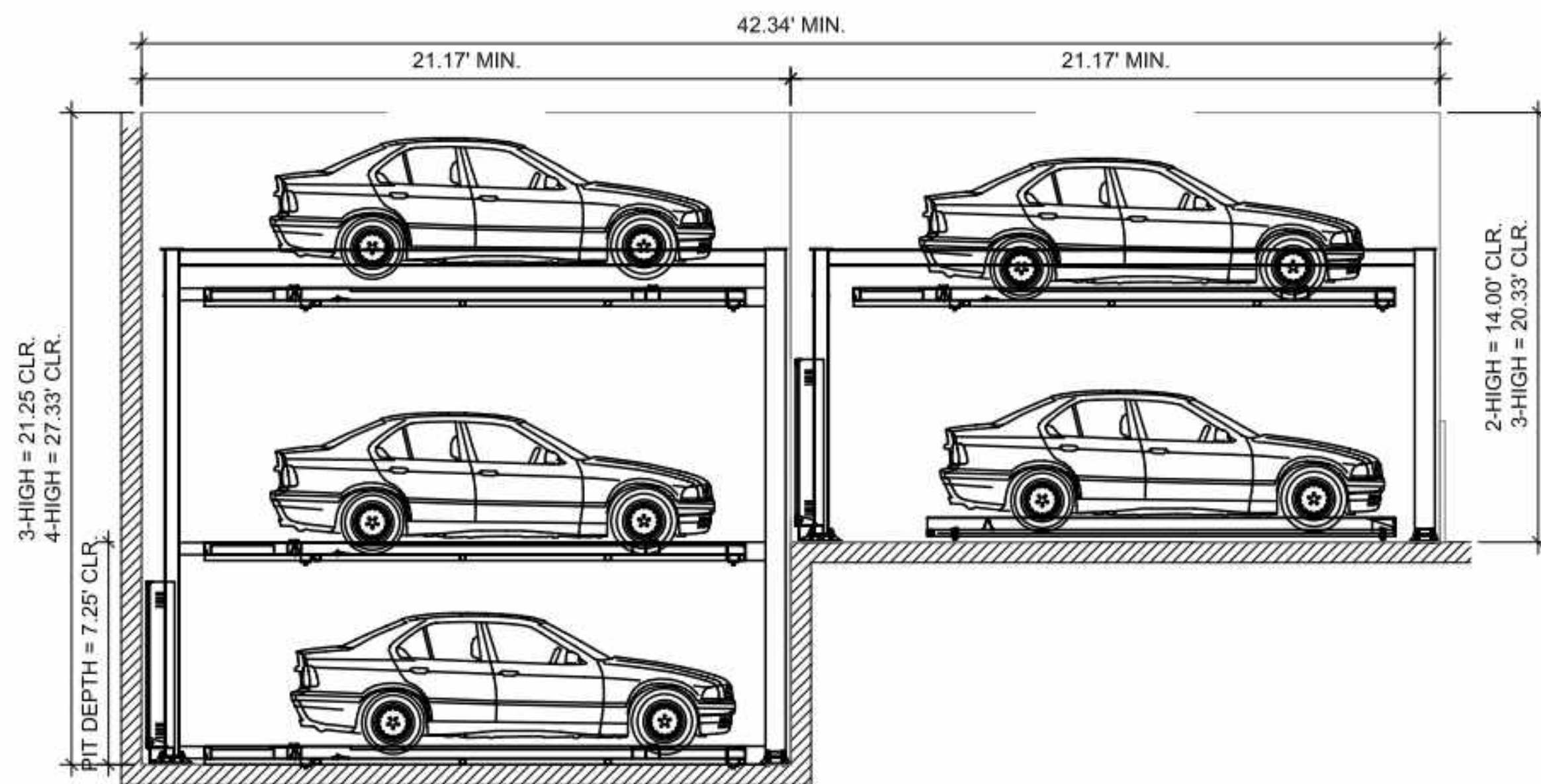
INTEGRATED ELECTRICAL VEHICLE CHARGING STATION (EVCS) MTD TO POST OF GRADE LEVEL PLATFORMS & TRAVELS WITH PLATFORMS (TYP)



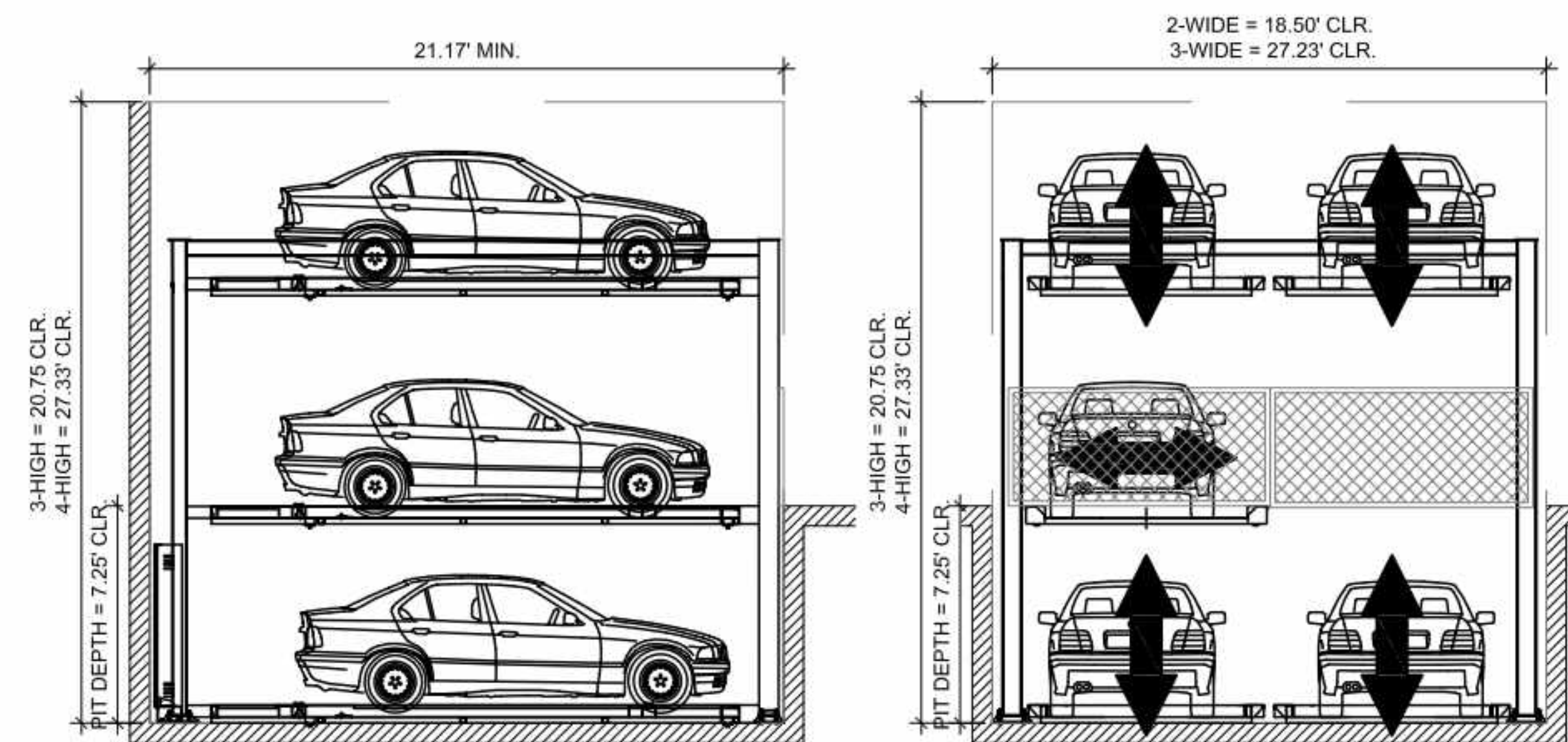
03 **PUZZLE PARKING DETAIL**  
SCALE: 1/4" = 1'-0"

GENERAL OPERATIONAL NOTES:

1. SELF-PARKING SYSTEM
2. EACH MODULE REQUIRES EMPTY STACK TO ALLOW FOR SHIFTING OF PLATFORMS DURING STORAGE AND RETRIEVAL OPERATION
3. SYSTEM SUPPLIED WITH SAFETY GATES, SAFETY INTERLOCK DEVICES AND SENSORS FOR SAFE OPERATION
4. TYPICAL VEHICLE STORAGE OPERATION:
  - 4.1. USER REQUESTS PLATFORM VIA KEY PAD, RFID, REMOTE CONTROL OR MOBILE APP
  - 4.2. SYSTEM SHIFTS PLATFORMS VERTICAL & HORIZONTAL AS REQUIRED TO PRESENT REQUESTED PLATFORM AT GRADE LEVEL
  - 4.3. SAFETY GATE OPENS WHEN PLATFORM IS IN POSITION
  - 4.4. DRIVER MOVES VEHICLE ONTO PLATFORM, ENGAGES BRAKE AND SHUTS OFF VEHICLE
  - 4.5. DRIVER EXITS VEHICLE AND ENTERS COMMANDS VIA KEY PAD, RFID, REMOTE CONTROL OR MOBILE APP
  - 4.6. SAFETY GATE CLOSES
  - 4.7. NEWLY LOADED PLATFORM SHIFTS INTO SPECIFIED STORAGE POSITION
5. TYPICAL VEHICLE RETRIEVAL OPERATION:
  - 5.1. USER REQUESTS PLATFORM/VEHICLE VIA KEY PAD, RFID, REMOTE CONTROL OR MOBILE APP
  - 5.2. SYSTEM SHIFTS PLATFORMS VERTICAL & HORIZONTAL AS REQUIRED TO PRESENT REQUESTED PLATFORM AT GRADE LEVEL
  - 5.3. SAFETY GATE OPENS WHEN PLATFORM IS IN POSITION
  - 5.4. DRIVER MOVES VEHICLE OFF OF PLATFORM
  - 5.5. SAFETY GATE CLOSES
  - 5.6. SYSTEMS RETURNS TO NEUTRAL



02 **TANDEM PUZZLE PARKING**  
SCALE: 1/4" = 1'-0"



01 **PUZZLE PARKING w/PIT DETAIL**  
SCALE: 1/4" = 1'-0"

**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 7  
 Menlo Park, CA  
 PENINSULA INNOVATION PARTNERS

NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEE CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES

DATE	ISSUE
04/28/2023	ACP

REVISIONS

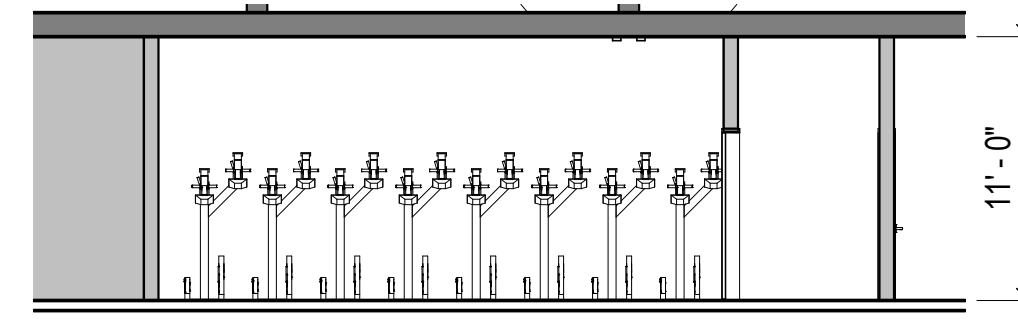
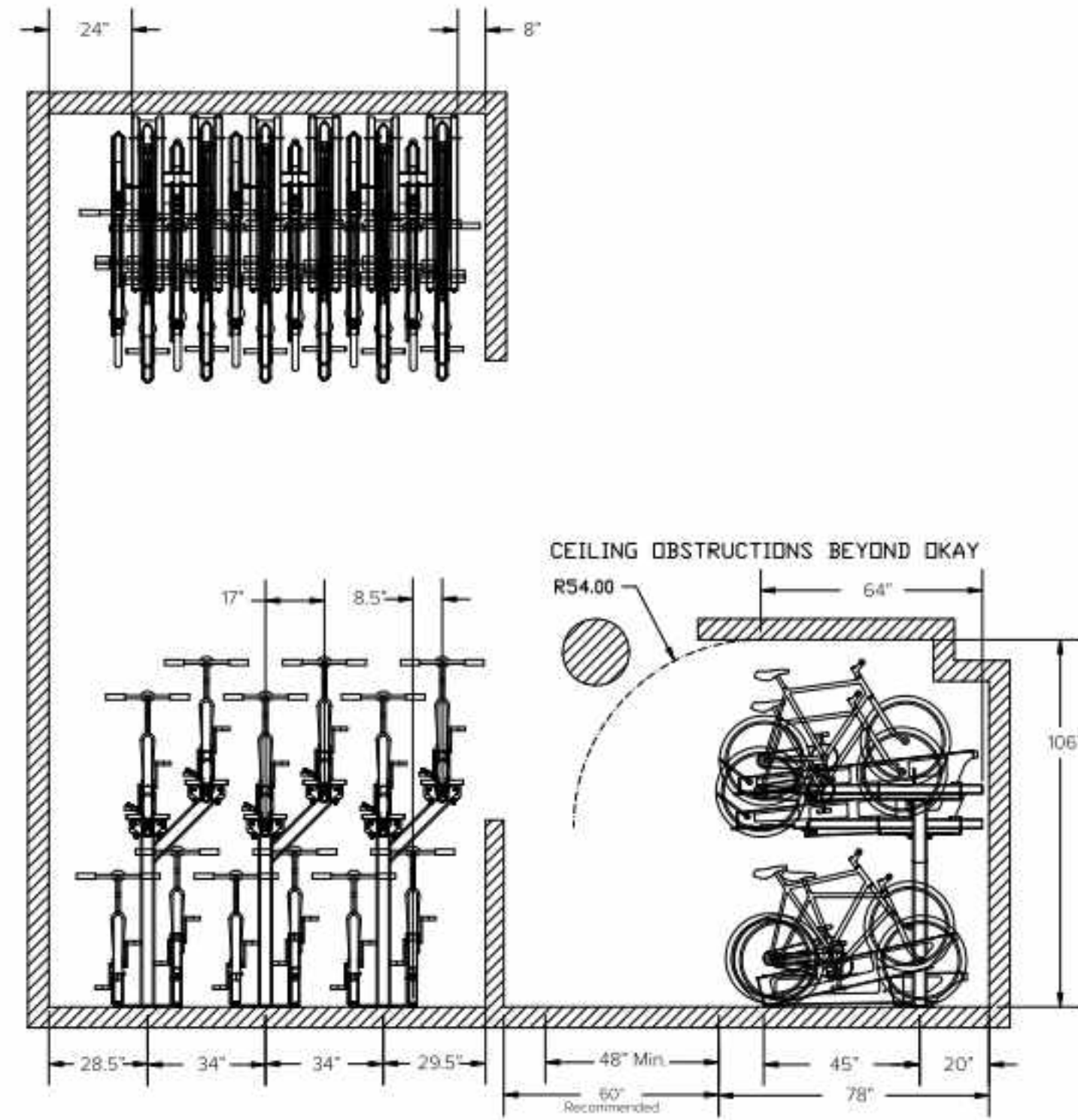
NO.	DATE	ISSUE

DRAWING TITLE:  
**CAR PARKING EXHIBIT**

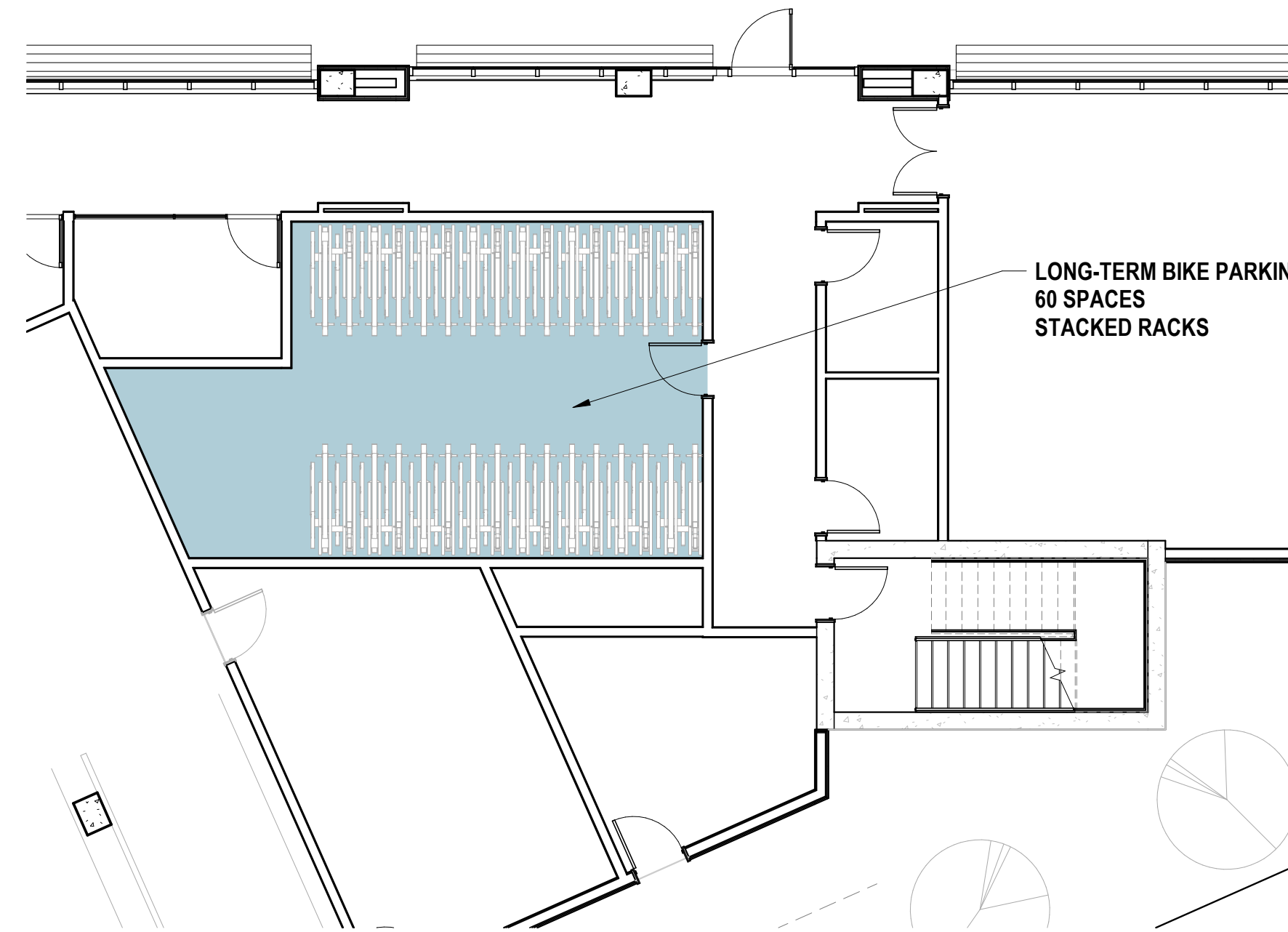
DRAWING NO:  
**A9.14B**



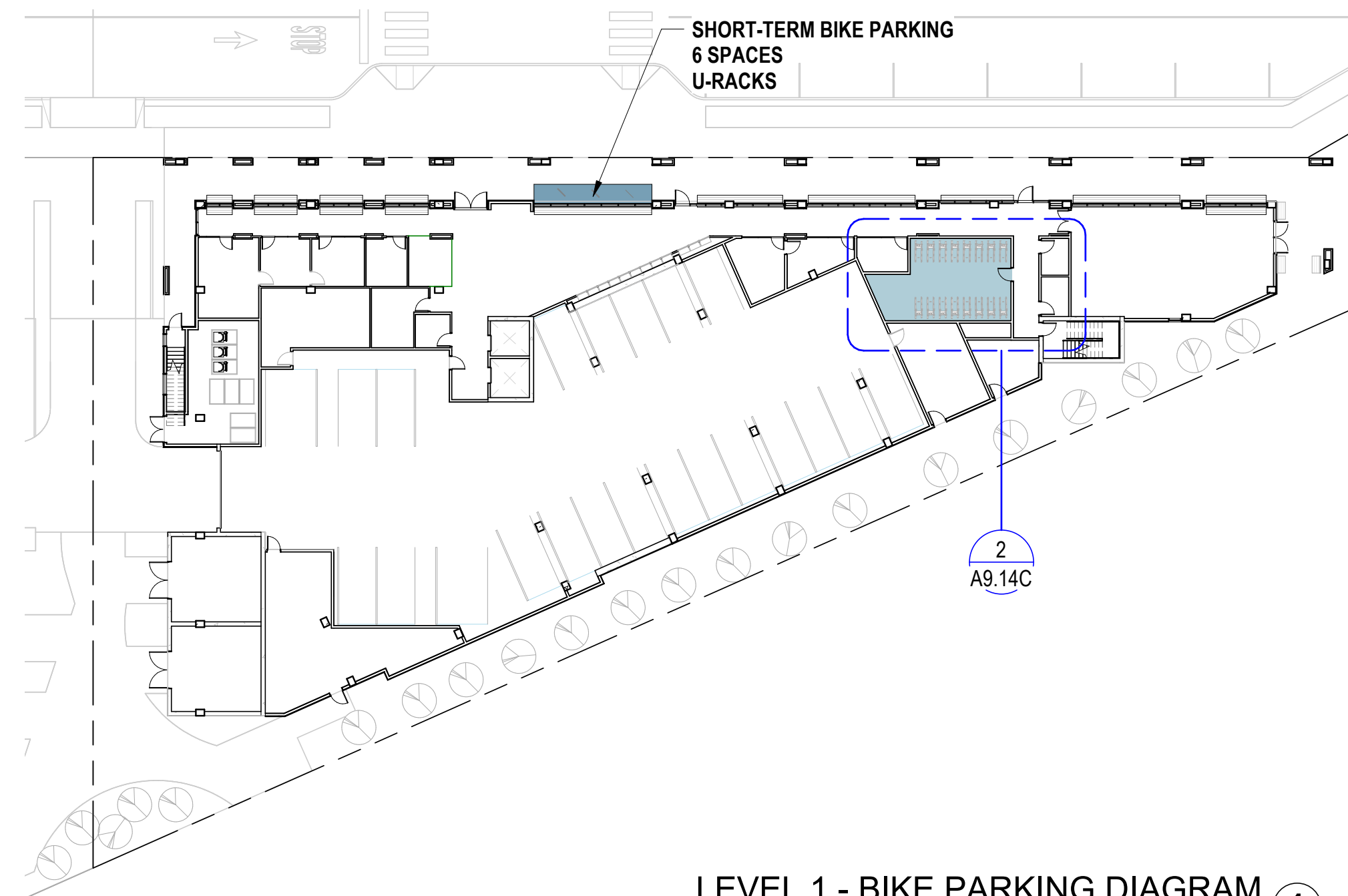
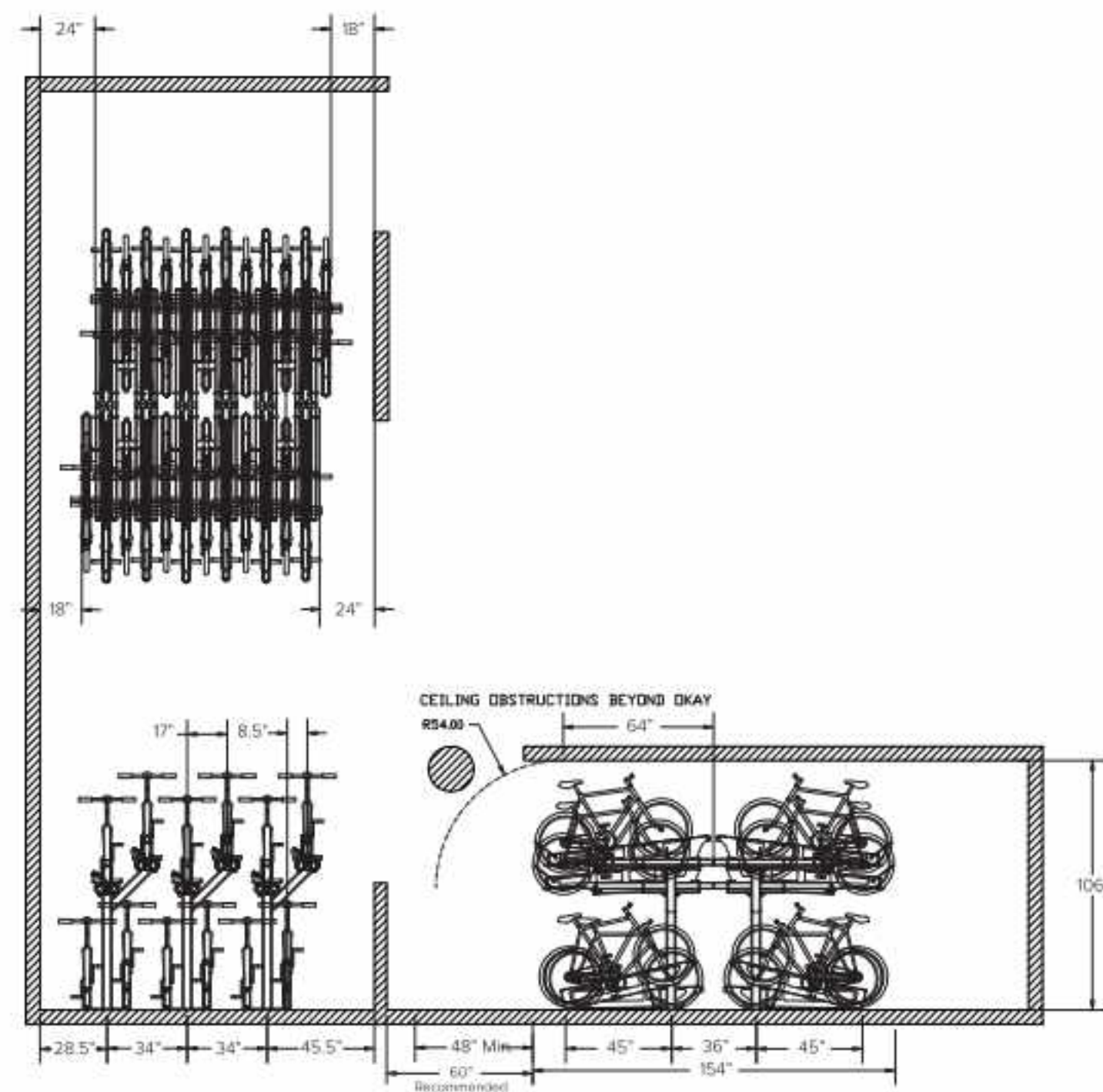




SECTION - BIKE STORAGE 3  
1/8" = 1'-0"



LEVEL 1 - BIKE PARKING DIAGRAM#1 2  
1/8" = 1'-0"



LEVEL 1 - BIKE PARKING DIAGRAM 1  
1" = 30'-0"

**RESIDENTIAL BIKE PARKING**

PARKING STANDARDS PER APPROVED MODIFICATION REQUEST #5 (SEE APPENDIX):

RESIDENTIAL UNITS	MIN. LONG-TERM SPACES 0.5 PER UNIT	MIN. SHORT-TERM SPACES 10% ADDITIONAL
PROPOSED UNITS: 120	60 LONG-TERM SPACES MIN.	6 SHORT-TERM SPACES MIN.

PARCEL 7 - RESIDENTIAL BIKE PARKING	
LEVEL	COUNT
LEVEL 1 (INSIDE)	60
TOTAL:	60

LONG-TERM SPACES (STACKED RACKS):	
LEVEL 1 (INSIDE)	60
TOTAL:	60

SHORT-TERM SPACES (U-RACKS):	
LEVEL 1 (OUTSIDE)	6
TOTAL:	6

GRAND TOTAL: 66

60 LONG-TERM SPACES PROVIDED = 60 MIN. REQ. LONG-TERM SPACES = COMPLIES. SEE ADJUSTMENT REQUEST IN APPENDIX 1.

6 SHORT-TERM SPACES PROVIDED < 6 MIN. REQ. SHORT-TERM SPACES = COMPLIES. SEE MODIFICATION REQUEST IN APPENDIX 1.

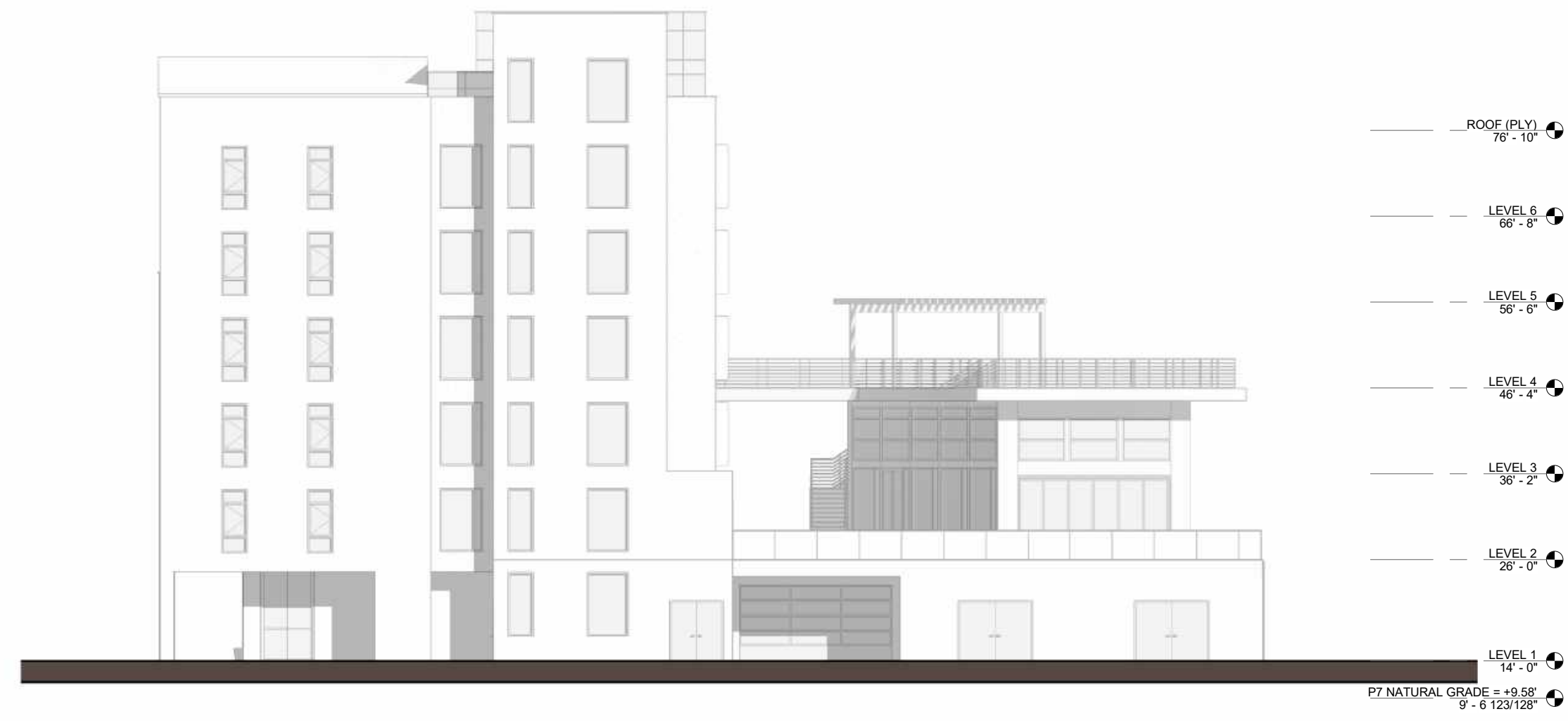
SCALE: As indicated  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY, OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
04/28/2023	ACP

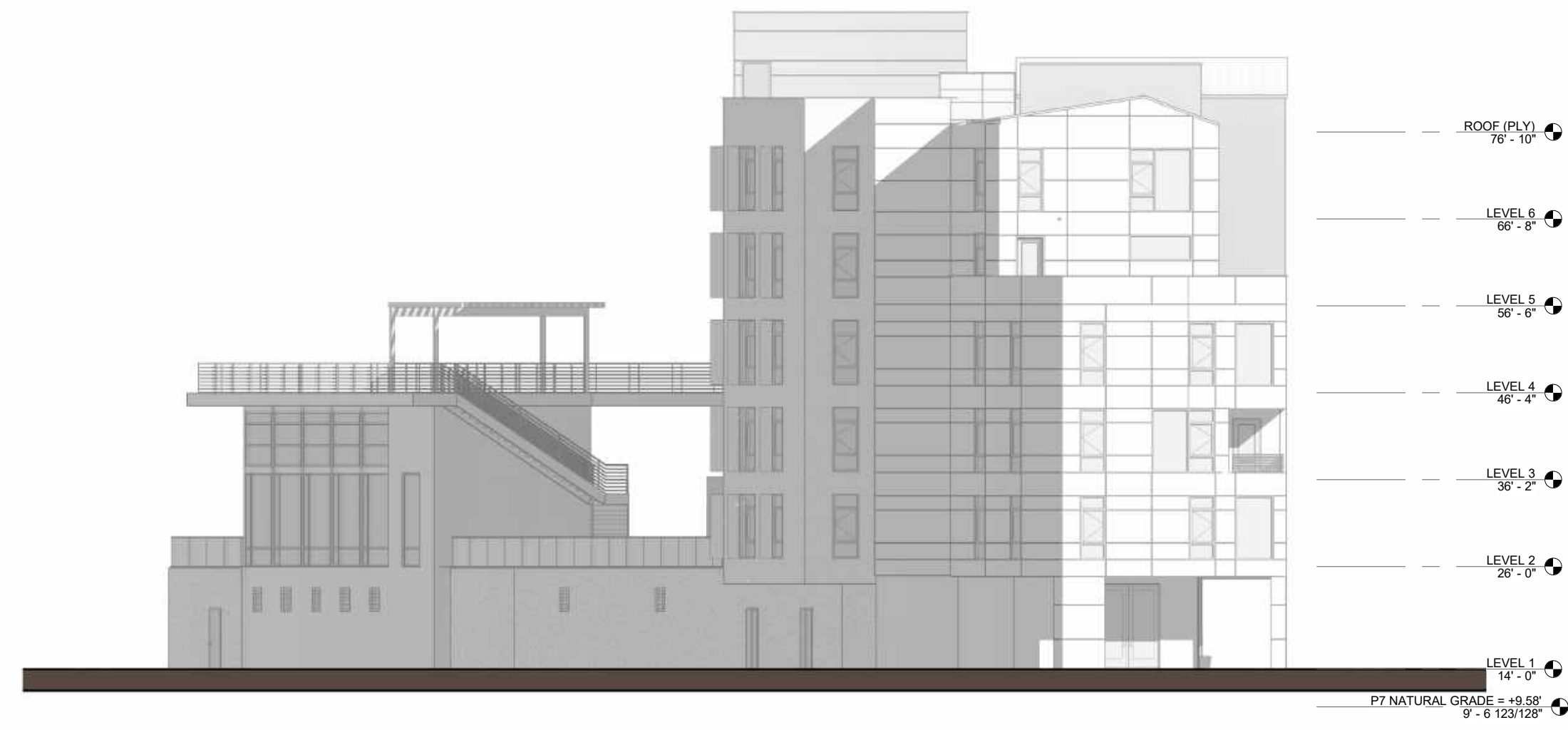
REVISIONS		
NO.	DATE	ISSUE







WEST ELEVATION - ALLEY - BIRD-SAFE DIAGRAM ④  
1/16" = 1'-0"



EAST ELEVATION - GARDEN - BIRD-SAFE DIAGRAM ③  
1/16" = 1'-0"



SOUTH ELEVATION - BIRD-SAFE DIAGRAM ②  
1/16" = 1'-0"



NORTH ELEVATION - PARK ST. - BIRD-SAFE DIAGRAM ①  
1/16" = 1'-0"

BUILDING'S TOTAL FACADE SURFACE AREA = 58,946 SF  
TOTAL GLAZING = 14,931 SF = 25.32%

TOTAL NON-BIRD-FRIENDLY GLAZING = 14,931 SF  
TOTAL BIRD-FRIENDLY GLAZING = 0 SF

THE PERCENTAGE OF THE PARCEL 7 BUILDING'S TOTAL FAÇADE SURFACE AREA THAT WILL HAVE NON-BIRD-FRIENDLY GLAZING = 14,931 SF / 58,946 SF = 25.32%

WAIVER REQUIRED DUE TO THE LACK OF INTERIOR SENSOR CONTROL OF LIGHTING IN THE INDIVIDUAL UNITS.



SCALE: As indicated  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES

DATE	ISSUE
04/28/2023	ACP

REVISIONS

NO.	DATE	ISSUE



**-Window Area Take Off Per Elevation**

Elevation	Count	Window Area
East	16	450 SF
North	138	4,230 SF
South	88	3,589 SF
West	29 271	833 SF 9,101 SF

**-Stucco Take Off Per Elevation**

Elevation	Material: Name	Material: Area
East	1926 - Finishes - Exterior - Stucco - Light Grey	40 SF
East	1926 - Finishes - Exterior - Stucco - Warm White	396 SF
South	1926 - Finishes - Exterior - Stucco - Light Grey	1,593 SF
South	1926 - Finishes - Exterior - Stucco - Warm White	6,876 SF
West	1926 - Finishes - Exterior - Stucco - Warm White	489 SF
		489 SF
		9,393 SF

**-Storefront Area Take Off Per Elevation**

Elevation	Count	Area
East	1	77 SF
North	18	2,530 SF
South	18	1,554 SF
West	14	864 SF

**-Door Solid Area Take Off Per Elevation**

Elevation	Count	Area
East	1	21 SF
North	3	84 SF
South	4	84 SF
West	5	344 SF

**-Door Glazed Area Take Off Per Elevation**

Elevation	Count	Area
East	1	24 SF
North	40	840 SF
West	1	240 SF

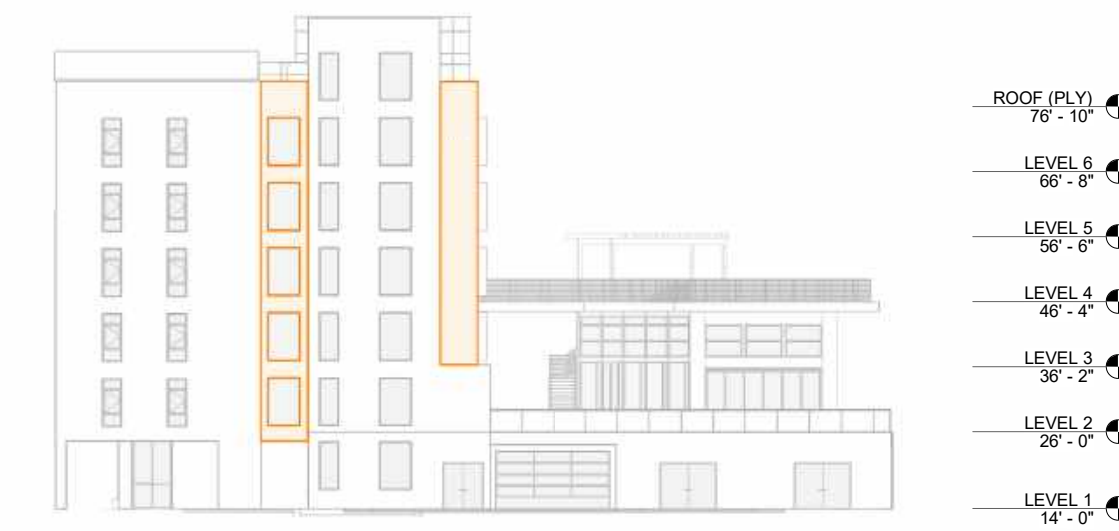
**NOTE:** STUCCO WILL BE SMOOTH-TROWELED.

NO STUCCO AREA OF WALLS AND WALLS ASSOCIATED TO EACH ELEVATION SHALL BE MORE THAN 50% OF THAT ELEVATION'S TOTAL SURFACE:

P7	Total Elevation Area SQFT	Opening Area (Storefronts, Windows and Glazed Doors) SQFT	Stucco Area SQFT	Stucco Percentage	Opening Percentage
South Elevation	20448	5227	8094	39.95%	25.15%
East Elevation	4430	572	436	9.84%	12.44%
North Elevation	25588	6884	0	0.00%	26.57%
West Elevation	8059	2281	489	6.07%	24.04%



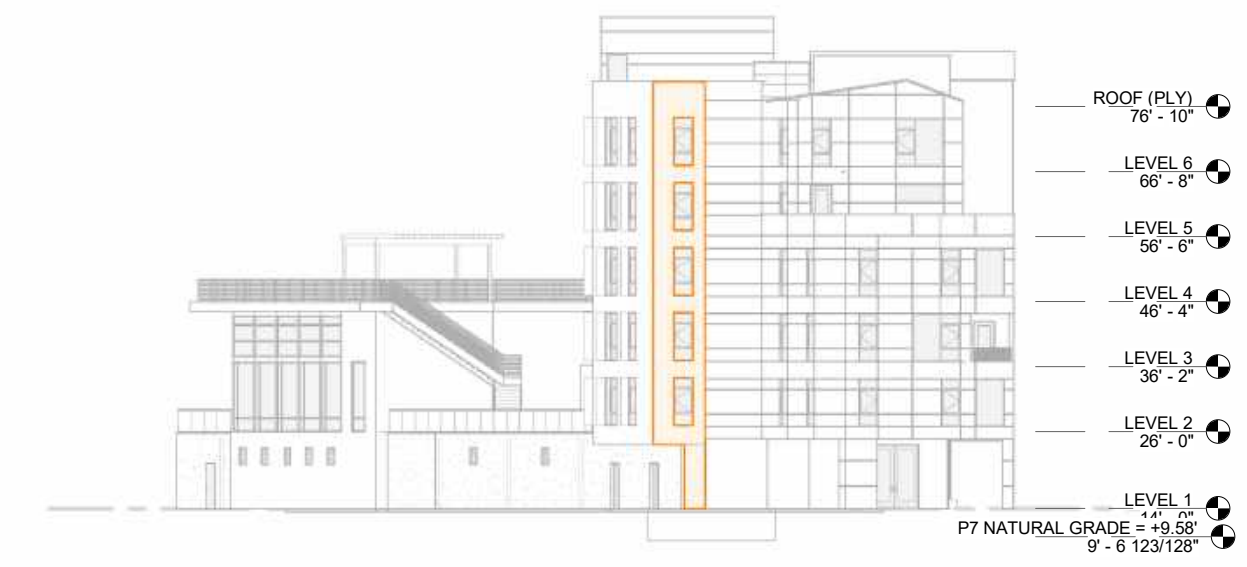
**SOUTH ELEVATION - STUCCO PERCENTAGE**  
1" = 30'-0" ⑤



**WEST ELEVATION - STUCCO PERCENTAGE**  
1" = 30'-0" ③



**NORTH ELEVATION - STUCCO PERCENTAGE**  
1" = 30'-0" ④

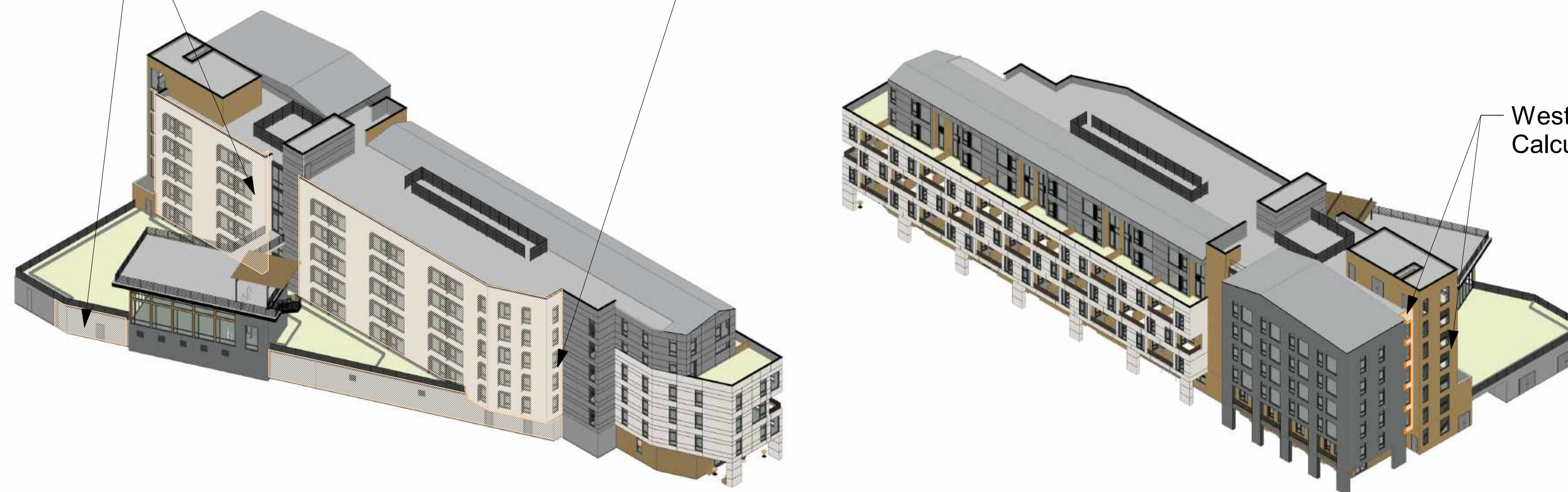


**EAST ELEVATION - STUCCO PERCENTAGE**  
1" = 30'-0" ②

South Elevation  
Calculated Stucco  
Areas

East Elevation Calculated  
Stucco Areas

West Elevation  
Calculated Stucco Areas



**001\_STUCCO LOCATIONS DIAGRAMS**  
1" = 30'-0" ①



SCALE: 1" = 30'-0"  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY, OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

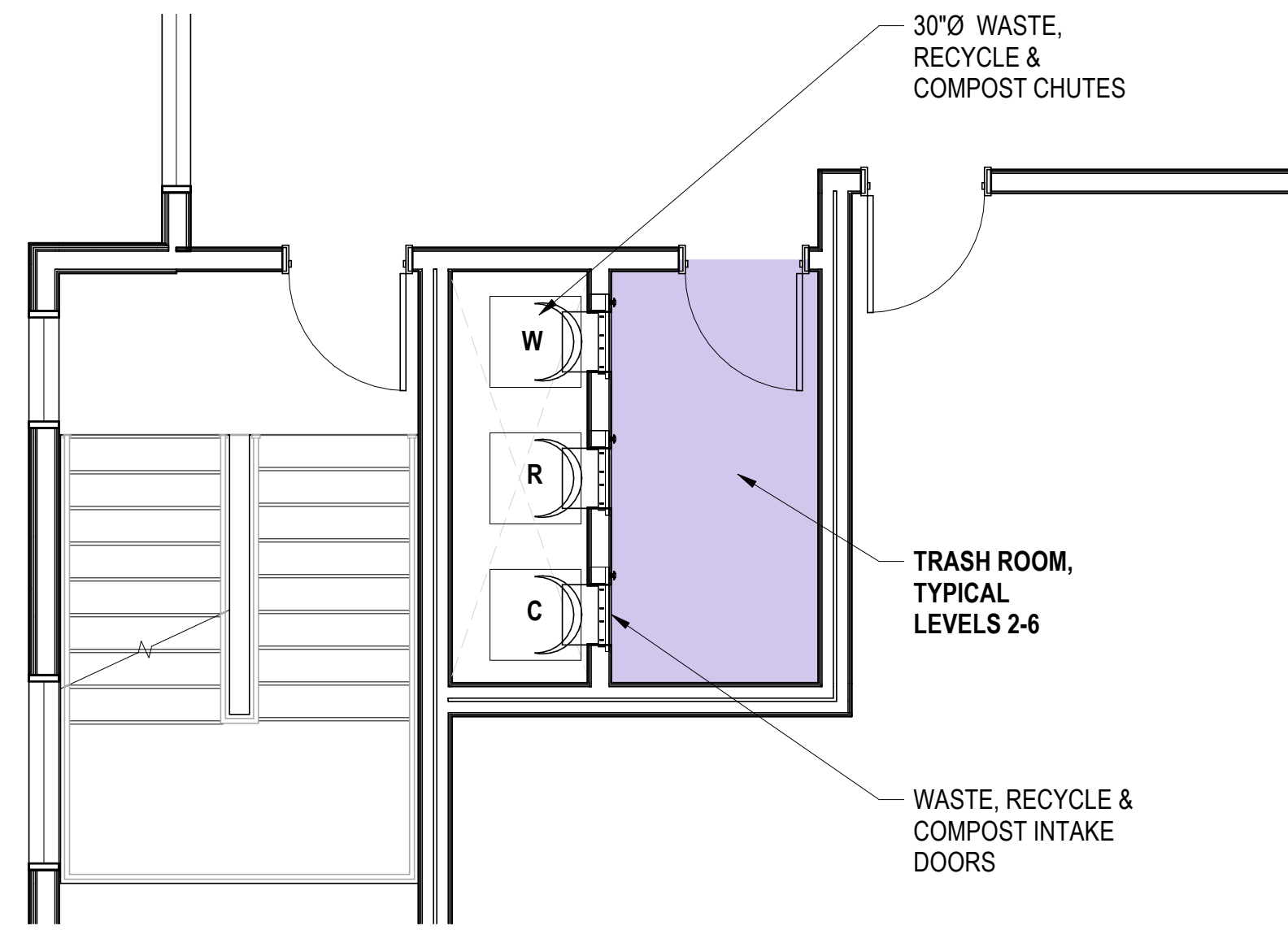
MILESTONES

DATE	ISSUE
04/28/2023	ACP

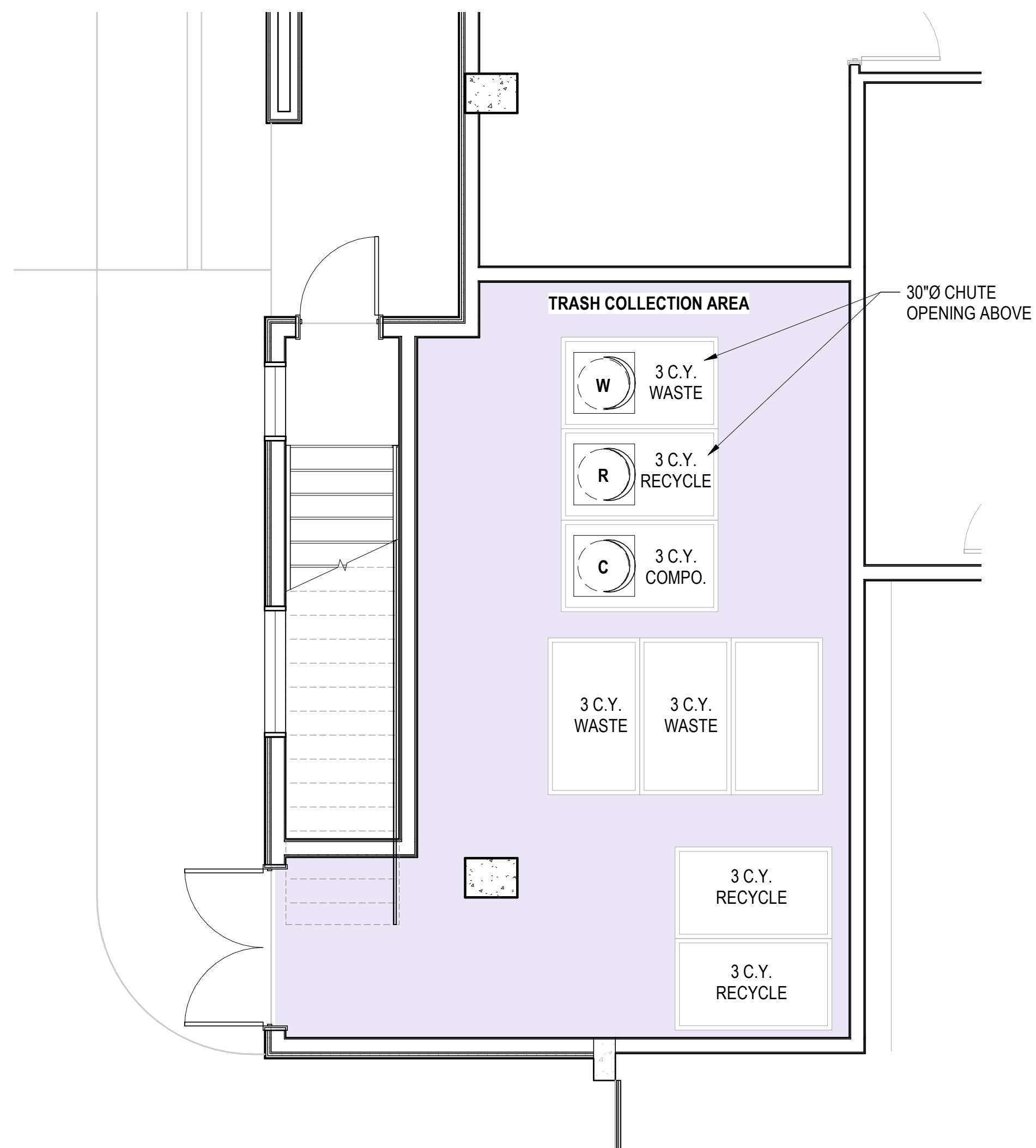
REVISIONS

NO.	DATE	ISSUE

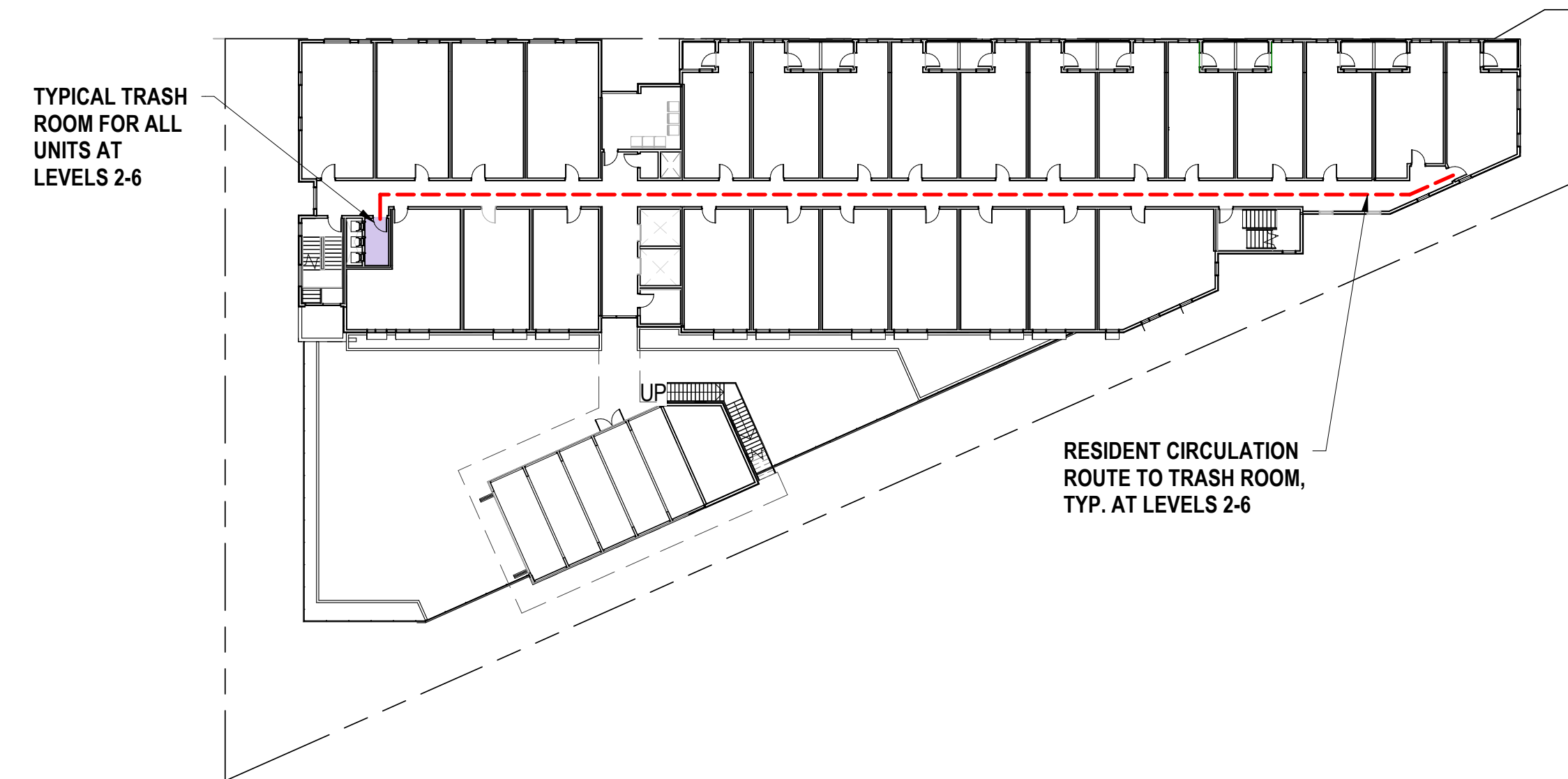




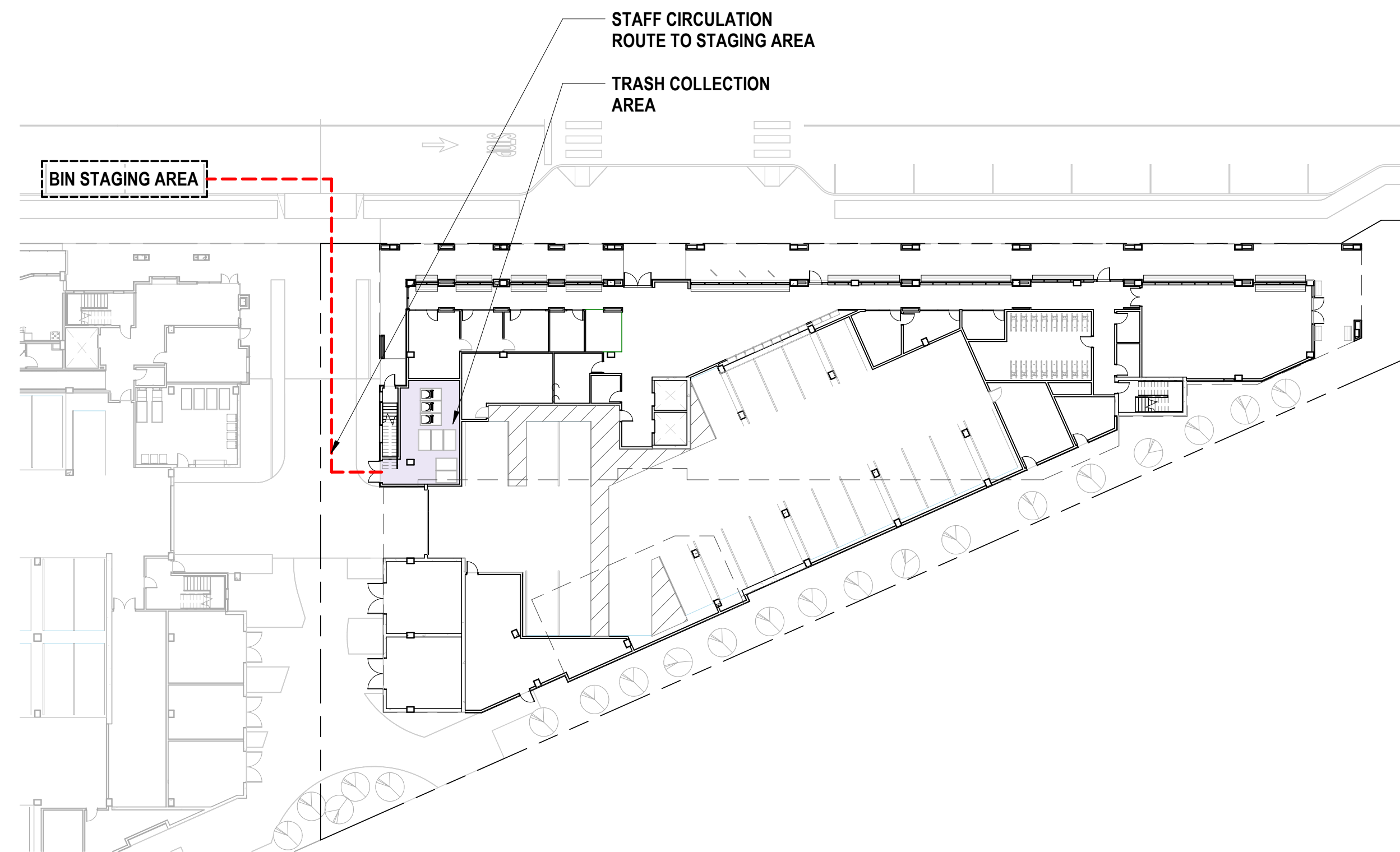
LEVEL 2-6, TYP. - TRASH ROOM ④  
1/4" = 1'-0"



LEVEL 1 - ENLARGED TRASH COLLECTION AREA ③  
1/4" = 1'-0"



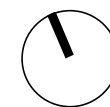
LEVEL 2-6, TYP. - REFUSE, RECYCLING & ZERO WASTE DIAGRAM ②  
1" = 30'-0"



LEVEL 1 - REFUSE, RECYCLING & ZERO WASTE DIAGRAM ①  
1" = 30'-0"

NOTE: REFUSE, RECYCLING, AND ZERO WASTE PLANS ARE PRELIMINARY

- TRASH ROOM
- TRASH COLLECTION AREA
- TRASH CIRCULATION ROUTE



SCALE: As indicated  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR SIZE CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

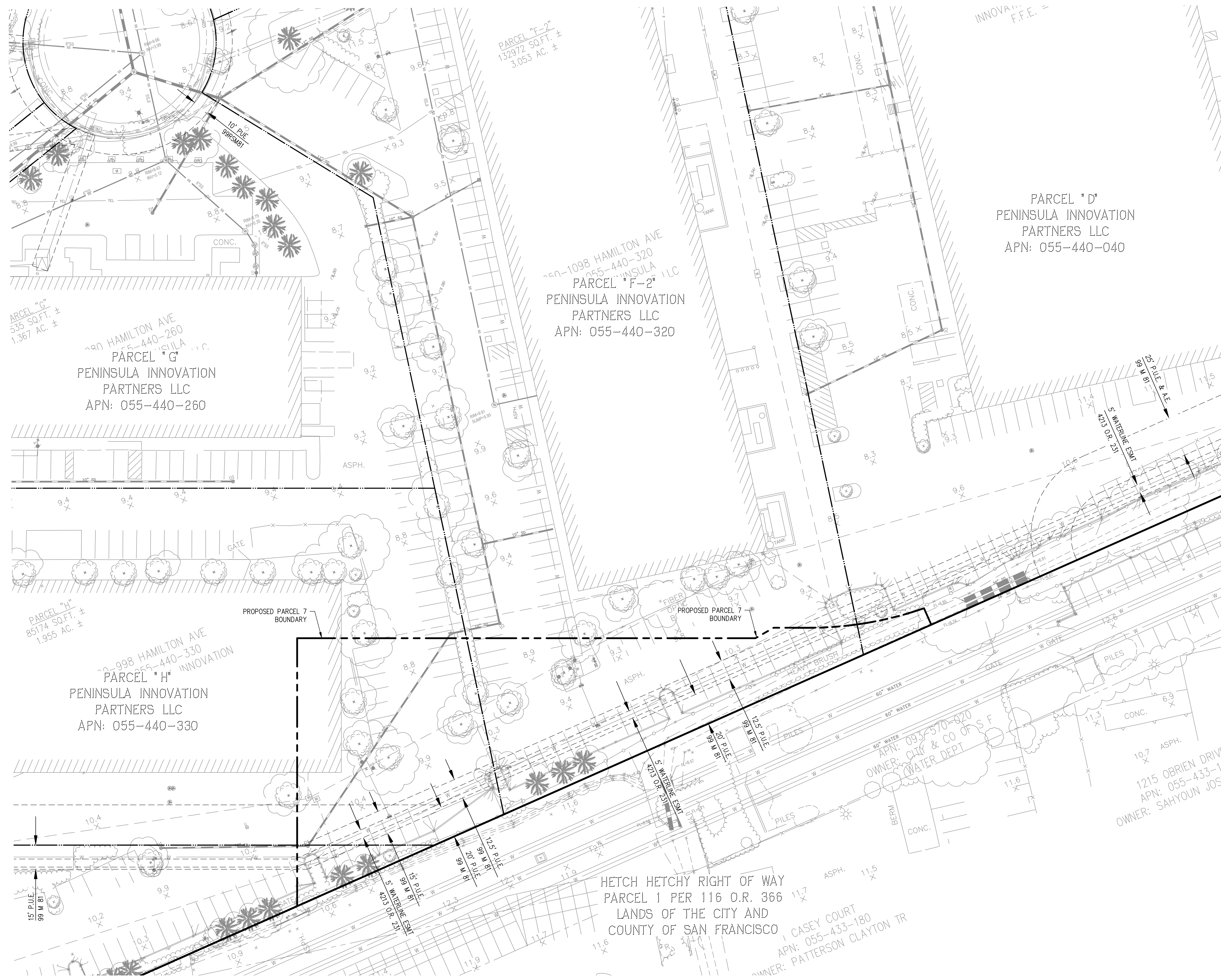
MILESTONES	
DATE	ISSUE
04/28/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:  
**REFUSE, RECYCLING & ZERO WASTE DIAGRAM**

DRAWING NO:  
**A9.20**





PARCEL "D"  
 PENINSULA INNOVATION  
 PARTNERS LLC  
 APN: 055-440-040

1098 HAMILTON AVE  
 055-440-320  
 PARCEL "F-2"  
 PENINSULA INNOVATION  
 PARTNERS LLC  
 APN: 055-440-320

1098 HAMILTON AVE  
 055-440-260  
 PARCEL "G"  
 PENINSULA INNOVATION  
 PARTNERS LLC  
 APN: 055-440-260

1098 HAMILTON AVE  
 055-440-330  
 PARCEL "H"  
 PENINSULA INNOVATION  
 PARTNERS LLC  
 APN: 055-440-330

HETCH HETCHY RIGHT OF WAY  
 PARCEL 1 PER 116 O.R. 366  
 LANDS OF THE CITY AND  
 COUNTY OF SAN FRANCISCO  
 CASEY COURT  
 APN: 055-433-180  
 OWNER: PATTERSON CLAYTON TR

**LEGEND**

- EXISTING BOUNDARY LINE
- PROPOSED PARCEL BOUNDARY
- EXISTING PARCEL LINE
- EXISTING EASEMENT LINE
- EXISTING STORM DRAIN LINE
- EXISTING SANITARY SEWER LINE
- EXISTING TELEPHONE LINE
- EXISTING WATER LINE
- EXISTING ELECTRICAL LINE
- EXISTING GAS LINE
- EXISTING WATER LATERAL
- EXISTING STORM DRAIN MANHOLE
- EXISTING FIRE HYDRANT
- EXISTING TREE
- EXISTING SANITARY SEWER CLEANOUT
- EXISTING BOLLARD
- EXISTING DRAINAGE INLET
- EXISTING AREA DRAIN
- EXISTING BUSH LINE
- EXISTING STORM DRAIN FIELD INLET
- EXISTING ELECTROLIER
- EXISTING WATER VALVE
- EXISTING WATER METER
- EXISTING UTILITY BOX
- EXISTING BACK FLOW PREVENTION DEVICE
- EXISTING TRASH AREA

AVERAGE NATURAL EXISTING GRADE: 9.58'

NOTE:  
 TOPOGRAPHIC ELEVATIONS ARE TO BE ADJUSTED BY AN  
 ELEVATION OF +0.23' PER THE FRYER & LAURETA, INC  
 MEMORANDUM DATED JULY 13, 2020.

PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 7  
 Menlo Park, CA

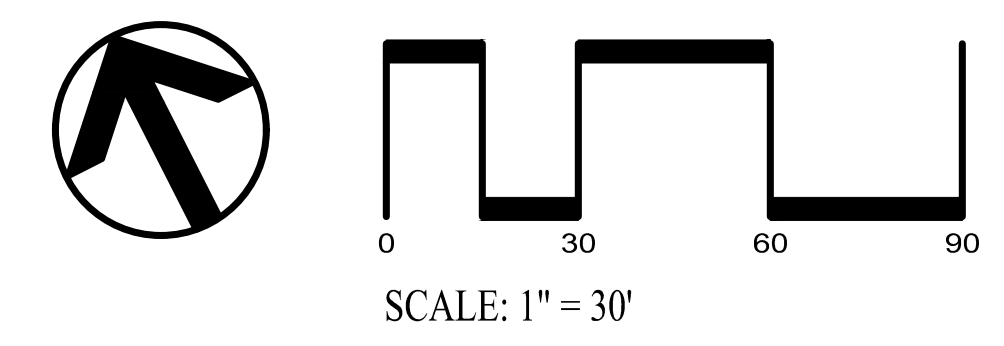
MILESTONES

DATE	ISSUE
04/28/2023	ACP

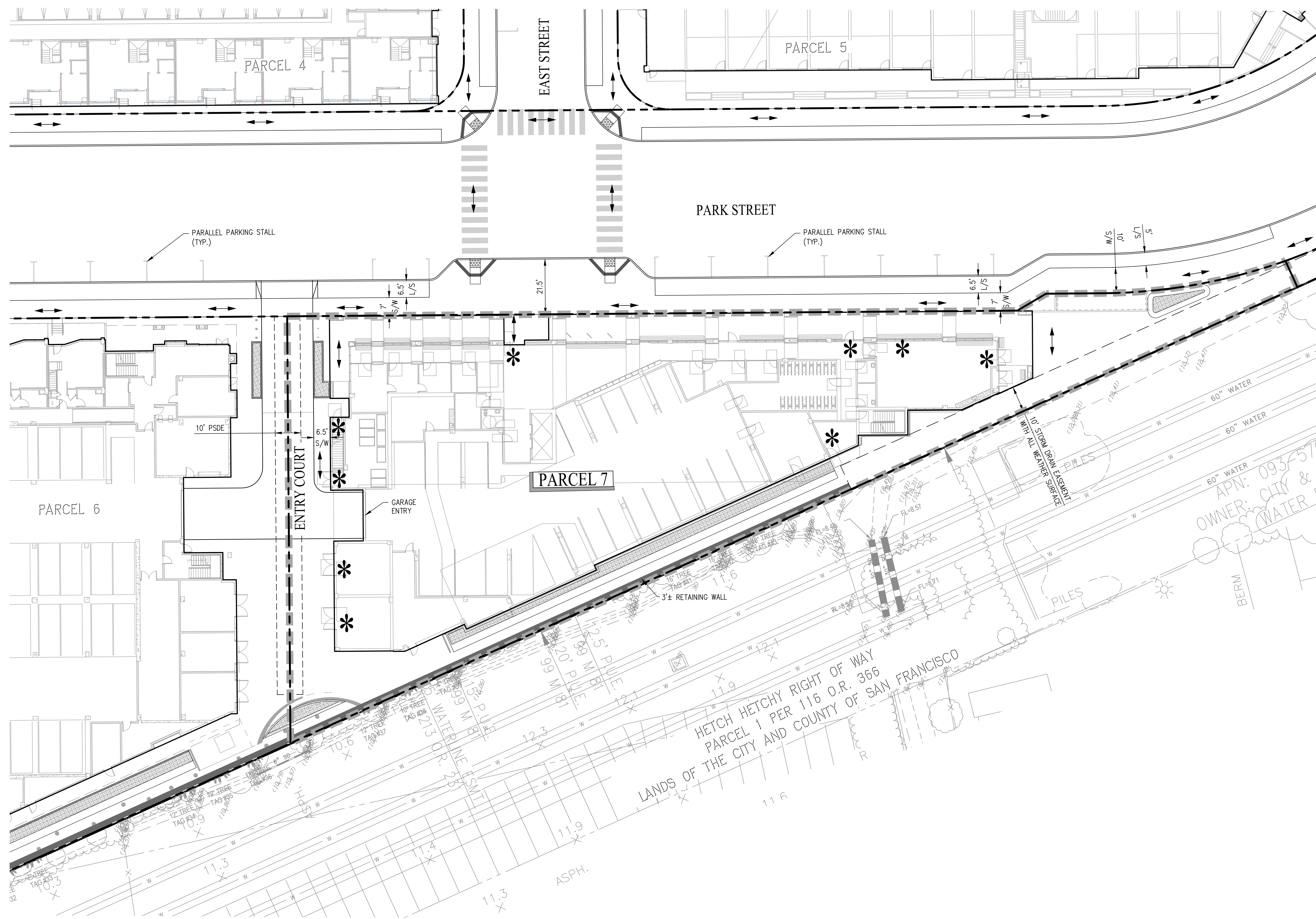
REVISIONS

NO.	DATE	ISSUE

DRAWING TITLE:  
**TOPOGRAPHIC SURVEY**  
 DRAWING NO:  
**C1.00**







**LEGEND**

- PARCEL BOUNDARY
- LIMIT OF WORK
- RETAINING WALL
- BIORETENTION AREA
- ACCESSIBLE PATH
- BUILDING ENTRY LOCATION
- LANDSCAPE
- PRIVATE STORM DRAIN EASEMENT
- SIDEWALK

- NOTES:**
- ACCESSIBLE PATHWAY SLOPE SHALL NOT EXCEED 5% AND CROSS SLOPE TO NOT EXCEED 2% PER CBC 11B-403.3. AT LEVEL LANDINGS AND ENTRANCES, SLOPE AND CROSS SLOPE TO NOT EXCEED 2%.
  - ALL IMPROVEMENTS SHOWN OUTSIDE OF THE PARCEL BOUNDARY WILL BE PART OF THE PUBLIC REALM PLANS AND HAVE BEEN SHOWN FOR REFERENCE ONLY.

**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 7  
 Menlo Park, CA

**MILESTONES**

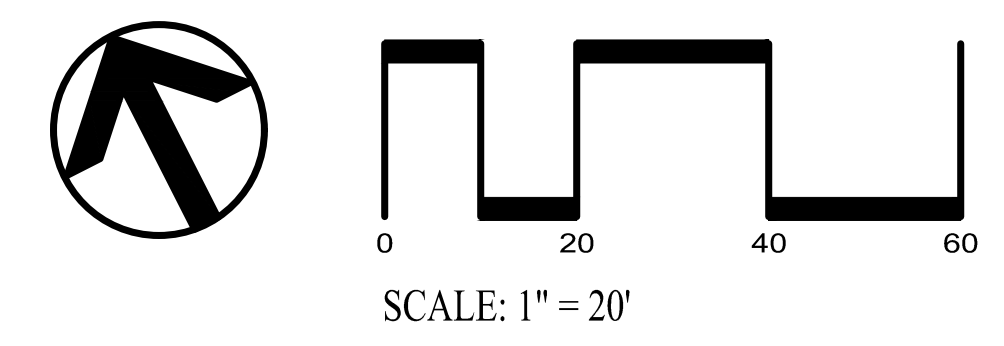
DATE	ISSUE
04/28/2023	ACP

**REVISIONS**

NO.	DATE	ISSUE

DRAWING TITLE:  
**SITE CIRCULATION &  
 SITE ENTRY PLAN**

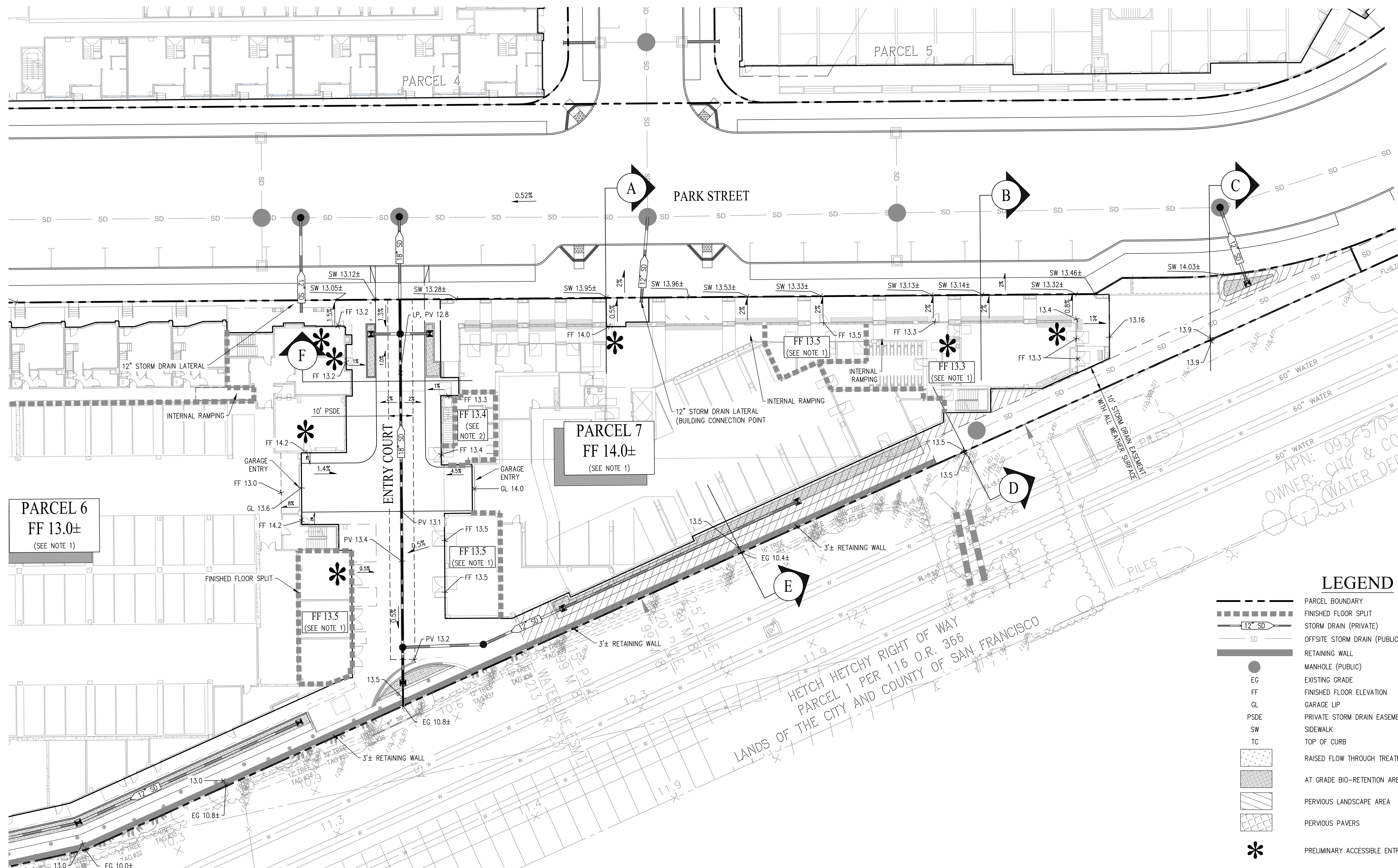
DRAWING NO:  
**C1.01**



HETCH HETCHY RIGHT OF WAY  
 PARCEL 1 PER 116 O.R. 366  
 LANDS OF THE CITY AND COUNTY OF SAN FRANCISCO

PENINSULA INNOVATION PARTNERS



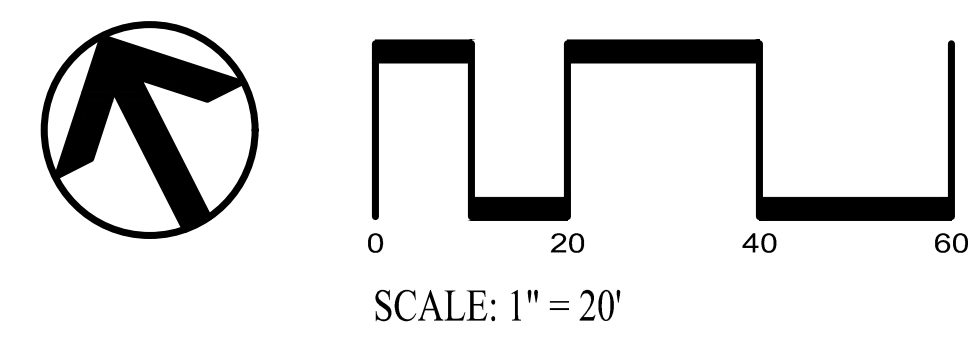


### LEGEND

- PARCEL BOUNDARY
- FINISHED FLOOR SPLIT
- STORM DRAIN (PRIVATE)
- OFFSITE STORM DRAIN (PUBLIC)
- RETAINING WALL
- MANHOLE (PUBLIC)
- EXISTING GRADE
- FINISHED FLOOR ELEVATION
- GARAGE LIP
- PRIVATE STORM DRAIN EASEMENT
- SIDEWALK
- TOP OF CURB
- RAISED FLOW THROUGH TREATMENT PLANTER (PERVIOUS)
- AT GRADE BIO-RETENTION AREA (PERVIOUS)
- PERVIOUS LANDSCAPE AREA
- PERVIOUS PAVERS
- PRELIMINARY ACCESSIBLE ENTRY LOCATION

NOTE:

- PROPOSED GRADING IS PRELIMINARY AND SUBJECT TO FINAL DESIGN. FINAL GRADING MAY REQUIRE ADDITIONAL ADA ACCESSIBLE RAMPS AND/OR SLOPING OF THE BUILDING SLAB. FINAL FINISHED FLOOR ELEVATIONS ARE SUBJECT TO FINAL CIVIL, STRUCTURAL, AND ARCHITECTURAL COORDINATION.
- DUE TO THE BASE FLOOD ELEVATION LIMITS, ADDITIONAL EXTERIOR RAMPING/STAIRS MAY BE REQUIRED WHEN INTERNAL FLOOD PROOFING CANNOT BE PROVIDED.
- ALL IMPROVEMENTS SHOWN OUTSIDE OF THE PARCEL BOUNDARY WILL BE APART OF THE PUBLIC REALM PLANS AND HAVE BEEN SHOWN FOR REFERENCE ONLY.
- THE PROJECT IS IN FLOOD ZONE AE AND WILL BE DESIGNED AND CONSTRUCTED IN COMPLIANCE WITH CURRENT FEMA REGULATIONS, THE CITY'S FLOOD DAMAGE PREVENTION ORDINANCE, AND THE MPMC 16.45.130(4) (HAZARD MITIGATION AND SEA LEVEL RISE RESILIENCY).



**PENINSULA INNOVATION PARTNERS**  
  
**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 7  
 Menlo Park, CA

MILESTONES	
DATE	ISSUE
04/28/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:  
**GRADING & DRAINAGE PLAN**  
  
 DRAWING NO:  
**C2.00**

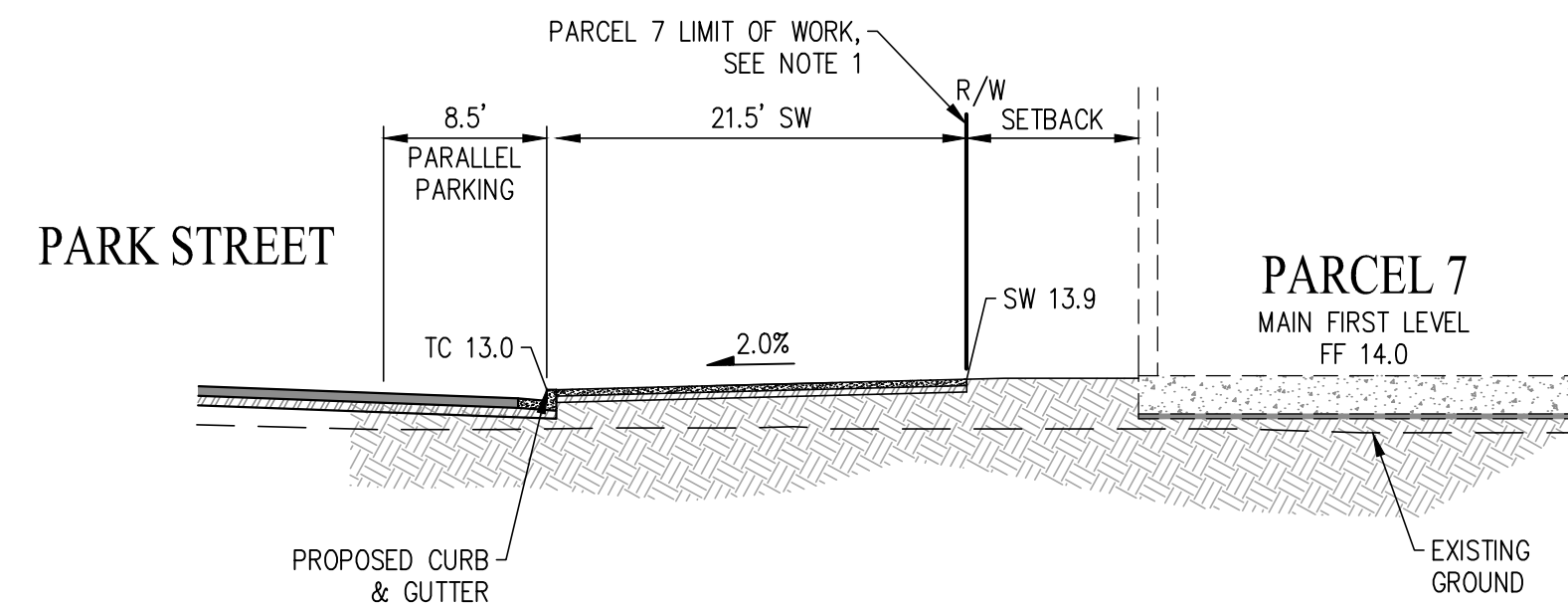


### ABBREVIATIONS

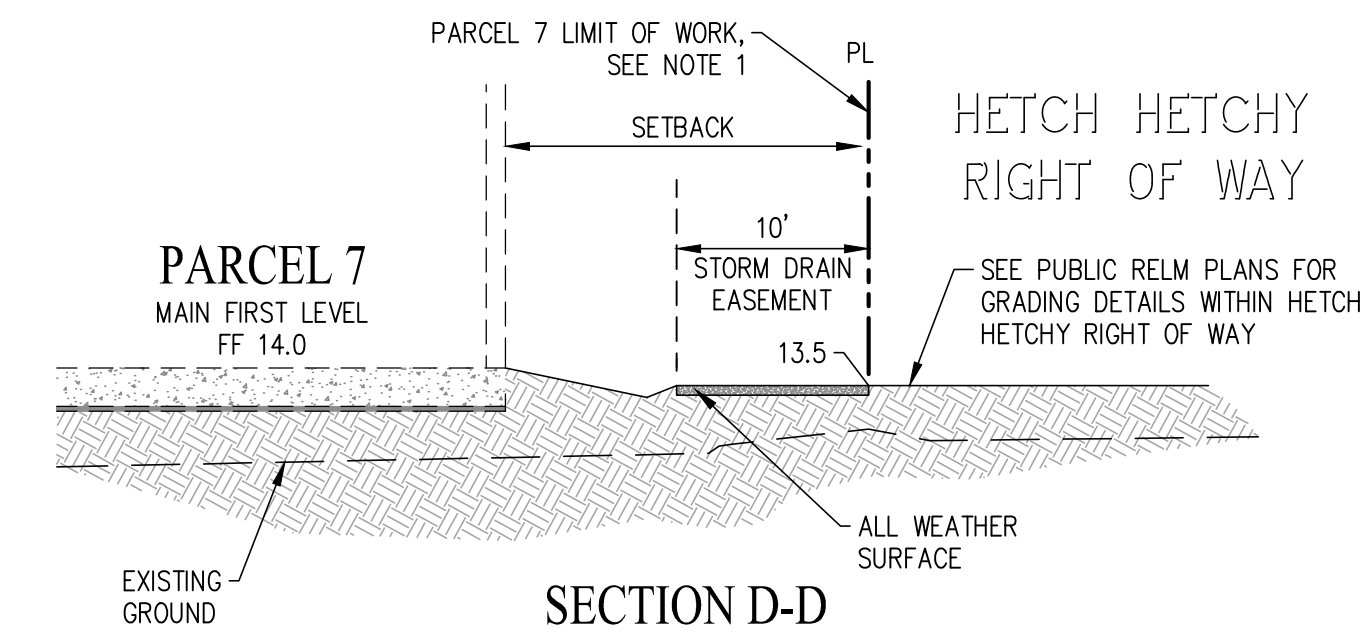
- EX EXISTING
- FF FINISHED FLOOR ELEVATION
- LS LANDSCAPE
- PSE PUBLIC SERVICE EASEMENT
- R/W RIGHT OF WAY
- RET RETAINING
- SW SIDEWALK
- TC TOP OF CURB

**NOTES:**

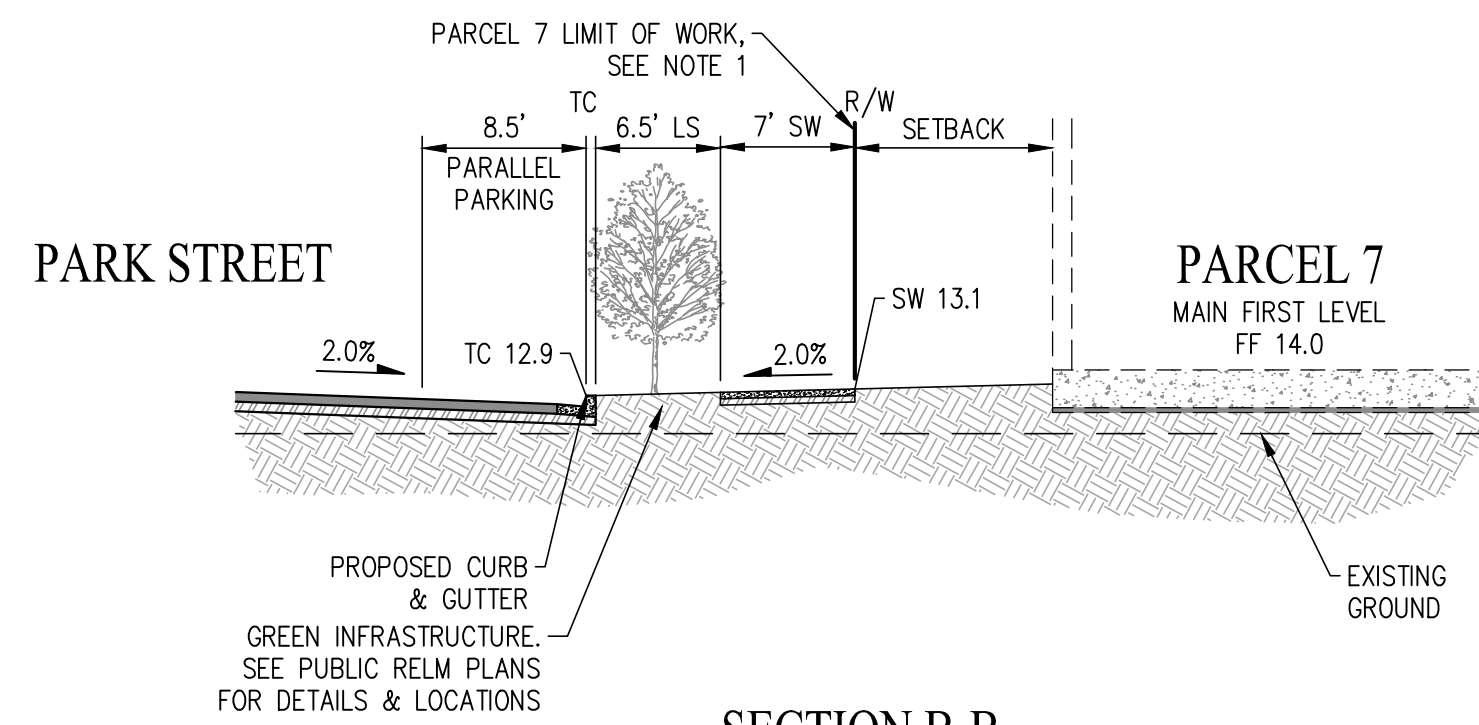
1. ALL IMPROVEMENTS SHOWN OUTSIDE OF THE PARCEL BOUNDARY WILL BE APART OF THE PUBLIC REALM PLANS AND HAVE BEEN SHOWN FOR REFERENCE ONLY.



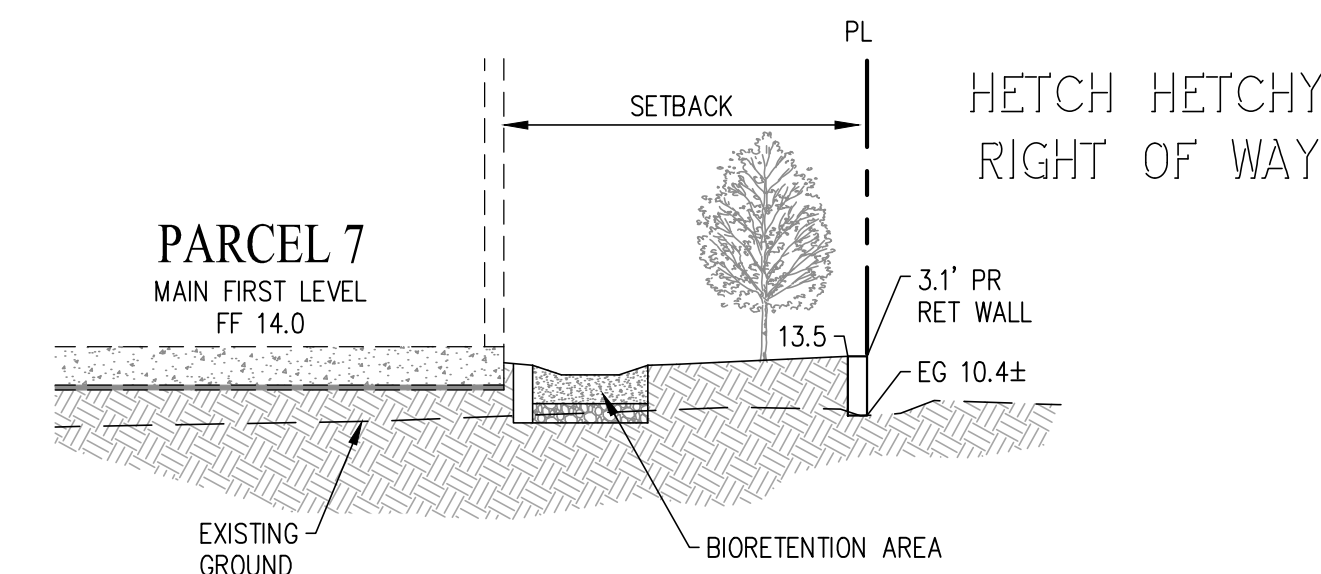
**SECTION A-A**  
NOT TO SCALE



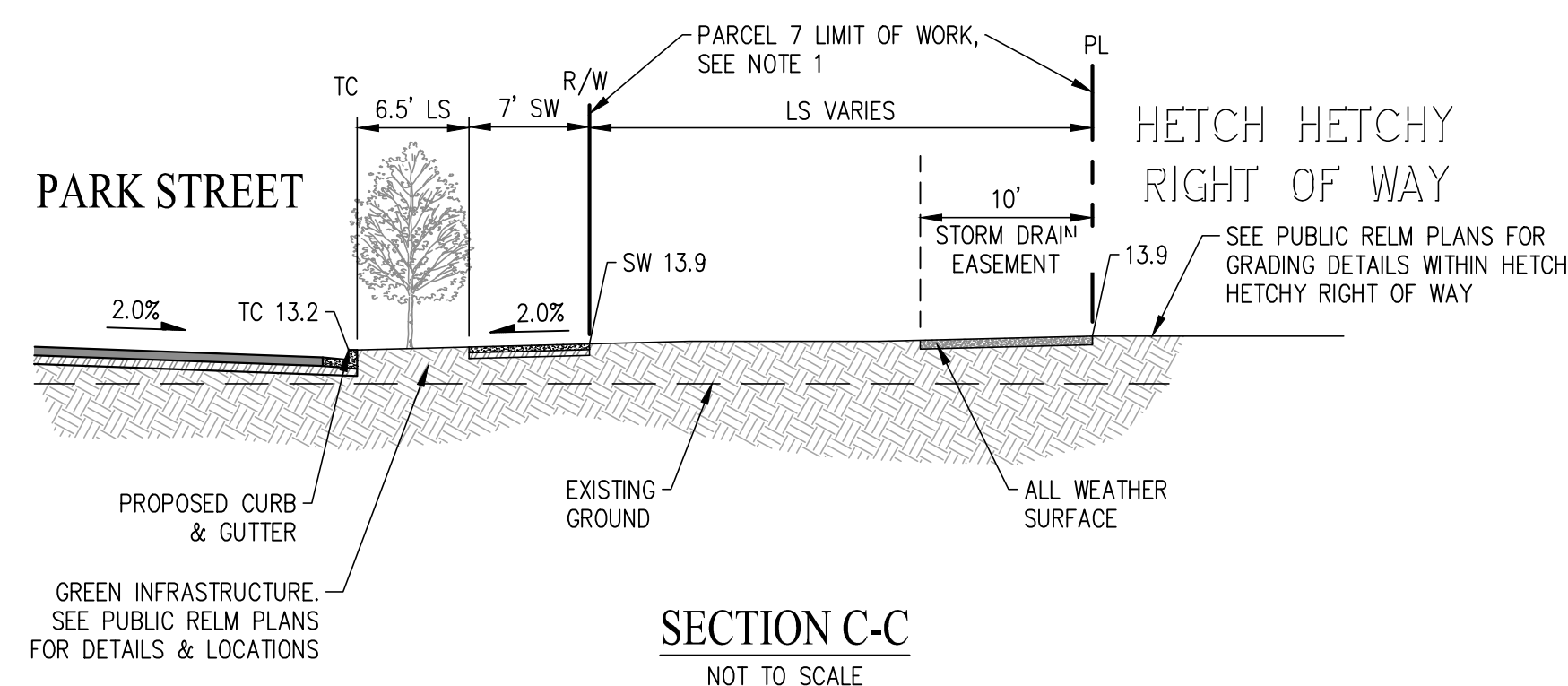
**SECTION D-D**  
NOT TO SCALE



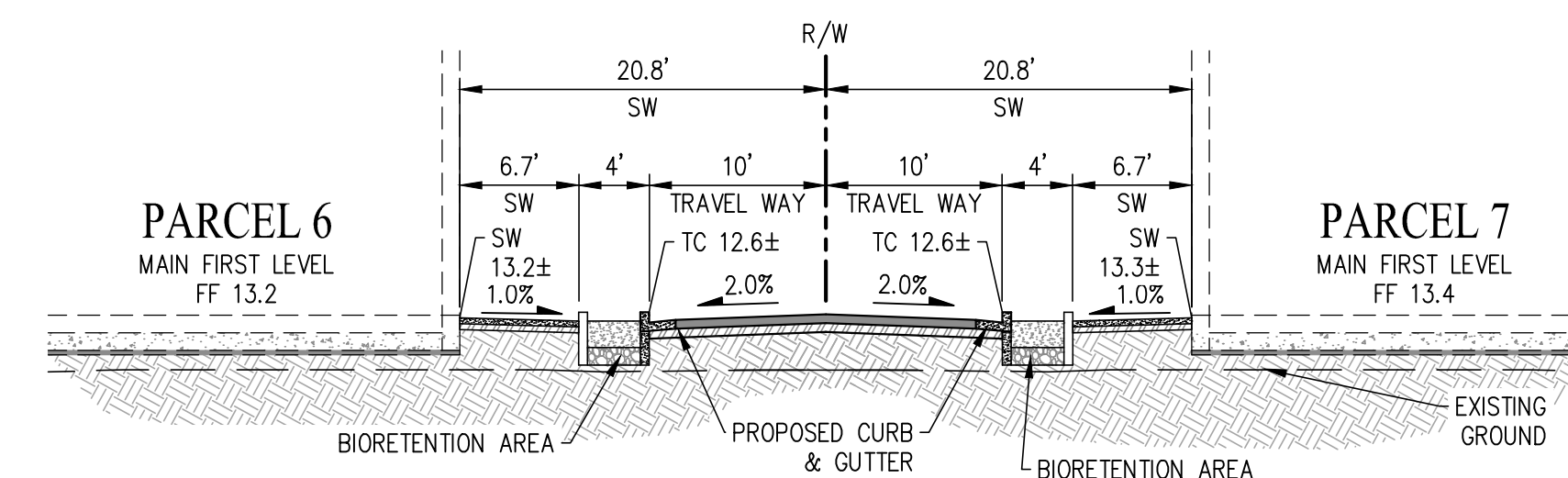
**SECTION B-B**  
NOT TO SCALE



**SECTION E-E**  
NOT TO SCALE



**SECTION C-C**  
NOT TO SCALE



**SECTION F-F**  
NOT TO SCALE

PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE  
Architectural Control Package - Parcel 7  
Menlo Park, CA

MILESTONES

DATE	ISSUE
04/28/2023	ACP

REVISIONS

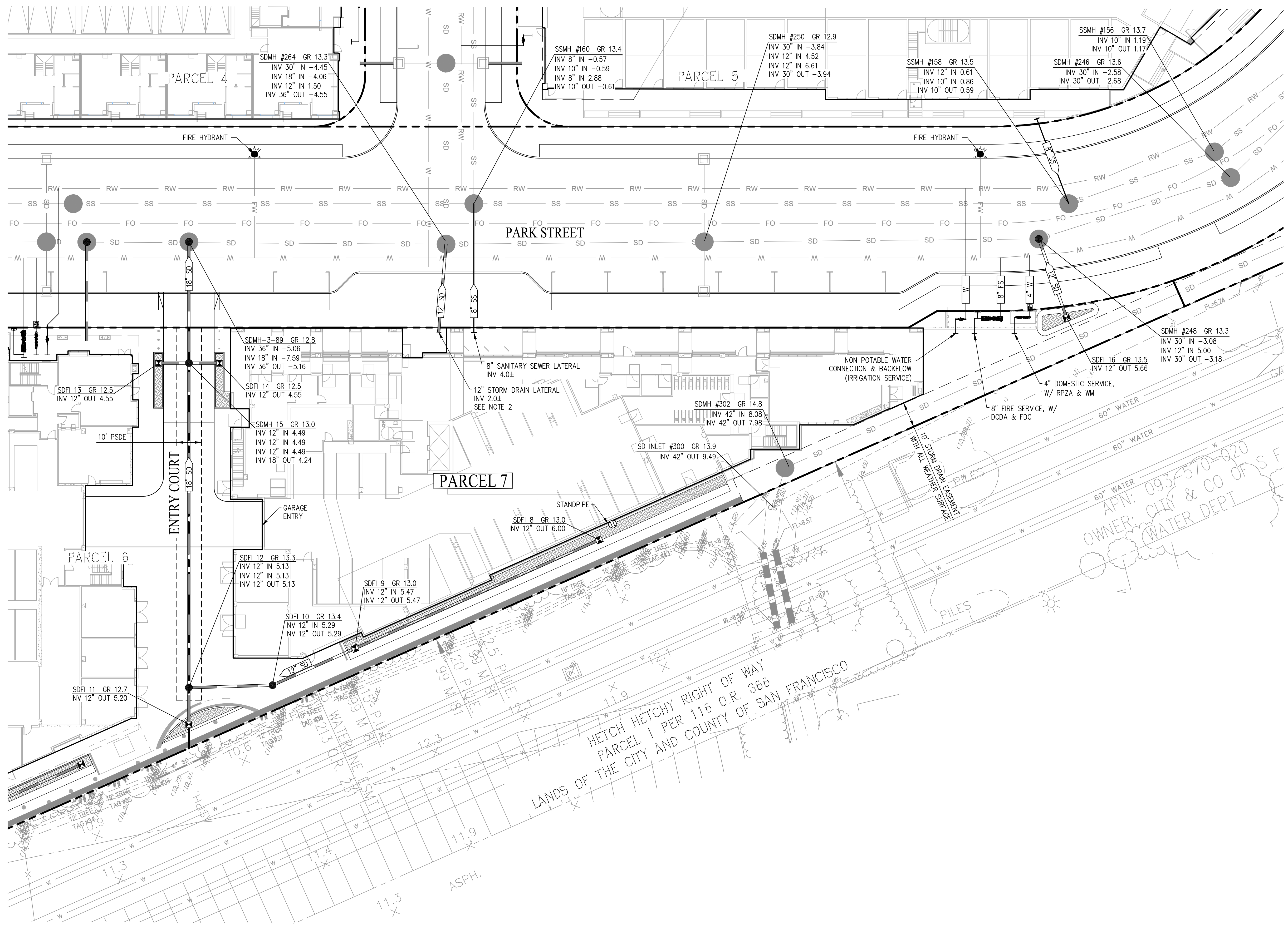
NO.	DATE	ISSUE

DRAWING TITLE:  
GRADING SECTIONS

DRAWING NO.:

**C2.01**





**LEGEND:**

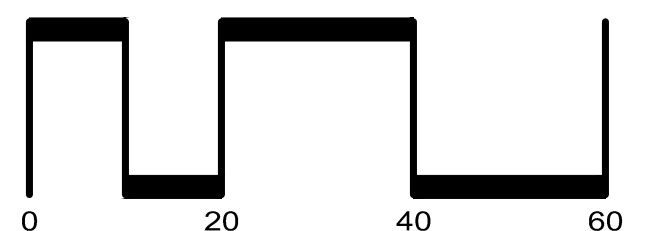
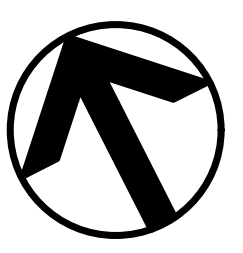
- PROPERTY LINE
- 8" SS — SANITARY SEWER LATERAL (PRIVATE)
- 12" SD — STORM DRAIN (PRIVATE)
- 8" W — WATER LATERAL (PRIVATE)
- RW — OFFSITE RECLAIMED WATER MAIN (PUBLIC)
- W — OFFSITE WATER MAIN (PUBLIC)
- SD — OFFSITE SANITARY SEWER (PUBLIC)
- SSFM — OFFSITE SEWER FORCE MAIN (PUBLIC)
- SS — OFFSITE STORM DRAIN (PUBLIC)
- FO — OFFSITE FIBRE OPTIC LINE (PUBLIC)
- JT — OFFSITE UNDERGROUND JOINT TRENCH (PUBLIC)
- ⊠ — STORM DRAIN FIELD INLET (PRIVATE) SEE NOTE 5
- — MANHOLE (PUBLIC)
- ⊙ — FIRE HYDRANT (PUBLIC)
- ⊙ — FIRE DEPARTMENT CONNECTION (PRIVATE)
- ⊙ — WATER METER (PUBLIC)
- ⊙ — STANDPIPE (PRIVATE)
- ⊙ — REDUCED PRESSURE ZONE DEVICE (PRIVATE)
- ⊙ — DOUBLE CHECK DETECTOR ASSEMBLY (PRIVATE)
- ⊙ — NON POTABLE WATER SERVICE (PRIVATE)
- ⊙ — FLOW THROUGH PLANTER
- ⊙ — BIO-RETENTION AREA

**ABBREVIATIONS:**

- DCDA — DOUBLE CHECK DETECTOR BACKFLOW ASSEMBLY
- EX — EXISTING
- FO — FIBER OPTIC
- FDC — FIRE DEPARTMENT CONNECTION
- FH — FIRE HYDRANT
- FS — FIRE SERVICE
- GR — GRATE
- INV — INVERT
- PL — PROPERTY LINE
- PSDE — PRIVATE STORM DRAIN EASEMENT
- RPZA — REDUCED PRESSURE ZONE BACKFLOW ASSEMBLY
- SD — STORM DRAIN
- SDFI — STORM DRAIN FIELD INLET
- SS — SANITARY SEWER
- SSMH — SANITARY SEWER MANHOLE
- TC — TOP OF CURB
- W — WATER

**NOTES:**

1. UTILITY LAYOUT AS SHOWN IS PRELIMINARY AND SUBJECT TO FINAL ENGINEERING DESIGN.
2. ALL BUILDING STORM DRAIN, WATER, AND SEWER POINT OF CONNECTIONS ARE SUBJECT TO FINAL BUILDING PLUMBING DESIGN. THE STORM DRAIN CONNECTION POINTS SHOWN STUBBING INTO THE BUILDING ARE TO COLLECT THE RUNOFF FROM THE DRAINAGE TREATED ON THE PODIUM DECKS STORMWATER PLANTERS.
3. PROPOSED SANITARY SEWER AND STORM DRAIN INVERT ELEVATIONS, GRATE ELEVATIONS, AND SIZES ARE PRELIMINARY AND SUBJECT TO FINAL DESIGN.
4. ALL IMPROVEMENTS SHOWN OUTSIDE OF THE PARCEL BOUNDARY WILL BE APART OF THE PUBLIC REALM PLANS AND HAVE BEEN SHOWN FOR REFERENCE ONLY.
5. FULL TRASH CAPTURE DEVICES AS APPROVED BY THE WATERBOARD ARE TO BE PROVIDED ON ALL FIELD INLETS AND WILL BE DETAILED ON THE PROJECTS CONSTRUCTION DOCUMENTS.



SCALE: 1" = 20'

**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 7  
 Peninsula Innovation Partners  
 Menlo Park, CA

**MILESTONES**

DATE	ISSUE
04/28/2023	ACP

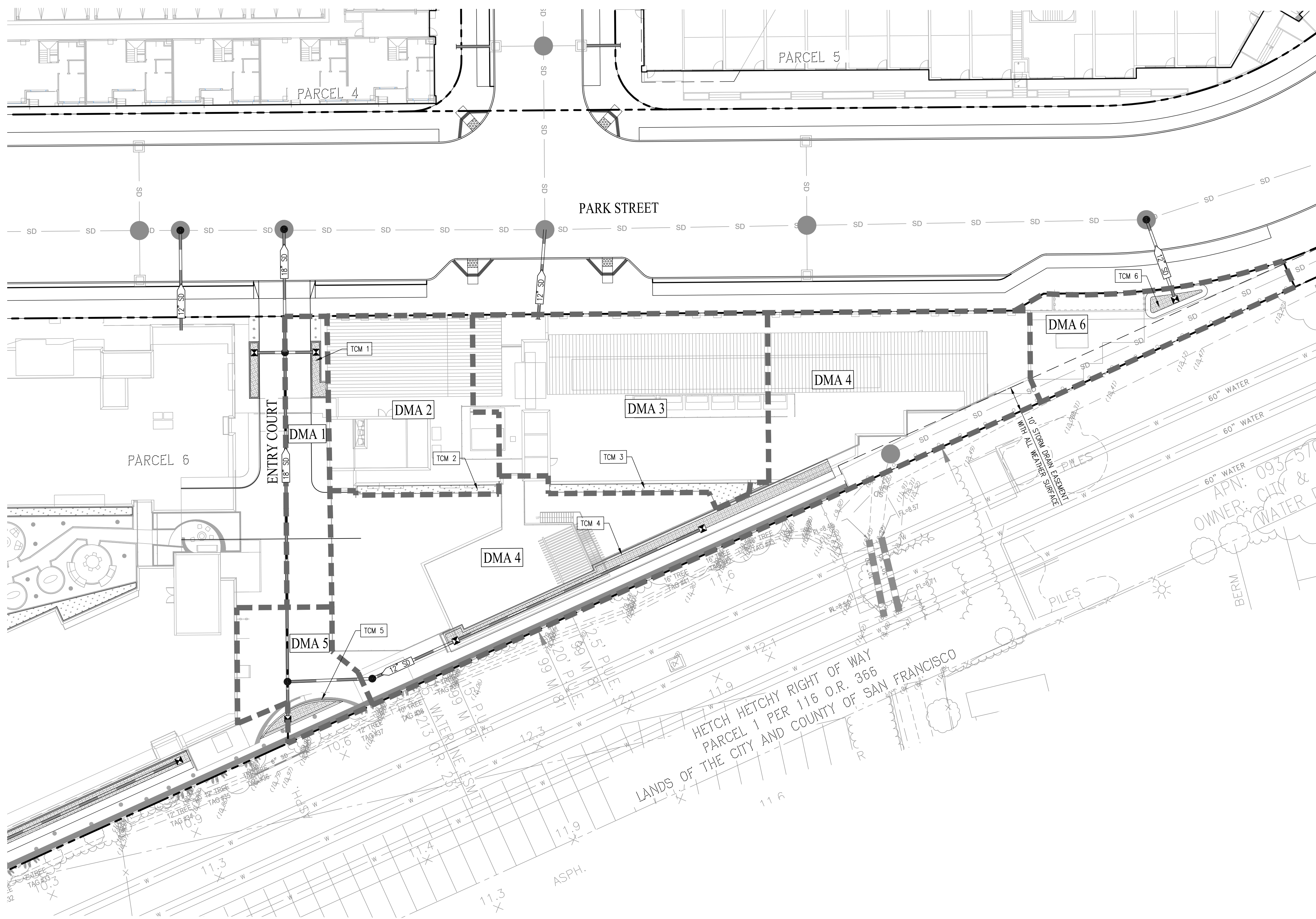
**REVISIONS**

NO.	DATE	ISSUE
-----	------	-------

DRAWING TITLE:  
**UTILITY PLAN**

DRAWING NO:  
**C3.00**





**LEGEND**

- PROPERTY BOUNDARY
- OFFSITE STORM DRAIN (PUBLIC)
- PROPOSED STORM DRAIN (PRIVATE)
- PROPOSED DOWNSPOUT
- PROPOSED MANHOLE (PUBLIC)
- PROPOSED FIELD INLET (PRIVATE)
- RUNOFF DIRECTION
- BIO-RETENTION AREA
- DRAINAGE MANAGEMENT AREA LABEL
- DRAINAGE MANAGEMENT AREA BOUNDARY
- TREATMENT CONTROL MEASURE

**NOTES**

1. STORM DRAIN LAYOUT AND DMA TREATMENT AREAS ARE SUBJECT TO CHANGE WITH FINAL SITE GRADING AND DRAINAGE PLAN. EXACT DOWNSPOUT LOCATIONS AND ROOF RUNOFF AREAS ARE UNKNOWN.
2. BIO-RETENTION AREAS HAVE BEEN DESIGNED PER THE SAN MATEO COUNTY C.3 GUIDANCE MANUAL.
3. BIO-RETENTION AREAS HAVE BEEN SIZED USING THE 4% SIZING METHOD PER CHAPTER 5 OF THE SAN MATEO COUNTY C.3 GUIDANCE MANUAL.
4. ALL IMPROVEMENTS SHOWN OUTSIDE OF THE PARCEL BOUNDARY WILL BE APART OF THE PUBLIC REALM PLANS AND HAVE BEEN SHOWN FOR REFERENCE ONLY.

**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 7  
 Menlo Park, CA  
 PENINSULA INNOVATION PARTNERS

**MILESTONES**

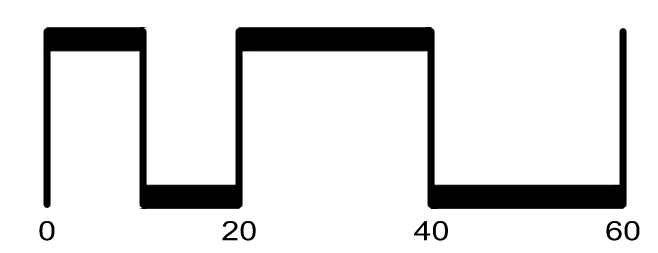
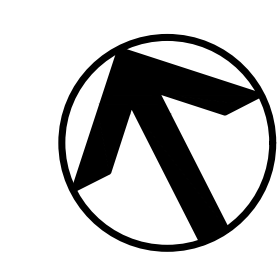
DATE	ISSUE
04/28/2023	ACP

**REVISIONS**

NO.	DATE	ISSUE

**DRAWING TITLE:**  
 STORMWATER CONTROL PLAN

**DRAWING NO.:**  
 C4.00

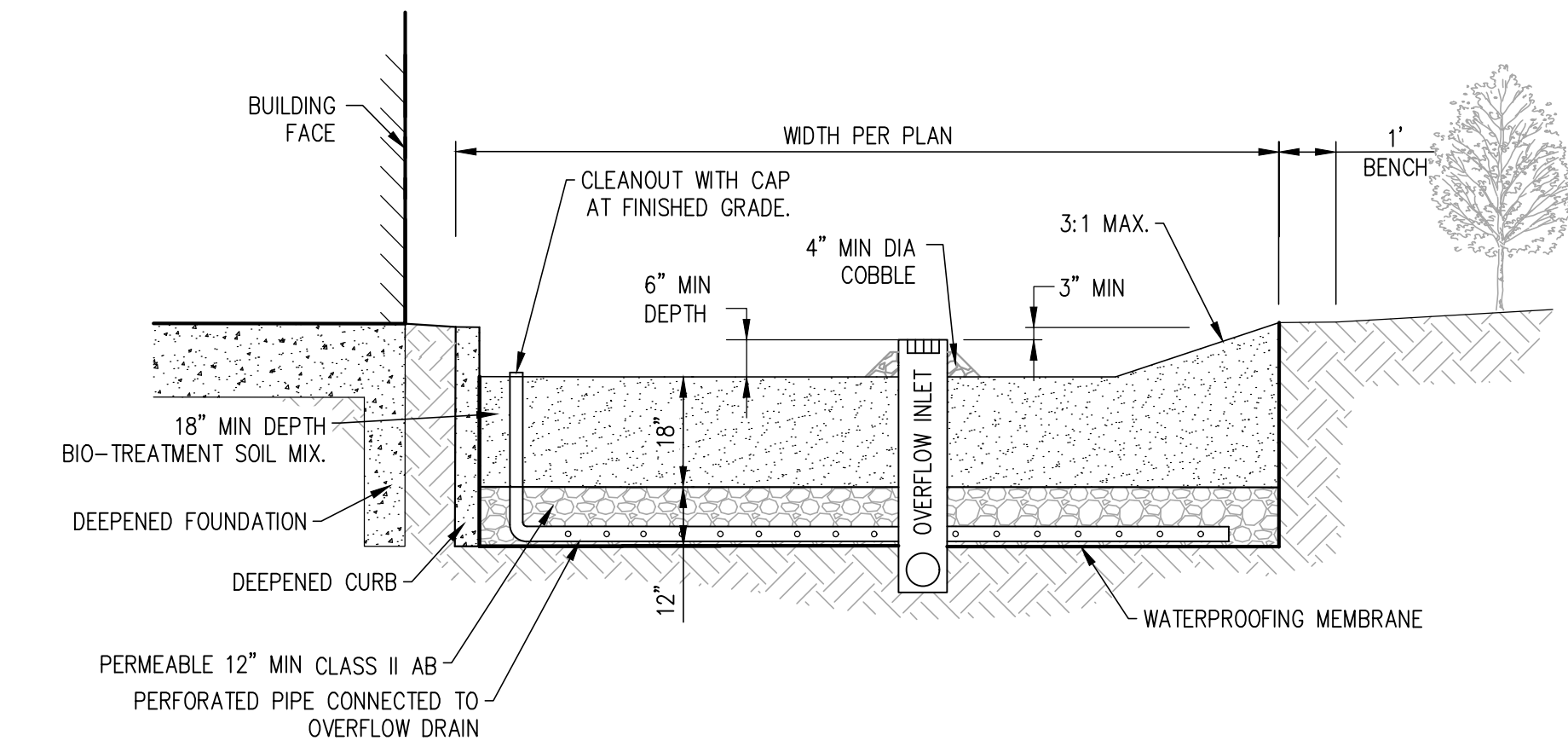


SCALE: 1" = 20'



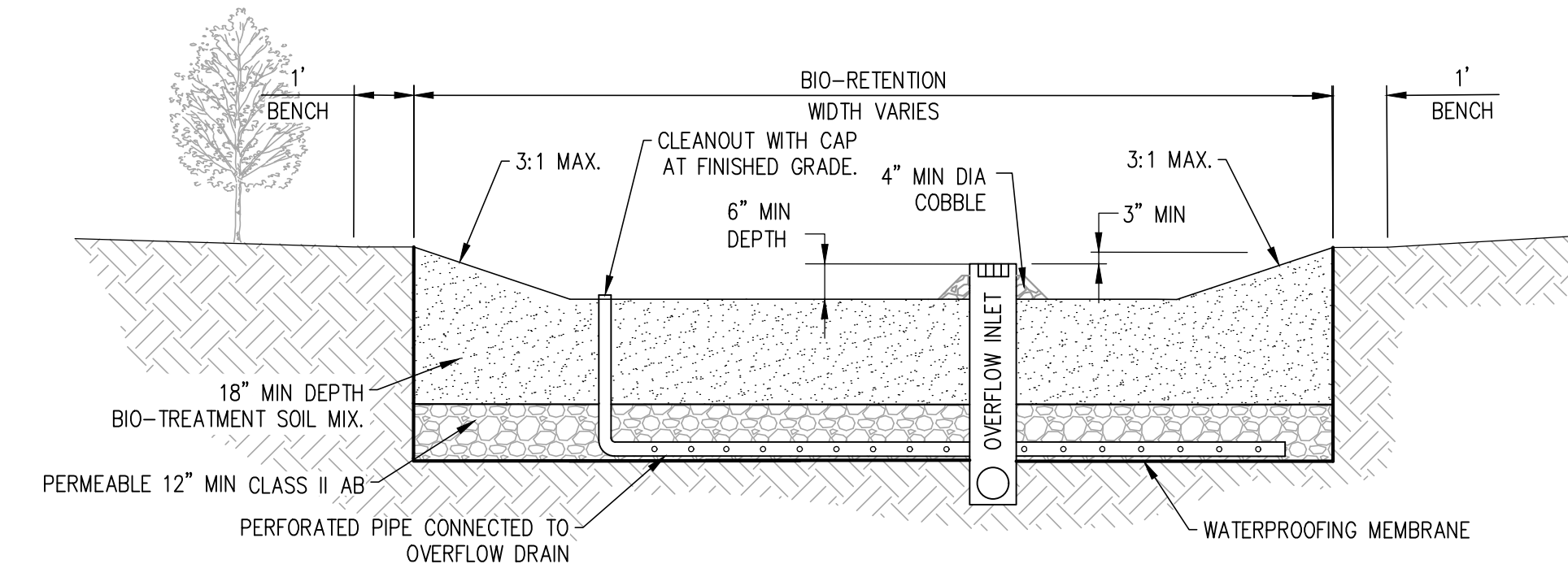
### TREATMENT CONTROL MEASURE CALCULATION SUMMARY TABLE

DMA AREA	TCM #	TREATMENT TYPE	DMA AREA (SF)	IMPERVIOUS AREA (SF)	PERVIOUS AREA (SF)	EFFECTIVE IMPERVIOUS AREA (SF)	SIZING METHOD	REQUIRED BIO-RETENTION AREA (SF)	PROVIDED BIO-RETENTION AREA (SF)
1	1	BIO-RETENTION	1,935	1,388	547	1,443	4%	58	77
2	2	FLOW-THRU PLANTER	4,241	4,077	164	4,0931	4%	164	164
3	3	FLOW-THRU PLANTER	7,604	7,308	296	7,338	4%	294	296
4	4	BIO-RETENTION	15,222	12,522	2,700	12,792	4%	512	512
5	5	BIO-RETENTION	1,921	1,859	62	1,865	4%	75	75
6	6	BIO-RETENTION	2,464	2,464	162	2,464	4%	69	72
		TOTAL	33,387	29,456	3,931	29,849	-	1,172	1,196



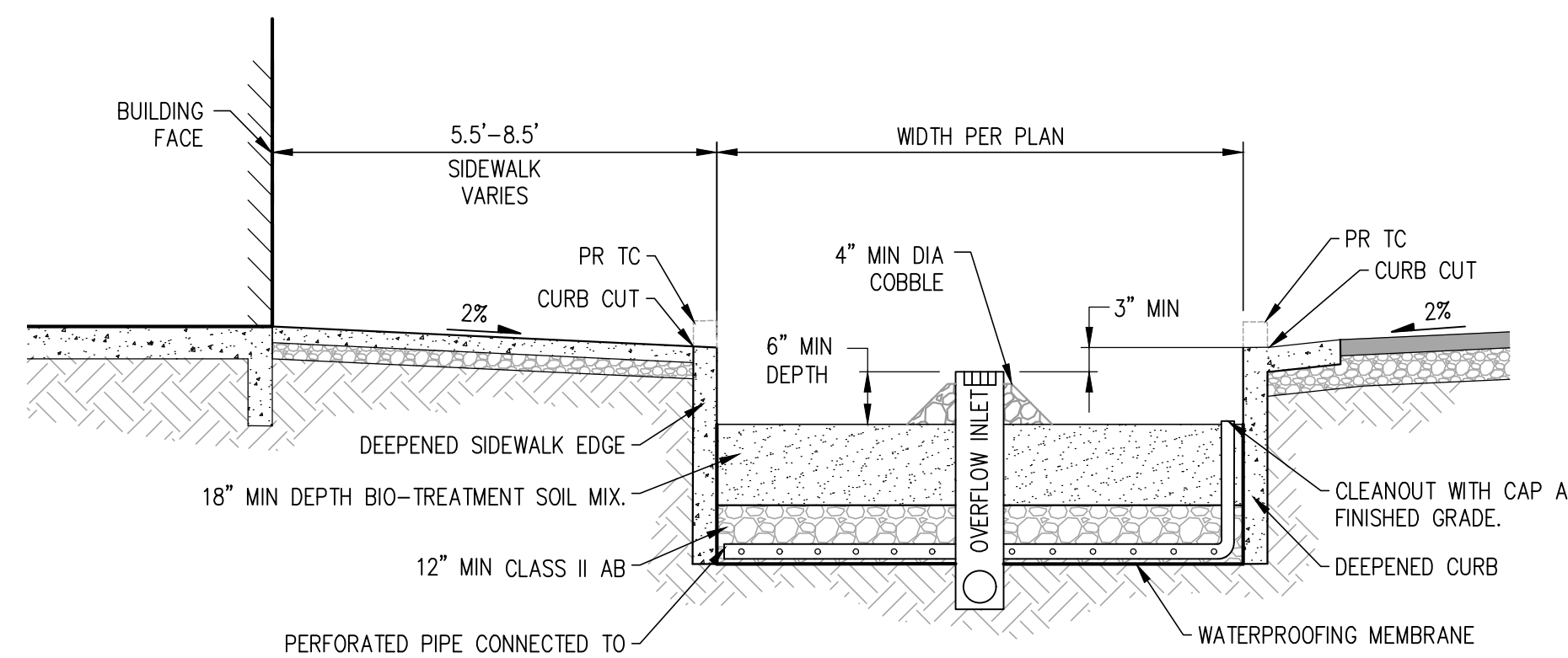
**BIO-RETENTION WITH DEEPENED CURB DETAIL**

TCM-4  
NOT TO SCALE



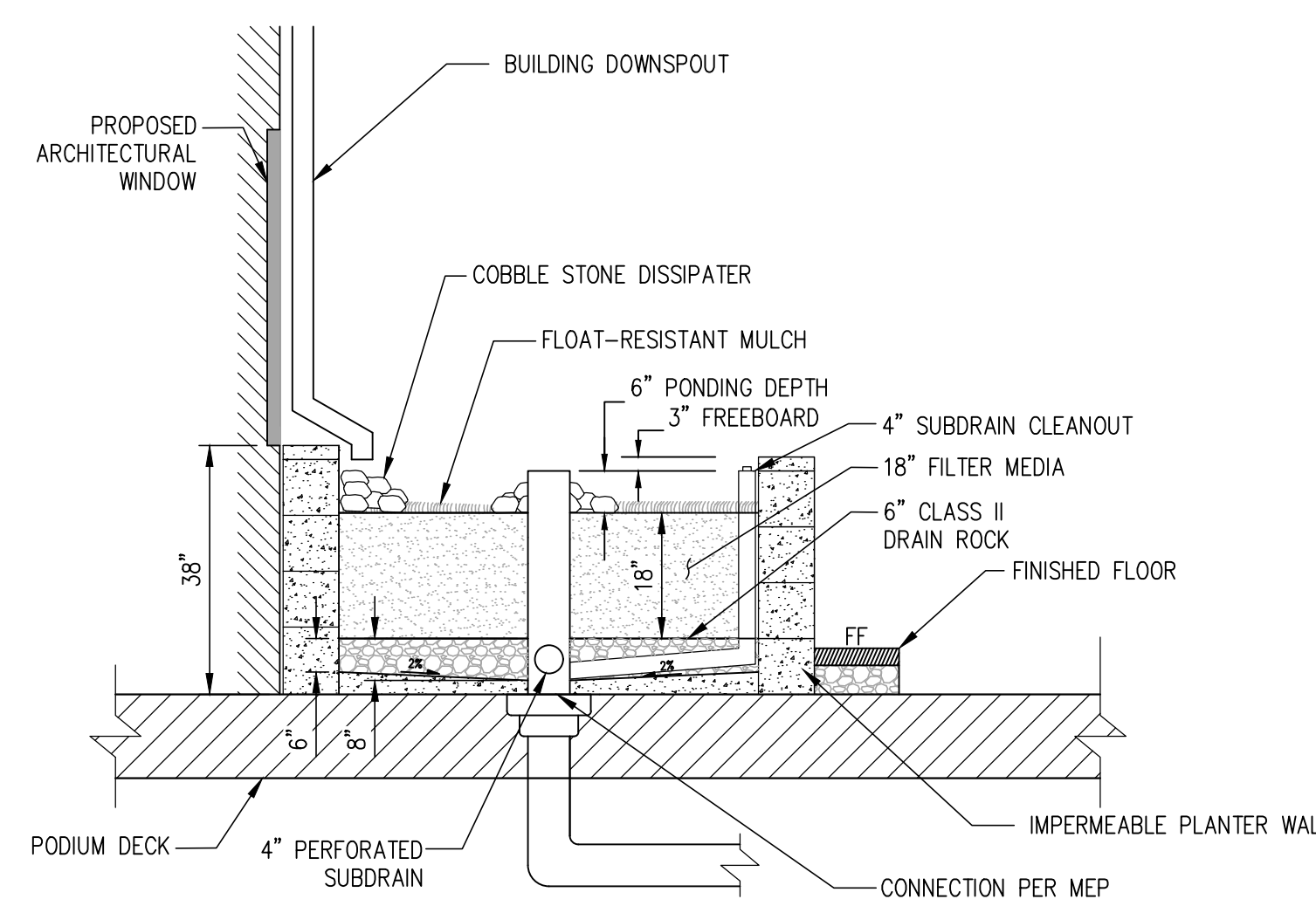
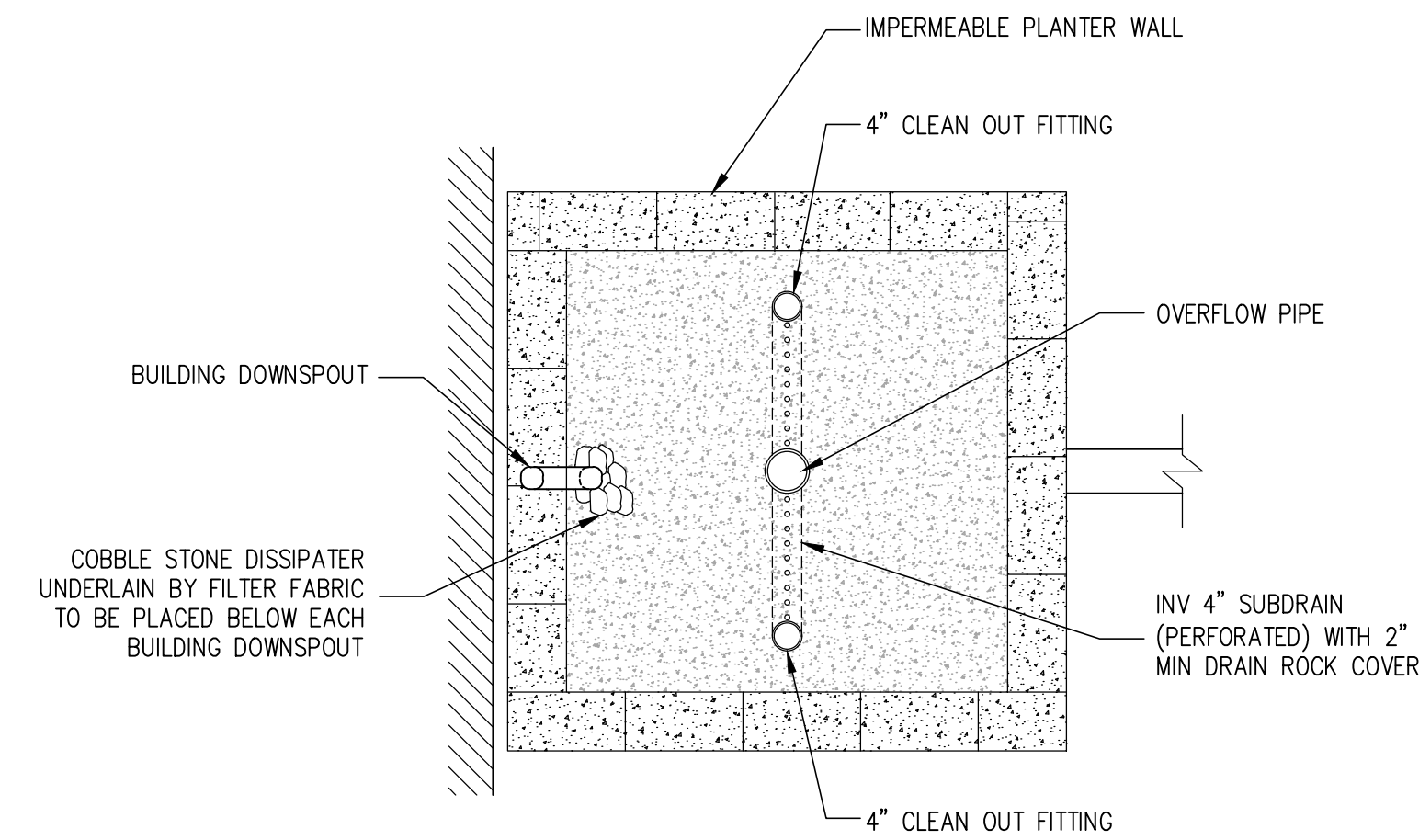
**BIO-RETENTION DETAIL**

TCM-7  
NOT TO SCALE



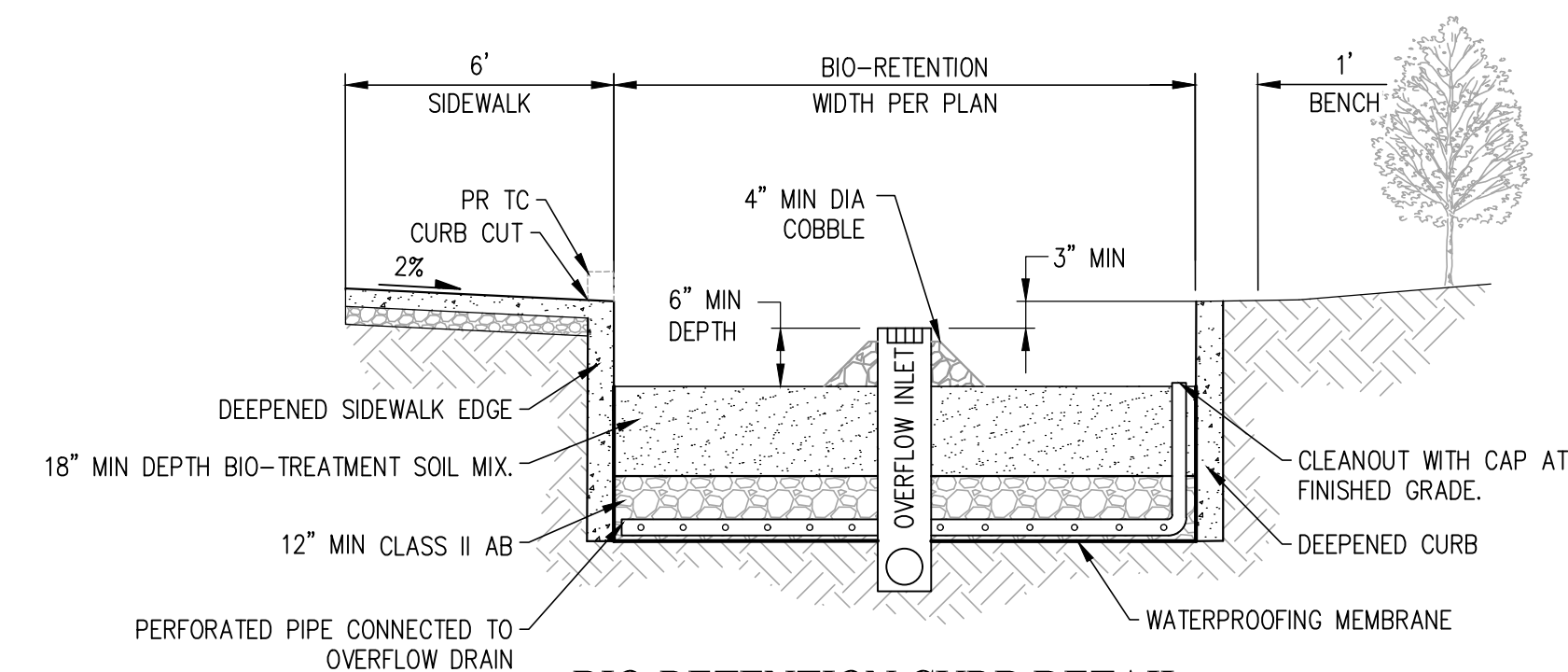
**TYPICAL ENTRY DRIVE  
BIO-RETENTION DETAIL**

TCM 1  
NOT TO SCALE



**TYPICAL FLOW-THRU PLANTER SECTION**

TCM 2, 3  
NOT TO SCALE



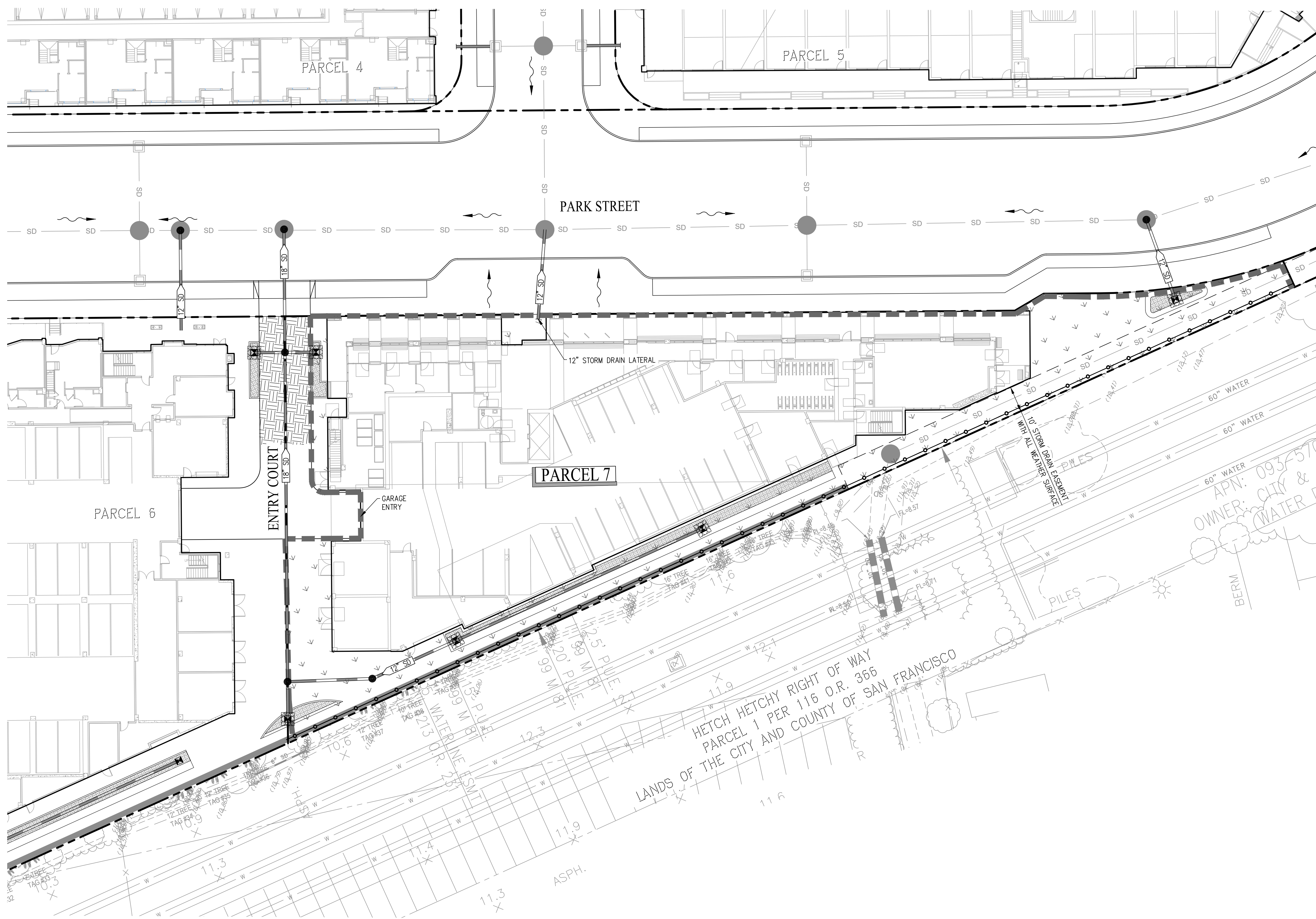
**BIO-RETENTION CURB DETAIL**

TCM 5  
NOT TO SCALE

MILESTONES	
DATE	ISSUE
04/28/2023	ACP

REVISIONS		
NO.	DATE	ISSUE





**LEGEND**

- DIRECTION OF FLOW WITH STORM DRAIN INSTALLED
- FIELD INLET PROTECTION
- CURB INLET PROTECTION
- SILT FENCE
- FIBER ROLL
- HYDROSEED MIX OR HYDROMULCH
- STABILIZED CONSTRUCTION ENTRANCE/EXIT
- FIELD INLET (PRIVATE)
- CURB CUT/SLOT DRAIN
- PROPOSED STORM DRAIN (PRIVATE)
- OFFSITE STORM DRAIN (PUBLIC)
- STORM DRAIN MANHOLE (PUBLIC)

**NOTES**

1. ALL IMPROVEMENTS SHOWN OUTSIDE OF THE PARCEL BOUNDARY WILL BE APART OF THE PUBLIC REALM PLANS AND HAVE BEEN SHOWN FOR REFERENCE ONLY.

**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 7  
 Menlo Park, CA

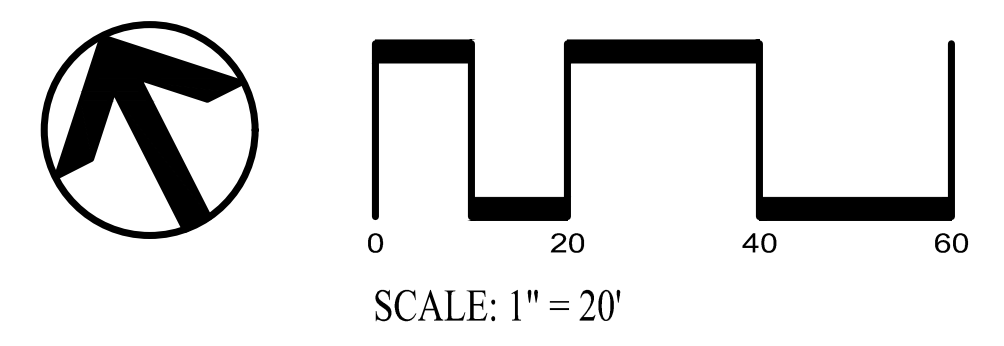
MILESTONES

DATE	ISSUE
04/28/2023	ACP

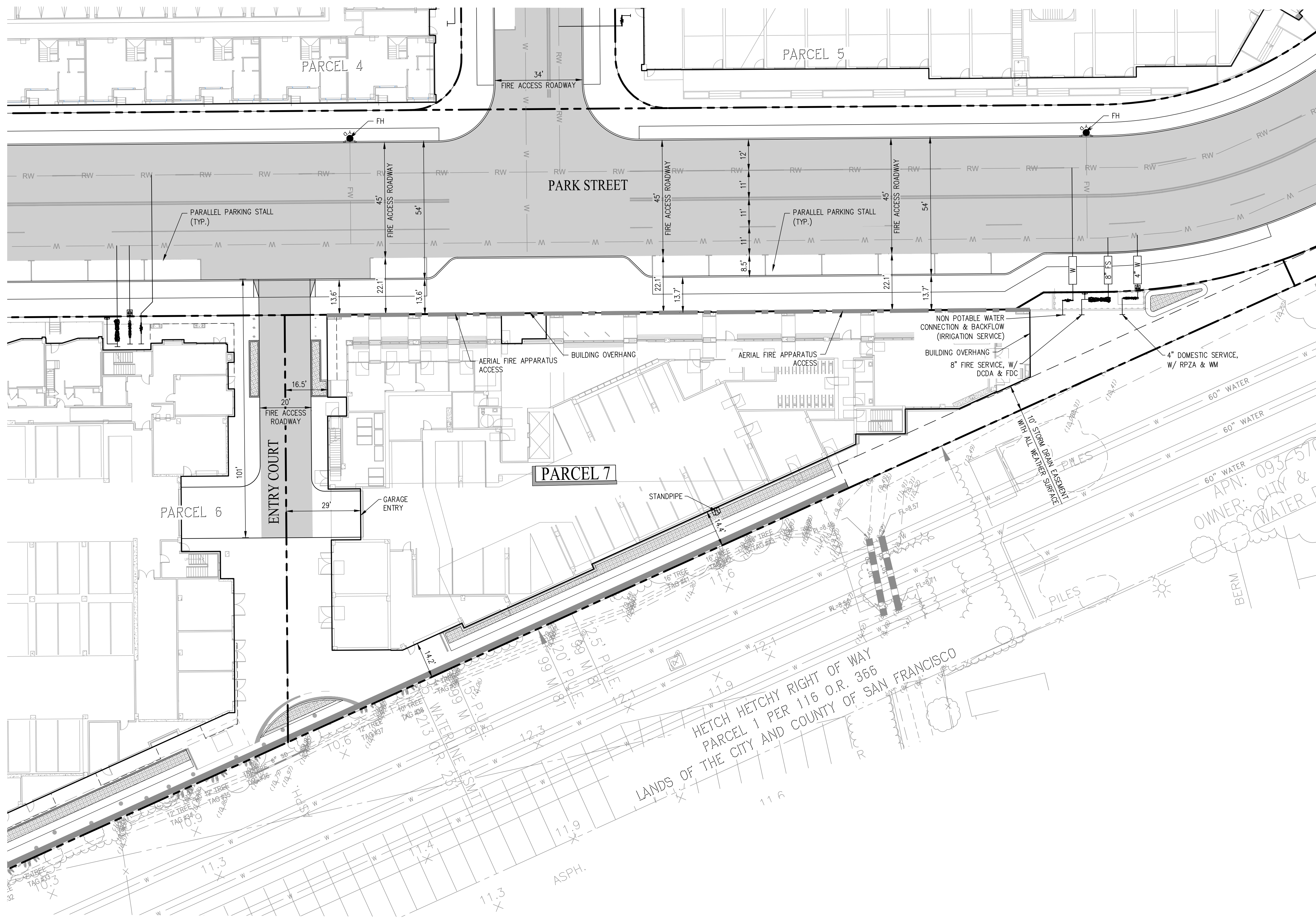
REVISIONS

NO.	DATE	ISSUE

DRAWING TITLE:  
**EROSION CONTROL PLAN**  
 DRAWING NO:  
**C5.00**







- LEGEND:**
- PROPERTY LINE
  - BUILDING OVERHANG
  - AERIAL FIRE APPARATUS ACCESS
  - OFFSITE WATER MAIN (PUBLIC)
  - OFFSITE RECYCLED WATER MAIN (PUBLIC)
  - WATER LATERAL (PRIVATE)
  - FIRE HYDRANT (PUBLIC)
  - STANDPIPE (PRIVATE)
  - WATER METER (PUBLIC)
  - REDUCED PRESSURE ZONE DEVICE (PRIVATE)
  - DOUBLE CHECK DETECTOR ASSEMBLY (PRIVATE)
  - NON POTABLE WATER SERVICE (PRIVATE)
  - PARALLEL PARKING STALL
  - FLOW THROUGH PLANTER
  - BIO-RETENTION AREA
  - FIRE ACCESS ROADWAY
- ABBREVIATIONS:**
- DCDA DOUBLE CHECK DETECTOR BACKFLOW ASSEMBLY
  - FDC FIRE DEPARTMENT CONNECTION
  - FH FIRE HYDRANT
  - FS FIRE SERVICE
  - RPZA REDUCED PRESSURE ZONE BACKFLOW ASSEMBLY
  - RW RECYCLED WATER
  - TYP TYPICAL
  - WM WATER METER
  - W WATER

**NOTES**

- ALL IMPROVEMENTS SHOWN OUTSIDE OF THE PARCEL BOUNDARY WILL BE APART OF THE PUBLIC REALM PLANS AND HAVE BEEN SHOWN FOR REFERENCE ONLY.

**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 7  
 Peninsula Innovation Partners  
 Menlo Park, CA

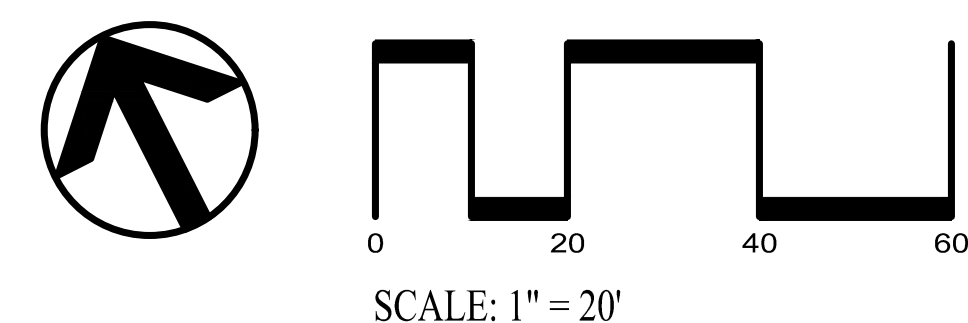
**MILESTONES**

DATE	ISSUE
04/28/2023	ACP

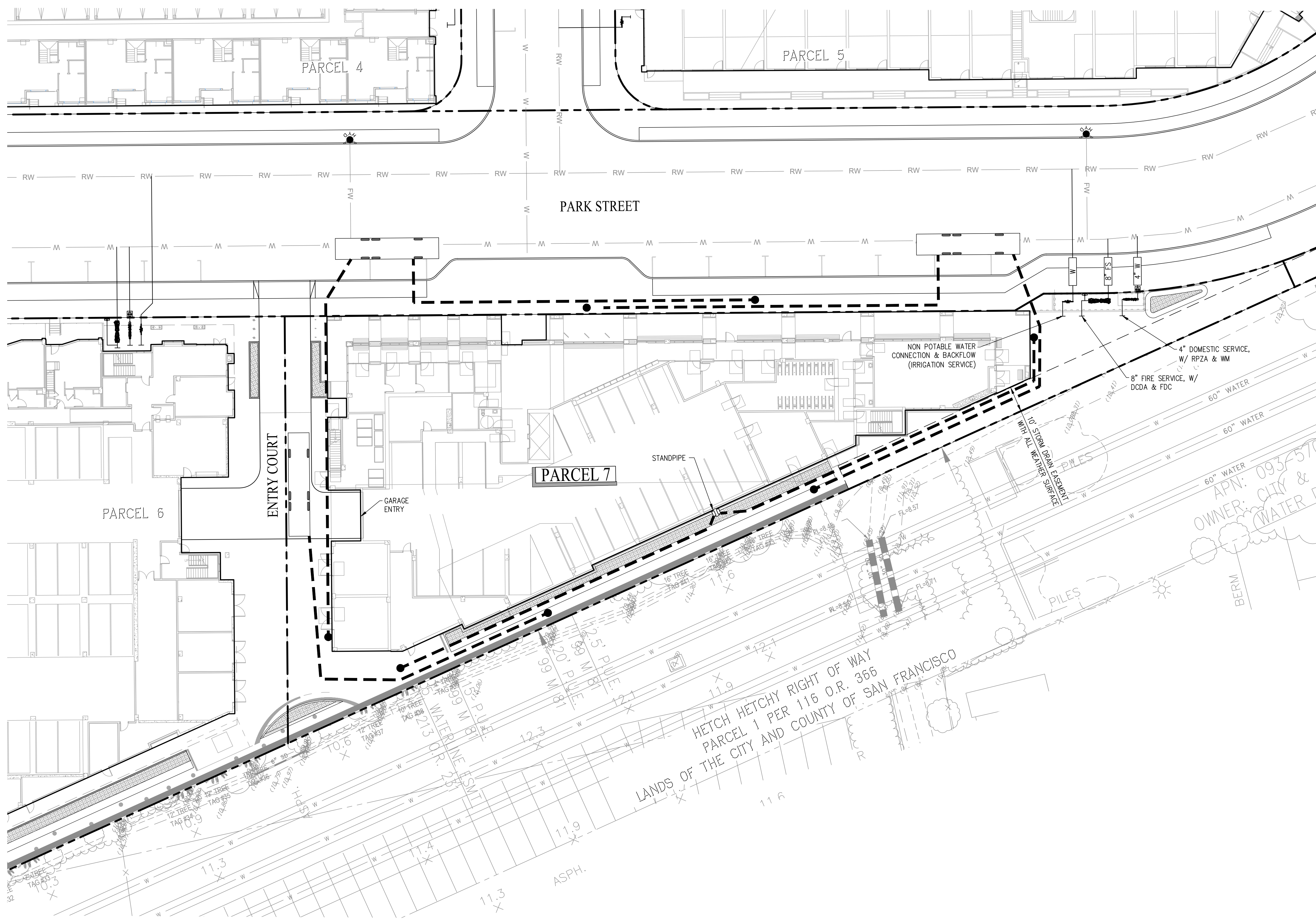
**REVISIONS**

NO.	DATE	ISSUE

DRAWING TITLE:  
**FIRE ACCESS PLAN**  
 DRAWING NO:  
**C6.00**







**LEGEND:**

- PROPERTY LINE
- 150' FIRE HYDRANT HOSE PULL
- OFFSITE WATER MAIN (PUBLIC)
- OFFSITE RECYCLED WATER MAIN (PUBLIC)
- WATER LATERAL (PRIVATE)
- FIRE HYDRANT (PUBLIC)
- STANDPIPE (PRIVATE)
- WATER METER (PUBLIC)
- REDUCED PRESSURE ZONE DEVICE (PRIVATE)
- DOUBLE CHECK DETECTOR ASSEMBLY (PRIVATE)
- NON POTABLE WATER SERVICE (PRIVATE)
- PARALLEL PARKING STALL
- FLOW THROUGH PLANTER
- BIO-RETENTION AREA
- FIRE TRUCK APPARATUS

**ABBREVIATIONS:**

- DCDA DOUBLE CHECK DETECTOR BACKFLOW ASSEMBLY
- FDC FIRE DEPARTMENT CONNECTION
- FH FIRE HYDRANT
- FS FIRE SERVICE
- RPZA REDUCED PRESSURE ZONE BACKFLOW ASSEMBLY
- RW RECYCLED WATER
- TYP TYPICAL
- WM WATER METER
- W WATER

**NOTES**

- ALL IMPROVEMENTS SHOWN OUTSIDE OF THE PARCEL BOUNDARY WILL BE PART OF THE PUBLIC REALM PLANS AND HAVE BEEN SHOWN FOR REFERENCE ONLY.

**PENINSULA INNOVATION PARTNERS**  
  
**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 7  
 Menlo Park, CA

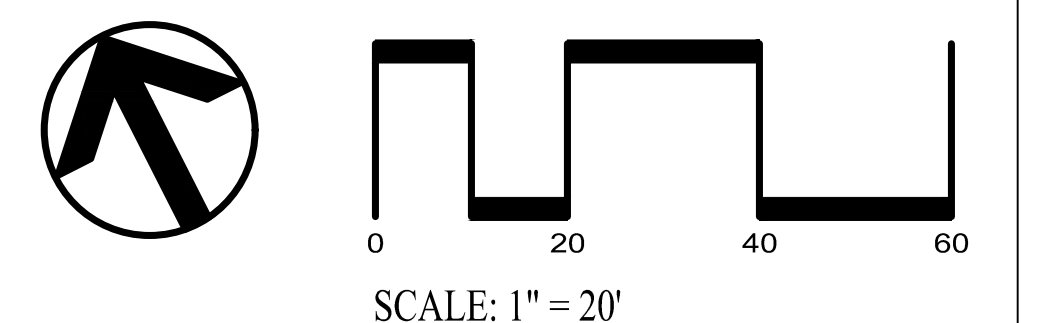
**MILESTONES**

DATE	ISSUE
04/28/2023	ACP

**REVISIONS**

NO.	DATE	ISSUE

DRAWING TITLE:  
**FIRE HYDRANT PLAN**  
  
 DRAWING NO:  
**C6.01**



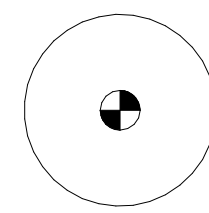


# INDEX SHEET

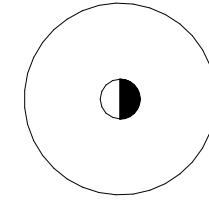
L0.00	PARCEL 7 LANDSCAPE INDEX SHEET AND PLANTING SCHEDULE
L0.01	PARCEL 7 LANDSCAPE COMPOSITE PLAN
L1.01	PARCEL 7 LANDSCAPE GROUND LEVEL MATERIALS PLAN
L1.02	PARCEL 7 LANDSCAPE LEVEL 2 MATERIALS PLAN
L1.03	PARCEL 7 LANDSCAPE LEVEL 5 MATERIALS PLAN
L2.01	PARCEL 7 LANDSCAPE GROUND LEVEL PLANTING PLAN
L2.01A	PARCEL 7 LANDSCAPE GROUND LEVEL PLANTING PLAN IMAGES
L2.02	PARCEL 7 LANDSCAPE LEVEL 2 PLANTING PLAN
L2.02A	PARCEL 7 LANDSCAPE LEVEL 2 PLANTING PLAN IMAGES
L2.03	PARCEL 7 LANDSCAPE LEVEL 5 PLANTING PLAN
L3.01	PARCEL 7 LANDSCAPE GROUND LEVEL IRRIGATION ZONE PLAN
L3.02	PARCEL 7 LANDSCAPE LEVEL 2 IRRIGATION ZONE PLAN
L3.03	PARCEL 7 LANDSCAPE LEVEL 5 IRRIGATION ZONE PLAN

# PLANTING SCHEDULE

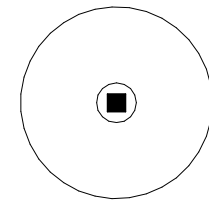
## GROUND PLANTING



**SOUTH BORDER CONIFEROUS TREE**  
 REPRESENTATIVE SPECIES INCLUDE:  
 -CEDRUS DEODAR  
 -PINUS CANARIENSIS  
 -SIZE: 48" BOX  
 -SPACING: SEE PLANS  
 -IRRIGATION: 2 BUBBLERS PER TREE  
 -COUNT: 10



**SOUTH BORDER DECIDUOUS TREE**  
 REPRESENTATIVE SPECIES INCLUDE:  
 -GINKGO BILOBA 'PRINCETON SENTRY'  
 -ACER X FREEMANII 'ARMSTRONG'  
 -SIZE: 48" BOX  
 -SPACING: SEE PLANS  
 -IRRIGATION: 2 BUBBLERS PER TREE  
 -COUNT: 6



**SOUTH BORDER ACCENT TREE**  
 -PLANT TYPE:  
 -CORNUS KOUSA 'EDDIE'S WHITE WONDER'  
 -SIZE: 48" BOX  
 -SPACING: SEE PLANS  
 -IRRIGATION: 2 BUBBLERS PER TREE  
 -COUNT: 2



**BIOTREATMENT PLANTING**  
 REPRESENTATIVE SPECIES INCLUDE:  
 -CAREX DIVULSA  
 -CHONDRAPETALUM TECTORUM  
 -DESCHAMPSIA CESPITOSA  
 -JUNCUS PATENS  
 -ROSA CALIFORNICA  
 -SYMPHORICARPOS ALBUS  
 -SIZE: 5 GAL  
 -SPACING: 24" OCEW  
 -IRRIGATION: ALLOW FOR NETAFIM  
 SUBSURFACE IRRIGATION SYSTEM, 18" OCEW



**SOUTH BORDER BUFFER PLANTING\***  
 REPRESENTATIVE SPECIES INCLUDE:  
 -HEUCHERA MAXIMA  
 -POLYSTICHUM MUNITUM  
 -SIZE: 5 GAL  
 -SPACING: 24" OCEW  
 -IRRIGATION: ALLOW FOR NETAFIM  
 SUBSURFACE IRRIGATION SYSTEM, 18" OCEW



**NORTH VINE PLANTING**  
 -PLANT TYPE: FICUS PUMILA  
 -SIZE: 5 GAL  
 -SPACING: 24" OCEW  
 -IRRIGATION: ALLOW FOR NETAFIM  
 SUBSURFACE IRRIGATION SYSTEM, 18" OCEW



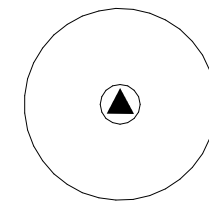
**STREETSCAPE PLANTING**  
 REPRESENTATIVE SPECIES INCLUDE:  
 -BOUTELLOUA GRACILIS  
 -LOMANDRA 'PLATINUM BEAUTY'  
 -MUHLENBERGIA CAPILLARIS 'PINK MUHLY GRASS'  
 -SALVIA ELEGANS  
 -SALVIA 'ANTHONY PARKER'  
 -SIZE: 5 GAL  
 -SPACING: 24" OCEW  
 -IRRIGATION: ALLOW FOR NETAFIM  
 SUBSURFACE IRRIGATION SYSTEM, 18" OCEW



**VINE PLANTING**  
 -PLANT TYPE:  
 -BOUGAINVILLEA  
 -SIZE: 15 GALLON  
 -SPACING: 6'  
 -IRRIGATION: ALLOW FOR NETAFIM  
 SUBSURFACE IRRIGATION SYSTEM, 18" OCEW

\*NOTE- DENOTES UNDERSTORY PLANTING

## PODIUM PLANTING



**ACCENT TREE**  
 -REPRESENTATIVE SPECIES INCLUDE:  
 -MAGNOLIA LILIFLORA  
 -TIBOUCHINA URVILLEANA  
 -SIZE: 36" BOX  
 -IRRIGATION: 2 BUBBLERS PER TREE  
 -COUNT: 7



**SENSORY GARDEN PLANTING\***  
 REPRESENTATIVE SPECIES INCLUDE:  
 -GARDENIA SCENT AMAZING  
 -PEROVSKIA ATRIPLICIFOLIA  
 -SALVIA 'LITTLE KISS'  
 -WESTRINGIA FRUTICOSA  
 -SIZE: 5 GAL  
 -SPACING: 24" OCEW  
 -IRRIGATION: ALLOW FOR NETAFIM  
 SUBSURFACE IRRIGATION SYSTEM, 18" OCEW



**BUFFER PLANTING**  
 -PLANT TYPE:  
 -BAMBOO TEXTILIS VAR. GRACILIS OR SIMILAR  
 -SIZE: 15" GAL  
 -IRRIGATION: ALLOW FOR NETAFIM  
 SUBSURFACE IRRIGATION SYSTEM, 18" OCEW



**BIOTREATMENT PLANTING\***  
 REPRESENTATIVE SPECIES INCLUDE:  
 -CHONDRAPETALUM TECTORUM  
 -GAULTHERIA SHALLOM  
 -JUNCUS PATENS  
 -MYRICA CALIFORNICA  
 -SIZE: 5 GAL  
 -SPACING: 24" OCEW  
 -IRRIGATION: ALLOW FOR NETAFIM  
 SUBSURFACE IRRIGATION SYSTEM, 18" OCEW



**VINE PLANTING**  
 -PLANT TYPE:  
 -BOUGAINVILLEA  
 -SIZE: 15 GALLON  
 -SPACING: 6'  
 -IRRIGATION: ALLOW FOR NETAFIM  
 SUBSURFACE IRRIGATION SYSTEM, 18" OCEW

\*NOTE- DENOTES UNDERSTORY PLANTING

## TERRACE PLANTING



**TERRACE PLANTING**  
 REPRESENTATIVE SPECIES INCLUDE:  
 -ANIGOZANTHOS HYBRID  
 -BOUTELLOUA 'BLONDE AMBITION'  
 -CALANDRINIA GRANDIFLORA  
 -SIZE: 5 GAL  
 -SPACING: 24" OCEW  
 -IRRIGATION: ALLOW FOR NETAFIM  
 SUBSURFACE IRRIGATION SYSTEM, 18" OCEW

HERITAGE TREE REPLACEMENT (QUALIFIED TREES ONLY)					
Botanical Name	Common Name	Quantity	Unit Size	Unit Value	Value
Acer X Freemanii 'Armstrong'	Armstrong Red Maple	4	48" box	\$ 5,000	\$ 20,000
Cedrus deodar	Deodar Cedar	4	48" box	\$ 5,000	\$ 20,000
Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Maidenhair Tree	4	48" box	\$ 5,000	\$ 20,000
Pinus canariensis	Canary Island Pine	4	48" box	\$ 5,000	\$ 20,000
		<b>16</b>			<b>\$ 80,000</b>

SCALE: NTS

NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

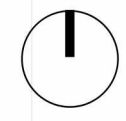
MILESTONES

DATE	ISSUE
04/28/2023	ACP

REVISIONS

NO.	DATE	ISSUE





SCALE: 1" = 20'-0"  
NOTE: THIS DRAWING IS FOR AS SHOWN. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES

DATE	ISSUE
04/28/2023	ACP

REVISIONS

NO.	DATE	ISSUE



MILESTONES	
DATE	ISSUE
04/28/2023	ACP

REVISIONS		
NO.	DATE	ISSUE



**LANDSCAPE FRONTAGE DELINEATION**

- INCLUDED IN LANDSCAPE FRONTAGE CALCULATION - OSF
- NOT INCLUDED IN LANDSCAPE FRONTAGE CALCULATION - ACTIVE FRONTAGE
- NOT INCLUDED IN LANDSCAPE FRONTAGE CALCULATION - PART OF PLANNING DEFINED BUILDING GROSS FLOOR AREA

**LANDSCAPE FRONTAGE CALCULATIONS**

TOTAL FRONTAGE AREA - OSF  
NO FRONTAGE AREA IS BEING CALCULATED FOR THIS PARCEL DUE TO 100% OF THE LANDSCAPE FRONTAGE DELINEATION AS EITHER ACTIVE USE OR BUILDING GROSS FLOOR AREA, BOTH OF WHICH ARE NOT INCLUDED IN LANDSCAPE FRONTAGE CALCULATIONS.



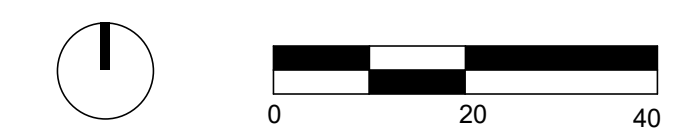
LANDSCAPE REFERENCE IMAGES



'BOLA' BIKE RACK BY LANDSCAPE FORMS  
7 BIKE RACKS, 14 SPACES



DECORATIVE SCREEN AT BACKFLOW PREVENTERS





SCALE: As indicated  
NOTE: THIS DRAWING IS BID AS, DO NOT SCALE. DRAWINGS THE FIGURE DIMENSIONS ONLY. FOR NEAR CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT RESEARCHED.

MILESTONES	
DATE	ISSUE
04/28/2023	ACP

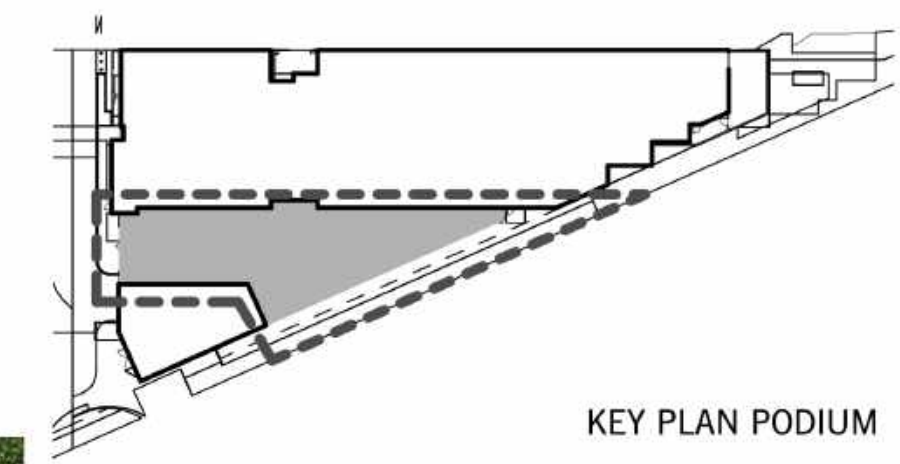
REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:  
**PARCEL 7 LANDSCAPE  
LEVEL 2 MATERIALS  
PLAN**

DRAWING NO:  
**L1.02**



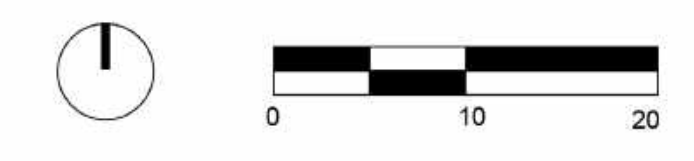
LEVEL 4 PLAN



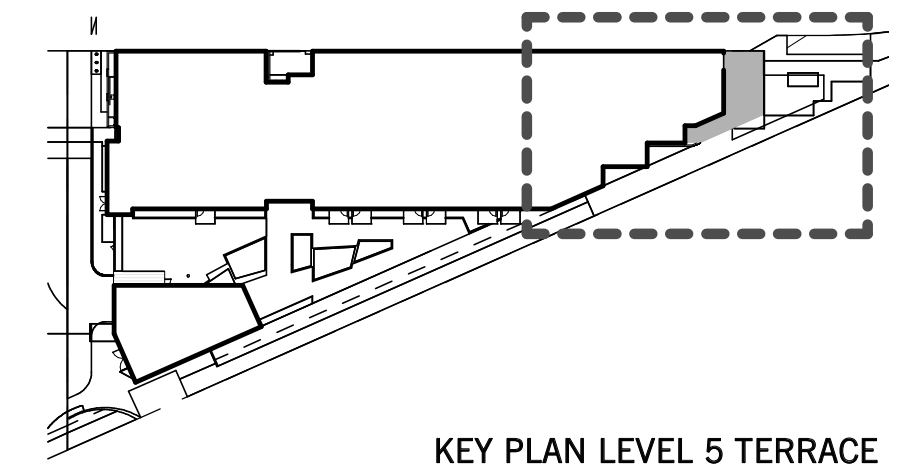
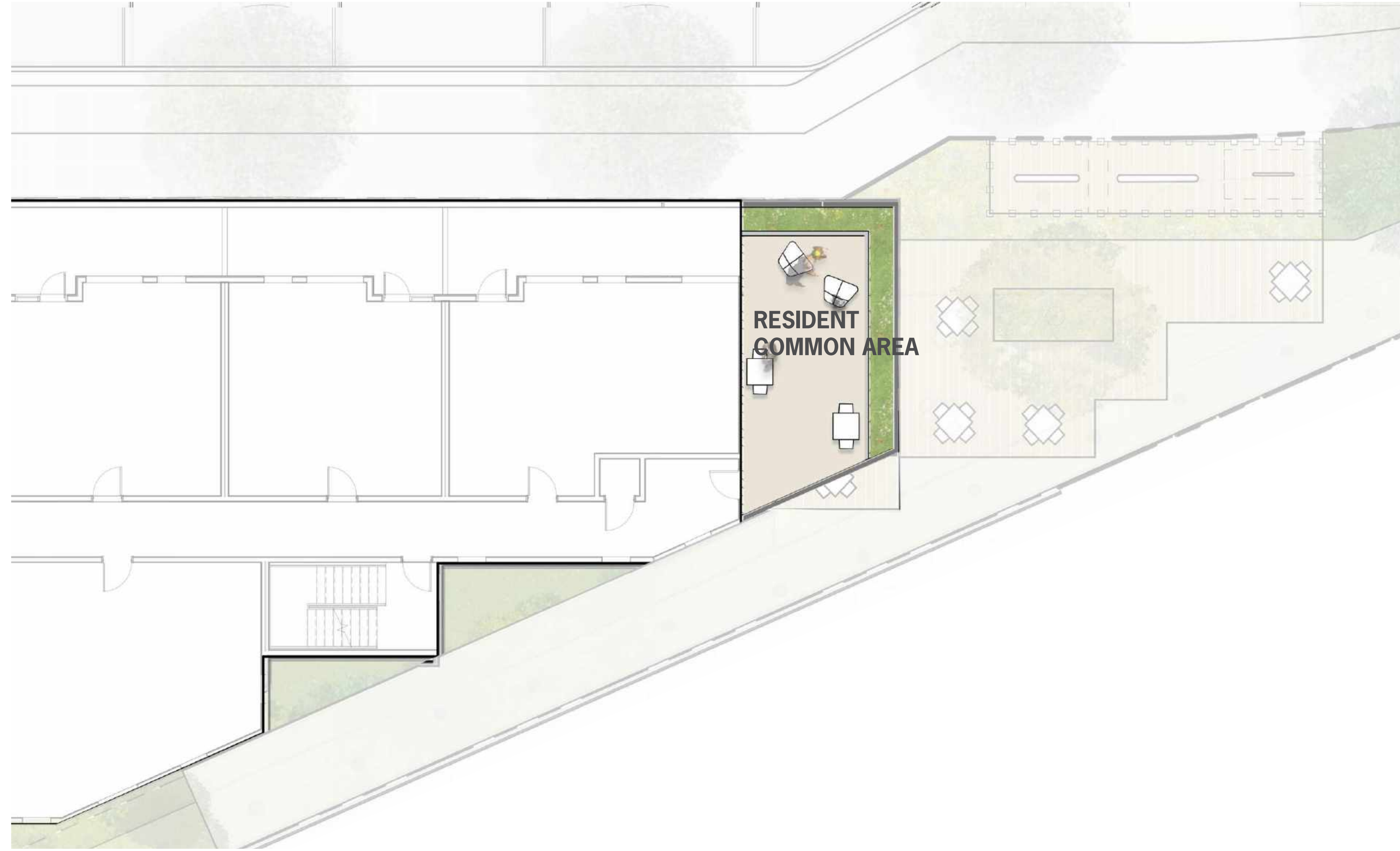
KEY PLAN PODIUM



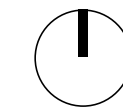
LANDSCAPE REFERENCE IMAGES







KEY PLAN LEVEL 5 TERRACE



SCALE: As indicated  
NOTE: THIS DRAWING IS 50% A.S. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES

DATE	ISSUE
04/28/2023	ACP

REVISIONS

NO.	DATE	ISSUE

DRAWING TITLE:  
**PARCEL 7 LANDSCAPE  
LEVEL 5 MATERIALS  
PLAN**

DRAWING NO:

**L1.03**





SCALE: 1" = 20'-0"  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
04/28/2023	ACP

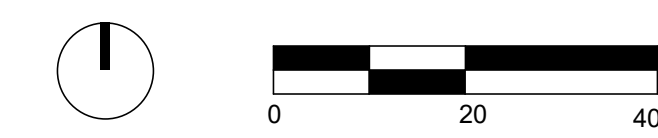
REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:  
PARCEL 7 LANDSCAPE  
GROUND LEVEL  
PLANTING PLAN

DRAWING NO:  
**L2.01**



LANDSCAPE REFERENCE IMAGES





SCALE:  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES

DATE	ISSUE
04/28/2023	ACP

REVISIONS

NO.	DATE	ISSUE

DRAWING TITLE:  
**PARCEL 7 LANDSCAPE  
 GROUND LEVEL  
 PLANTING PLAN  
 IMAGES**

DRAWING NO:  
**L2.01A**

BIOTREATMENT PLANTING



Carex divulsa  
European Grey Sedge



Chondropetalum tectorum  
Small Cape Rush



Deschampsia cespitosa  
Tufted Hairgrass CA NATIVE



Juncus patens  
Common Rush CA NATIVE



Rosa Californica  
California Wild Rose CA NATIVE



Symphoricarpos Albus  
Common Snowberry CA NATIVE

SOUTH BORDER BUFFER PLANTING



Acer rubrum 'Armstrong'  
Armstrong Red Maple



Cedrus deodara  
Deodar Cedar



Cornus kousa  
Kousa Dogwood



Ginkgo biloba 'Princeton Sentry'  
Princeton Sentry Maidenhair Tree



Pinus canariensis  
Canary Island Pine



Polystichum munitum  
Western Sword Fern CA NATIVE



Heuchera maxima  
Island Alum Root CA NATIVE



MILESTONES	
DATE	ISSUE
04/28/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

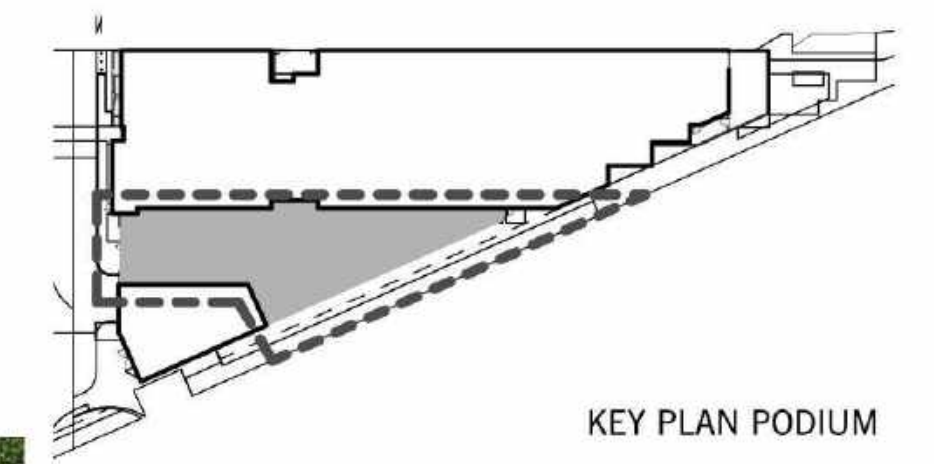


▲ ACCENT TREE  
-MAGNOLIA LILIFLORA  
-TIBOUCHINA URVILLEANA

- P7 PODIUM SENSORY GARDEN PLANTING
- P7 PODIUM BUFFER PLANTING
- P7 PODIUM BIOTREATMENT PLANTING
- P7 PODIUM VINE PLANTING

SEE SHEET L2.02A FOR PLANT LIST AND IMAGES

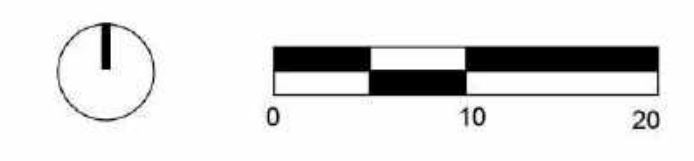
LEVEL 4 PLAN



KEY PLAN PODIUM



LANDSCAPE REFERENCE IMAGES





SENSORY GARDEN PLANTING



Gardenia jasminoides 'Leetwo'  
Gardenia



Olea europaea 'Montra'  
'Little Ollie' Dwarf Olive



Perovskia atriplicifolia  
Russian Sage



Salvia microphylla 'Killer Cranberry'  
Autumn Sage



Salvia microphylla 'Little Kiss'  
Cherry Sage



Westringia fruticosa  
Coastal Rosemary



Tibouchina urvilleana  
Princess Flower Tree



Magnolia liliflora  
Lily Magnolia

BIOTREATMENT PLANTING



Chondropetalum tectorum  
Small Cape Rush



Gaultheria shallon  
Salal CA NATIVE



Juncus patens  
Common Rush CA NATIVE



Myrica californica  
California Waxmyrtle CA NATIVE

BUFFER PLANTING



Bambusa textilis 'Gracilis'  
Slender Weavers

VINE PLANTING



BOUGAINVILLEA

PENINSULA INNOVATION PARTNERS

**WILLOW VILLAGE**  
Architectural Control Package - Parcel 6  
Menlo Park, CA

SCALE:  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
04/28/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:  
**PARCEL 7 LANDSCAPE  
LEVEL 2 PLANTING  
PLAN IMAGES**

DRAWING NO:  
**L2.02A**



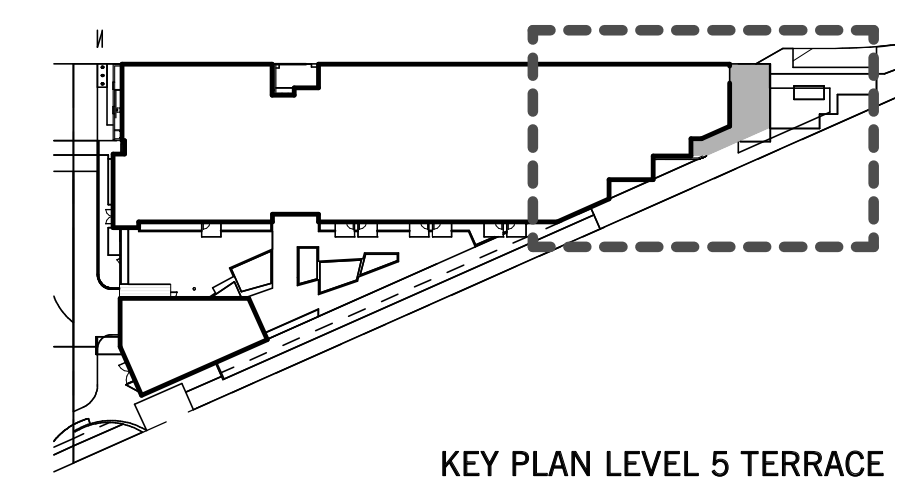
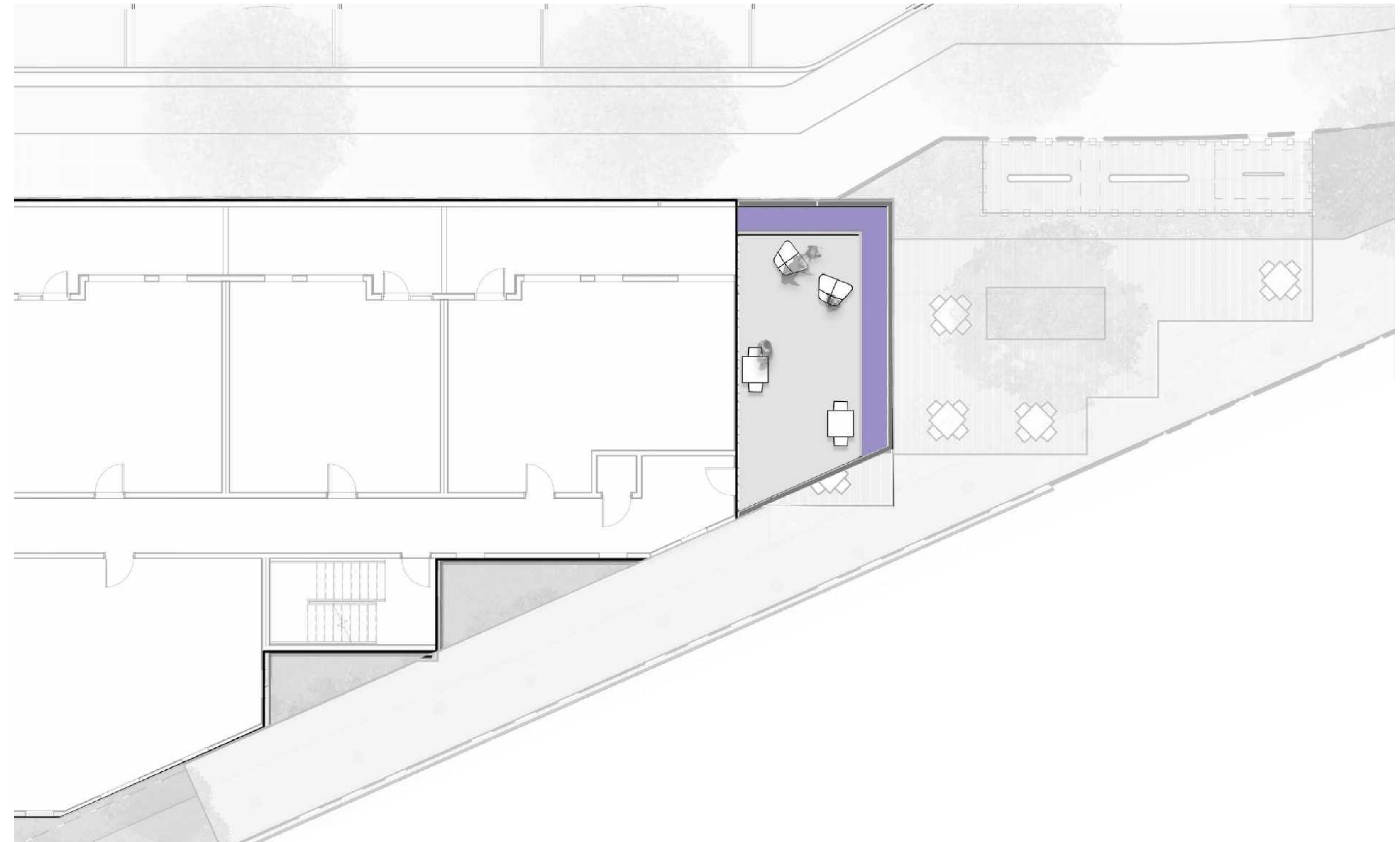
SCALE: 1" = 10'-0"  
NOTE: THIS DRAWING IS SO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR BEST CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
04/28/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:  
**PARCEL 7 LANDSCAPE  
 LEVEL 5 PLANTING  
 PLAN**

DRAWING NO:  
**L2.03**



TERRACE PLANTING



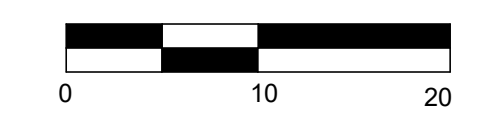
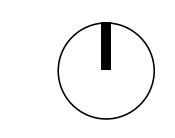
Anigozanthos Hybrid  
Kangaroo Paw



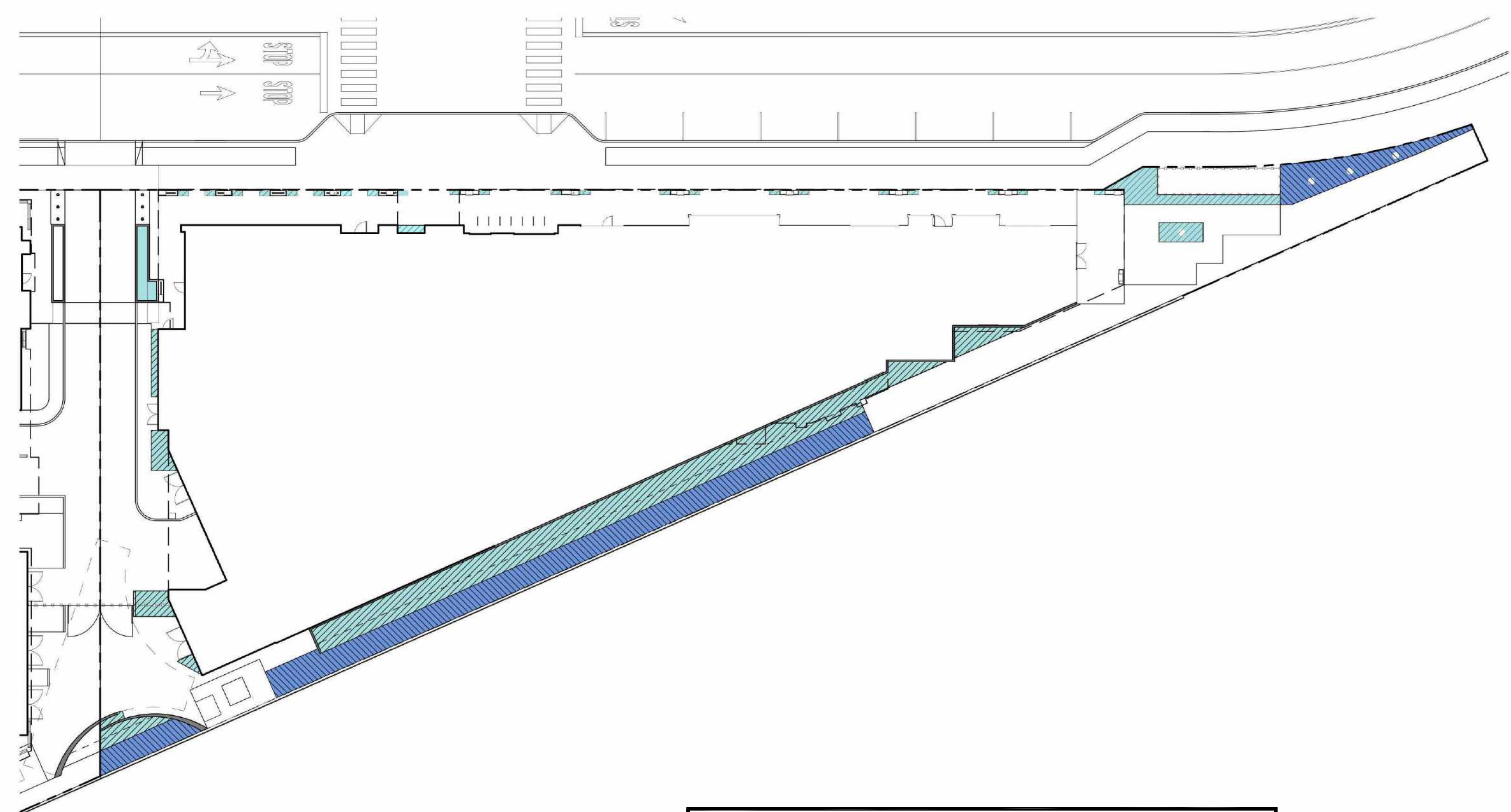
Bouteloua 'Blonde Ambition'  
Blue Grama Grass CA NATIVE



Calandrinia Grandiflora  
Rock Purslane







PRELIMINARY WELO CALCULATIONS

California Water Efficient Landscape Worksheet							
Reference Evapotranspiration (ET <sub>r</sub> )	42.8		Project Type	Non-Residential		0.45	
Hydrozone # / Planting Description <sup>a</sup>	Plant Factor (PF)	Irrigation Method <sup>b</sup>	Irrigation Efficiency (IE) <sup>c</sup>	ETAF (PF/IE)	Landscape Area (Sq. Ft.)	ETAF x Area	Estimated Total Water Use (ETWU) <sup>d</sup>
<b>Regular Landscape Areas</b>							
1 - Low Shrubs	0.2	Drip	0.81	0.25	5961	1472	39057
2 - Medium Trees	0.6	Drip	0.81	0.74	175	130	3440
3 - Medium Stromwater	0.5	Drip	0.81	0.62	4074	2515	66733
Totals					10210	4116	109230
<b>Special Landscape Areas</b>							
					1	0	0
					1	0	0
					1	0	0
					1	0	0
Totals					0	0	0
						<b>ETWU Total</b>	109230
						<b>Maximum Allowed Water Allowance (MAWA)</b>	121920
<b>ETAF Calculations</b>							
Regular Landscape Areas				<b>Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.</b>			
Total ETAF x Area	4116						
Total Area	10210						
Average ETAF	0.40						
All Landscape Areas							
Total ETAF x Area	4116						
Total Area	10210						
Average ETAF	0.40						

WATER USAGE LEGEND	
KEY	WUCOLS CATEGORY
	LOW 2,866 SF
	MEDIUM 3,249 SF
	HIGH 0 SF

\*Based upon total Landscape Area of 10,210 SF

All planted areas are to be watered with an approved automatic underground irrigation system. Recycled recycled irrigation water will be delivered by drip irrigation devices. The system shall be designed to make efficient use of water through conservation techniques, and be in compliance with resolution 6261, as required by the State of California.

An application and detailed landscape irrigation plan will be submitted with the building permit submittal package. All planting and irrigation will be in compliance with the city's Water Efficient Landscape Ordinance.

The final construction documents will provide the contractor with an understanding of the design intent for the maintenance of the planting areas regarding care and pruning of the site. The maintenance contractor shall furnish all labor, equipment, materials, and supervision required to properly maintain the landscaped areas in an attractive condition and as described in the project maintenance specifications.

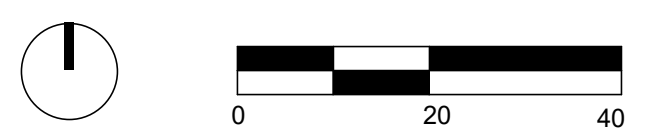
SCALE: 1" = 10'-0"  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
04/28/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:  
**PARCEL 7 LANDSCAPE GROUND LEVEL IRRIGATION ZONE PLAN**

DRAWING NO:  
**L3.01**





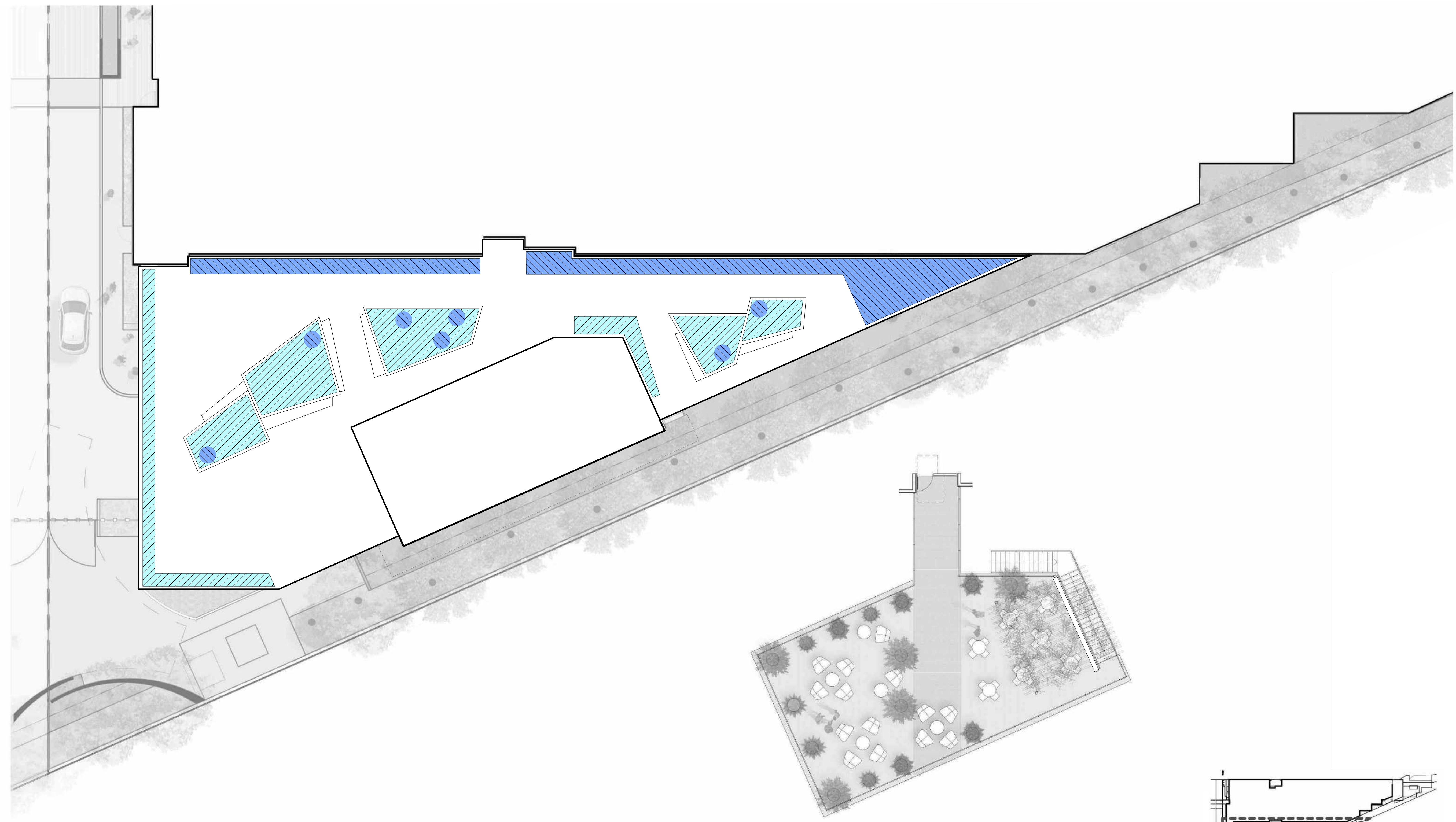
SCALE: 1" = 10'-0"  
NOTE: THIS DRAWING IS 80% A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
04/28/2023	ACP

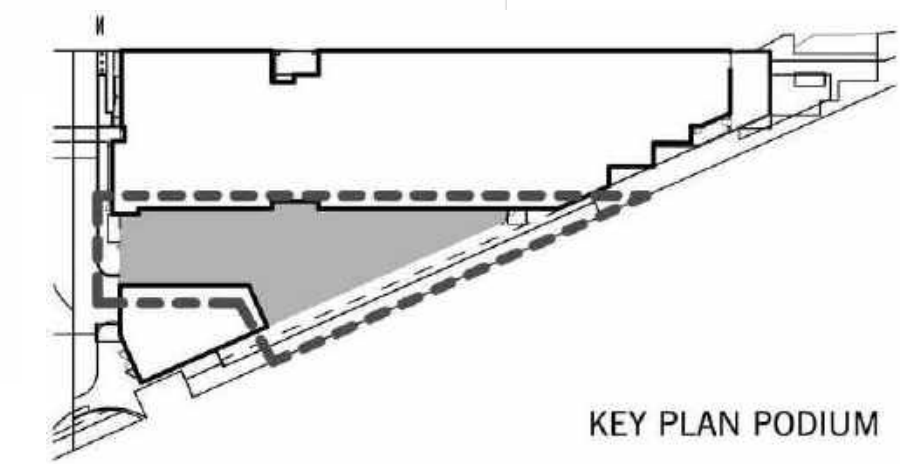
REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:  
**PARCEL 7 LANDSCAPE  
LEVEL 2 IRRIGATION  
ZONE PLAN**

DRAWING NO:  
**L3.02**



LEVEL 4 PLAN



KEY PLAN PODIUM

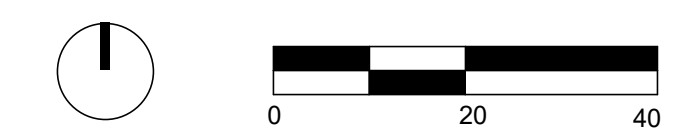
WATER USAGE LEGEND		
KEY	WUCOLS CATEGORY	
	LOW	3,673 SF
	MEDIUM	2,535 SF
	HIGH	0 SF

\*Based upon total Landscape Area of 10,210 SF

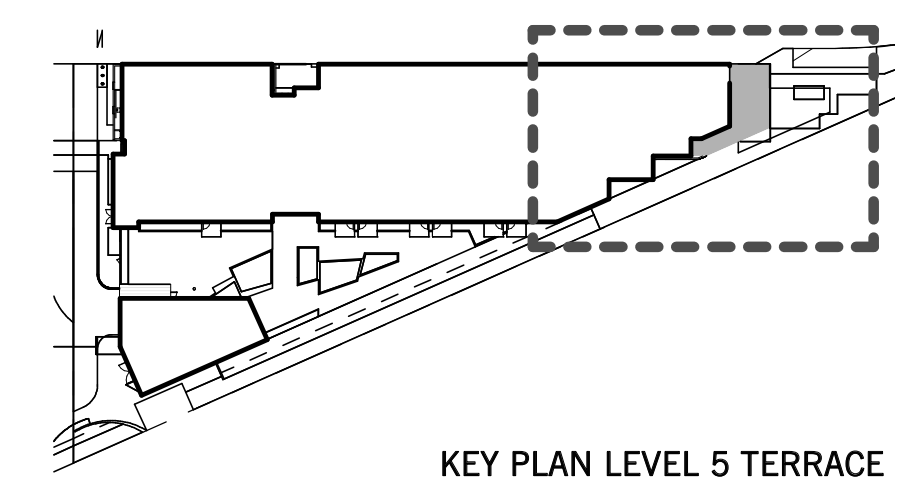
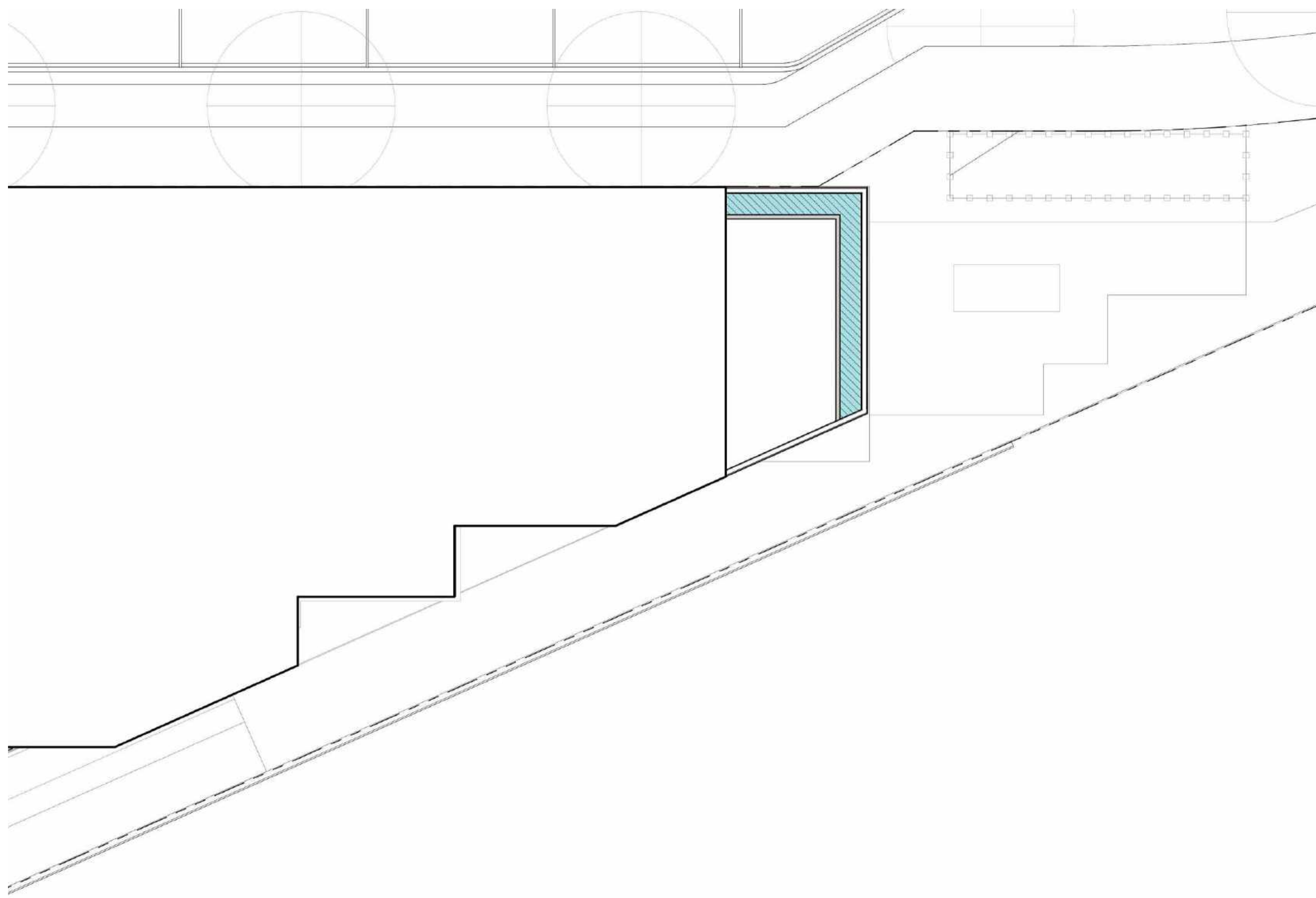
All planted areas are to be watered with an approved automatic underground irrigation system. Recycled recycled irrigation water will be delivered by drip irrigation devices. The system shall be designed to make efficient use of water through conservation techniques, and be in compliance with resolution 6261, as required by the State of California.

An application and detailed landscape irrigation plan will be submitted with the building permit submittal package. All planting and irrigation will be in compliance with the city's Water Efficient Landscape Ordinance.

The final construction documents will provide the contractor with an understanding of the design intent for the maintenance of the planting areas regarding care and pruning of the site. The maintenance contractor shall furnish all labor, equipment, materials, and supervision required to properly maintain the landscaped areas in an attractive condition and as described in the project maintenance specifications.







KEY PLAN LEVEL 5 TERRACE

SCALE: 1" = 10'-0"  
NOTE: THIS DRAWING IS SO A1. DO NOT SCALE. DRAWINGS USE FIGURED DIMENSIONS ONLY. FOR USER CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES

DATE	ISSUE
04/28/2023	ACP

REVISIONS

NO.	DATE	ISSUE

**WATER USAGE LEGEND**

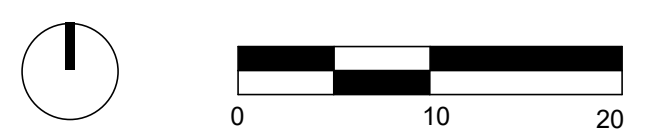
KEY	WUCOLS CATEGORY
	LOW 68 SF (1%)
	MEDIUM 0 SF
	HIGH 0 SF

\*Based upon total Landscape Area of 7,382 SF

All planted areas are to be watered with an approved automatic underground irrigation system. Recycled recycled irrigation water will be delivered by drip irrigation devices. The system shall be designed to make efficient use of water through conservation techniques, and be in compliance with resolution 6261, as required by the State of California.

An application and detailed landscape irrigation plan will be submitted with the building permit submittal package. All planting and irrigation will be in compliance with the city's Water Efficient Landscape Ordinance.

The final construction documents will provide the contractor with an understanding of the design intent for the maintenance of the planting areas regarding care and pruning of the site. The maintenance contractor shall furnish all labor, equipment, materials, and supervision required to properly maintain the landscaped areas in an attractive condition and as described in the project maintenance specifications.







# LEED NC v4 SCORECARD

## WILLOW VILLAGE MIXED-USE PARCEL 7

	YES	LIKELY	MAYBE	NO	Phase	Overlap	Credit Name	Points Available
IP	1				D		Credit Integrative Process - In design phases, achieve synergies between building, energy AND water related systems	1
	<b>Totals</b>							
LOCATION & TRANSPORTATION	16				D		Credit LEED for Neighborhood Development Location - Locate within LEED ND certified development site boundary	16
	1				D		Credit Sensitive Land Protection - Develop on previously developed land or follow criteria for non-sensitive	1
	2				D		Credit High Priority Site - Locate project on infill location in historic district, priority designation or brownfield	2
	4				D		Credit Surrounding Density & Diverse Uses - Site within 1/4 mile of surrounding density criteria and/or a 1/2 mile of diverse uses	5
	5				D		Credit Access to Quality Transit - Locate functional entries within 1/4 mile of existing transit or 1/2 mile of planned transit services	5
	1				D	MP	Credit Bicycle Facilities - Provide a bike network and storage areas	1
	1				D		Credit Reduced Parking Footprint - Don't exceed minimum local code requirements for parking capacity	1
	1				D	MP	Credit LEED v4.1: Electric Vehicles - 5% of spaces or 20% discount for parking and electric car charging OR liquid, gas or battery facilities	1
<b>Totals</b>								<b>16</b>
SUSTAINABLE SITES	REQUIRED		C	T24,MP	Prereq		Construction Activity Pollution Prevention - Implement an erosion control plan, per the EPA CGP v2012	NA
	1				D		Credit Site Assessment - Complete site survey including: topography, hydrology, climate, vegetation, soils, human use, human health	1
	2				D		Credit Site Development - Protect or Restore Habitat - On-site restoration OR financial support	2
	1				D		Credit Open Space - Provide outdoor space greater than or equal to 30% of total site area, 25% of which is vegetated	1
	3				D		Credit Rainwater Management - Manage runoff for at least the 85th percentile of local rainfall events	3
	2				D		Credit Heat Island Reduction - Meet nonroof and roof criteria OR place a minimum of 75% parking spaces under cover	2
1				D	T24	Credit Light Pollution Reduction - Backlight-uplight-glare method or calculation method, exterior luminaires and signage req's	1	
<b>Totals</b>								<b>10</b>
WATER	REQUIRED		D	T24,MP	Prereq 1		Outdoor Water Use Reduction - Permanent non-irrigated landscape OR reduce water use 30% for peak water month	N/A
			D	T24	Prereq 2		Indoor Water Use Reduction - Reduce aggregate water use by 20% for fixtures and fittings	N/A
			D	T24	Prereq 3		Building-Level Water Metering - Install permanent water meters that measure potable water use, share data with USGBC	N/A
	2				D	T24,MP	Credit Outdoor Water Use Reduction - Reduce water use no irrigation or reduced irrigation 50% - 100%	2
	6				D	T24	Credit Indoor Water Use Reduction - Reduce fixture and fitting water use by 25% - 50%	6
	2				D		Credit Cooling Tower Water Use - Conduct a one-time potable water analysis, measure control parameters in Table 1	2
1				D		Credit Water Metering - Meters for 2 or more water subsystems: irrigation, indoor plumbing, hot water, boiler, reclaimed water, or other	1	
<b>Totals</b>								<b>11</b>
ENERGY & ATMOSPHERE	REQUIRED		C	T24	Prereq 1		Fundamental Commissioning and Verification - Commissioning for ASHRAE 0-2005 and 1.1-2007	N/A
			D	T24	Prereq 2		Minimum Energy Performance - Whole building energy simulation OR ASHRAE 50% Design Guide OR ABCPG	N/A
			D	T24	Prereq 3		Building-Level Energy Metering - Use building-level energy meters or submeters that can aggregate building-level data	N/A
			D	T24	Prereq 4		Fundamental Refrigerant Management - Do not use CFC-based refrigerants in HVAC&R systems, or have a phase out plan	N/A
	3				C		Credit Enhanced Commissioning - Implement systems commissioning or monitor-based commissioning	6
	10				D	T24	Credit Optimize Energy Performance - Whole building energy simulation or follow ASHRAE Advanced Energy Design Guide	18
	1				D		Credit Advanced Energy Metering - Install advanced energy metering for whole building and individual energy sources	1
	2				C		Credit Demand Response - Participate in existing demand response program or provide infrastructure for demand response programs	2
	4				D	MP	Credit LEED v4.1 Renewable Energy - Use on-site or offsite renewable energy to offset green house gas emissions for annual energy use	5
	1				D		Credit Enhanced Refrigerant Management - Refrigerants with ODP of 0 and GWP of less than 50 OR calculate refrigerant impact	1
<b>Totals</b>								<b>33</b>

	YES	LIKELY	MAYBE	NO	Phase	Overlap	Credit Name	Points Available
MATERIALS & RESOURCES	REQUIRED		D	T24	Prereq		Storage and Collection of Recyclables - Dedicated areas for waste collection, collection and storage	N/A
			D	T24,MP	Prereq		Construction and Demolition Waste Management Planning - Establish C&D waste diversion goals	N/A
	3				C		Credit Building Life-Cycle Impact Reduction - Historic building reuse, renovate blighted buildings OR whole building LCA	5
	1				C		Credit LEED v4.1: Building Product Disclosure and Optimization - Environmental Product Declarations	2
	1				C		Credit LEED v4.1: Building Product Disclosure and Optimization - Material Ingredients	2
	2				C		Credit LEED v4.1: Building Product Disclosure and Optimization - Sourcing of Raw Materials	2
2				C	T24,MP	Credit C&D Waste Management - Divert 50% (3 streams), 75% (4 streams) OR 2.5 lbs. waste per square foot	2	
<b>Totals</b>								<b>13</b>
INDOOR ENVIRONMENTAL QUALITY	REQUIRED		D	T24	Prereq		Minimum Indoor Air Quality Performance - Meet ASHRAE 62.1-2010	N/A
			D	T24	Prereq		Environmental Tobacco Smoke Control - Prohibit smoking indoors, restrict outdoor smoking within 25 feet	N/A
	2				D	T24	Credit Enhanced Indoor Air Quality Strategies - Comply with enhanced IAQ strategies	2
	3				C		Credit LEED v4.1: Low-Emitting Materials - Achieve level of compliance for product categories or use budget calculation method	3
	1				C	T24	Credit Construction IAQM Plan - Implement IAQMP & protect materials and equipment during construction	1
	1				C		Credit Indoor Air Quality Assessment - Before and during occupancy flush-out OR conduct baseline IAQ testing	2
	1				D		Credit Thermal Comfort - Meet requirements for ASHRAE 55-2010	1
	1				D		Credit Interior Lighting - Lighting Controls for 90% plus individual occupant spaces & four lighting quality strategies	2
	1				D		Credit Daylight - Install glare control devices, spatial daylight autonomy, illuminance calculations OR daylight floor area measurement	3
	1				D		Credit Quality Views - Vision glazing for 75% of regularly occupied floor area, with at least two kinds of view types	1
1				D		Credit Acoustic Performance - Meet requirements for HVAC noise, sound isolation, reverberation time, & sound masking	1	
<b>Totals</b>								<b>16</b>
INNOVATION**	1				D		Credit ID - Parksmart Measures	1
	1				D		Credit Pilot - Integrative Analysis of Building Materials	1
	1				D		Credit EP - Reduced Parking Footprint	1
	1				D		Credit ID - Green Education	1
	1				D	MP	Credit Bird Collision Deterrence or EP point	1
	1				C		Credit LEED Accredited Professional	1
<b>Totals</b>								<b>6</b>

\*\*only 4 Regional Credits are Applicable

Confirmed Certification Level:	GOLD
Confirmed + Likely Certification Level:	GOLD
Confirmed + Likely + Maybe Certification Level:	GOLD

Confirmed Points	65
Confirmed + Likely Points	65
Confirmed + Likely + Maybe Points	65

PENINSULA INNOVATION PARTNERS  
  
**WILLOW VILLAGE**  
 Architectural Control Package - Parcel 7  
 Menlo Park, CA

SCALE:  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE REQUIRED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

MILESTONES	
DATE	ISSUE
04/28/2023	ACP

REVISIONS		
NO.	DATE	ISSUE

DRAWING TITLE:  
**LEED CHECKLIST**  
  
 DRAWING NO:  
**S1.00**



## Parcel 7 – Modification #1

### Stepback

#### Approved Modification

#### Allow modifications to Zoning Code Section 16.45.120(2) to:

Minimum stepback of 8 feet

#### Code Requirements

16.45.120(2): Building Mass and Scale

**Minimum Stepback:** The horizontal distance a building's upper story(ies) must be set back above the base height. Bonus Level Fronting a Local Street or a Boulevard, Thoroughfare, Mixed Use Collector, or Neighborhood Street: 10' for a minimum of 75% of the building face along public street(s).

#### Subject Site and Proposed Building Description

Parcel 7, a 120 unit permanently affordable senior residential building, spans along Park Street with a frontage length of +/- 274 feet and a triangular shaped parcel. The proposed building design is characterized by setbacks and setbacks all along its four sides, with massing that includes portions that are 1 story, 5 stories and 6 stories. Setbacks from the building base occur for a pedestrian arcade along Park Street at ground level and at the 5<sup>th</sup> floor for private and shared terraces. The building design has variation in the perceived roof line and also includes setbacks and stepbacks of varying depths for opportunities to provide significant relief in the massing and to establish additional vertical and horizontal layers along the Park Street edge.

Above the 55 foot building base height, along Park Street, the proposed stepback is typically 8 feet from property line and building face, rather than 10 feet from property line and building face. The building façade below the 55 foot building base height is typically at the property line with the ground level arcade being used for a more gracious public right of way experience. The design attempts to use a stepback depth which meets the intent of the code while also allowing the building massing to be within range of the prescribed fire access dimensions. Section D105.3 of the Fire Codes requires fire-fighting access not less than 15 feet and not greater than 30 feet from the building. The streetscape design, with broad sidewalks and on-street parking, discourages the building massing from meeting the Zoning Code's Minimum Stepback and setback requirements. The proposed Parcel 7 building design attempts to find a reasonable solution to the requirements, with a fire-fighting access depth of 30 feet at the upper floor stepbacks.

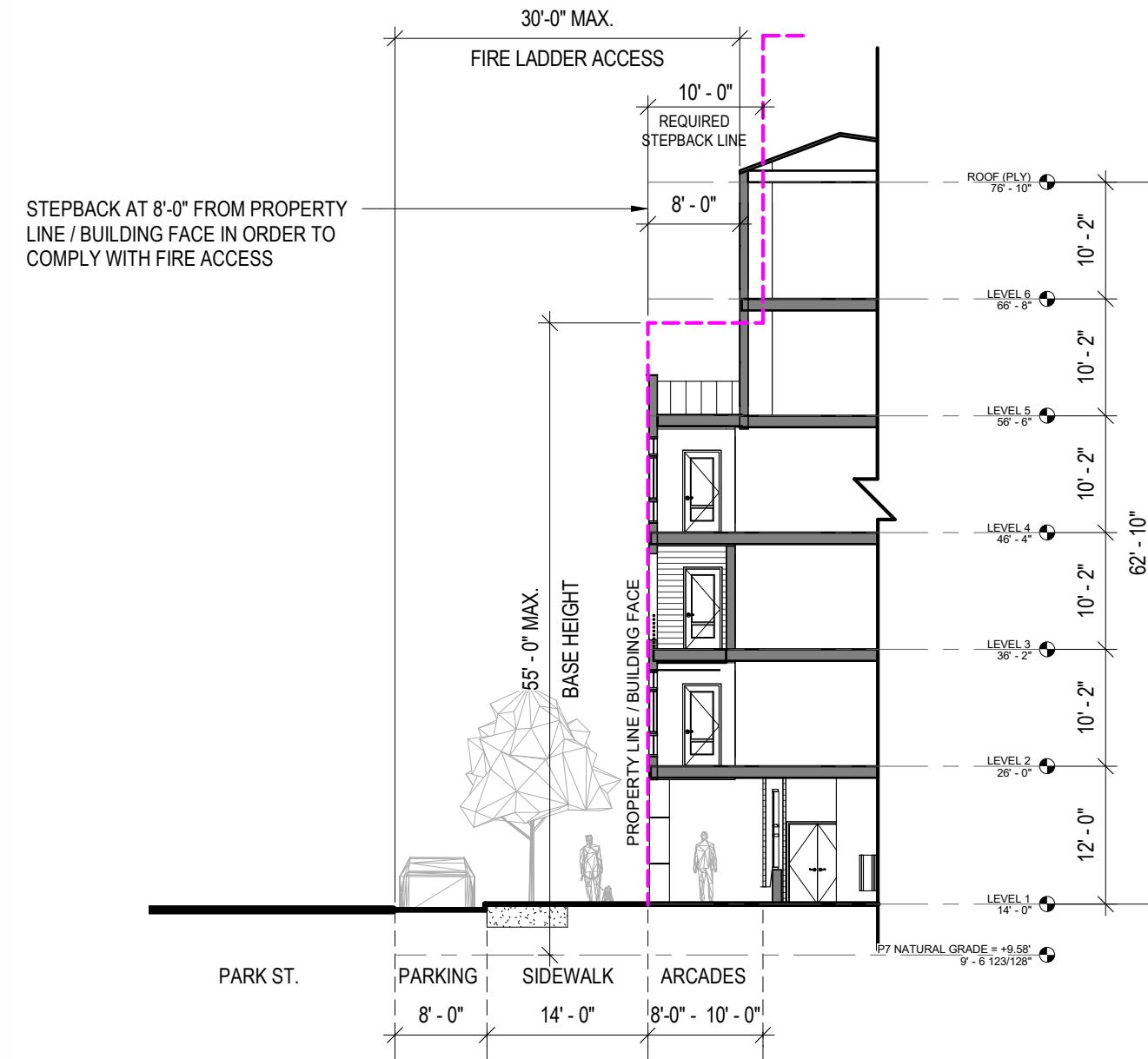
#### Modifications

Modifications to any adjustment may be considered according to CDP Section x governing Substantially Consistent Modifications and Minor Modifications.

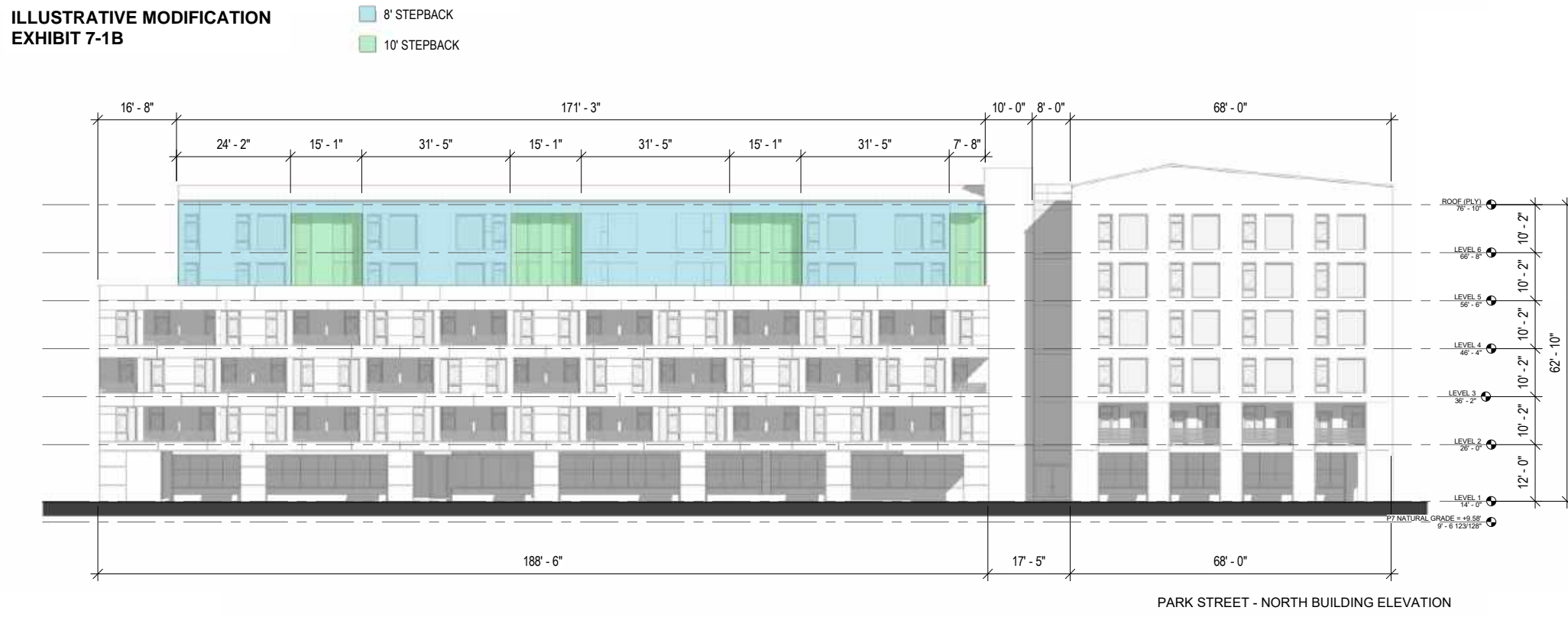
#### Attachments

Illustrative Modification Exhibit 7-1A and Exhibit 7-1B

#### ILLUSTRATIVE MODIFICATION EXHIBIT 7-1A



#### ILLUSTRATIVE MODIFICATION EXHIBIT 7-1B



## Parcel 7 – Modification #2

### Minor Building Modulations

#### Approved Modification

#### Allow modifications to Zoning Code Section 16.45.120(2) to:

No minor modulation requirement on Park Street

#### Code Requirements

16.45.120(2): Building Scale and Massing

#### Minor Building Modulations

Minimum recess of 5 foot wide by 5 foot deep per 50 feet of façade length.

Modulation is required on the building façade(s) facing publicly accessible spaces (street, open spaces, and paseos). Parking is not allowed in the modulation recess. When more than 50% of an existing building façade that faces a publicly accessible space is altered, it must comply with these requirements. Building projections spaced no more than 50 feet apart with a minimum 3-foot depth and 5-foot width may satisfy this requirement in lieu of a recess.

#### Subject Site and Proposed Building Description

Parcel 7, a 120 unit permanently affordable senior residential building, spans along Park Street with a frontage length of +/- 274 feet and a triangular shaped parcel. The proposed building design is characterized by setbacks and setbacks all along its four sides, with massing that includes portions that are 1 story, 5 stories and 6 stories. Setbacks from the building base occur for a pedestrian arcade along Park Street at ground level and at the 5<sup>th</sup> floor for private and shared terraces. The building design has variation in the perceived roof line and also includes setbacks and stepbacks of varying depths for opportunities to provide significant relief in the massing and to establish additional vertical and horizontal layers along the Park Street edge.

The building design deviates from the Minor Modulations requirements in two distinct areas along the Park Street frontage.

To the West of the major building modulation break in the façade, which is aligned with the elevator core and main lobby entrance, approximately 68'-0" > 50'-0" of façade is left without a ground to sky minor modulation massing break in order to add massing contrast and create a strong anchor volume at the building corner. Minor modulations in the form of a ground level pedestrian arcade and second floor recessed balconies are provided at the first two levels of the subject building mass. Providing a portion of the façade with minimal modulation and a simpler form language helps to mitigate an overly busy frontage and accentuate the break between Parcel 6 and Parcel 7 along the street edge.

To the East of the major building modulation break in the façade, 188'-0" > 50'-0" levels 2 thru 4 of façade is left without a ground to sky minor modulation massing break. The entire Park Street façade is designed with a continuous pedestrian scale arcade from West to East ends of the building. This arcade is important in providing the senior population of Parcel 7 with a protected venue from which to engage with the street life. Seniors will inhabit and activate the public realm along this arcade frontage which will also widen the public sidewalk and

enhance the pedestrian experience. Th arcade design is contingent on a continuous carved building massing at the ground level. The remainder of the building façade is designed with generous rhythmic modulations and fenestration playing off the simpler corner building form and massing. From floors 2 thru 4 over 30% of the façade is carved out with private balconies for the senior residential units. The balconies are designed to promote unit to adjacent unit socialization.

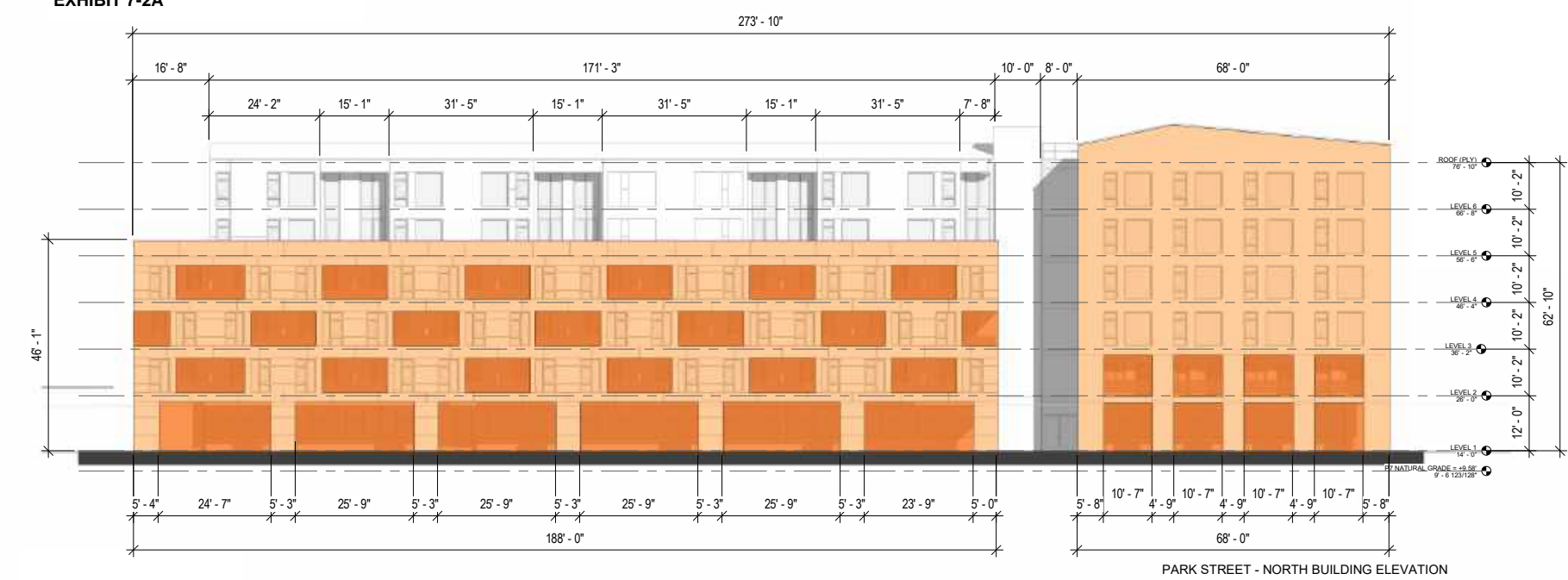
#### Modifications

Modifications to any adjustment may be considered according to CDP Section x governing Substantially Consistent Modifications and Minor Modifications.

#### Attachments

Illustrative Modification Exhibit 7-2A

#### ILLUSTRATIVE MODIFICATION EXHIBIT 7-2A



SCALE:  
NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. FOR USER CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

#### MILESTONES

DATE	ISSUE
04/28/2023	ACP

#### REVISIONS

NO.	DATE	ISSUE



## Parcel 7 – Modification #3

### Roof Modulation

#### Approved Modification

#### Allow modifications to Zoning Code Section 16.45.120(6)G to:

Building may have consistent roofline without modulation

#### Code Requirements

16.45.120(6)G: Building Design

#### Roof Modulation

Rooflines and eaves adjacent to street-facing facades shall vary across a building, including a four (4) foot minimum height modulation to break visual monotony and create a visually interesting skyline as seen from public streets (see Figure 6). The variation of the roofline's horizontal distance should match the required modulations and setbacks.

#### Subject Site and Proposed Building Description

Parcel 7, a 120 unit permanently affordable senior residential building, spans along Park Street with a frontage length of +/- 274 feet and a triangular shaped parcel. The proposed building design is characterized by setbacks and setbacks all along its four sides, with massing that includes portions that are 1 story, 5 stories and 6 stories. Setbacks from the building base occur for a pedestrian arcade along Park Street at ground level and at the 5<sup>th</sup> floor for private and shared terraces. The building design has variation in the perceived roof line and also includes setbacks and setbacks of varying depths for opportunities to provide significant relief in the massing and to establish additional vertical and horizontal layers along the Park Street edge. The Roof planes and modulations generally align with the building façades respectively below them.

To the West of the major modulation massing break the building volume has an asymmetric gable roof form with a 4'-5" low to high modulation which is compliant for modulation height. However, this roof form extends across 68'-0" of horizontal distance, which like the volume below the roof, is greater than the 50'-0" required minor modulation massing break. See parcel 7 adjustment request #2 dealing with the façade in this location.

To the East of the major modulation massing break the building volume has an asymmetric gable roof form which is turned perpendicular from the West roof form with a 3'-3" low to high modulation. This is intentional and provides opportunity for the building to be viewed from multiple angles as having an asymmetric gable roof form. This roof area extends 171'-3" along Park Street without minor modulation which is greater than the 50'-0" required minor modulation massing break. Again, this is intentional and complements the level 5 and 6 façade immediately below while enhancing the level 2 thru 4 façade design. See parcel 7 modification request #2 dealing with the façade in this location.

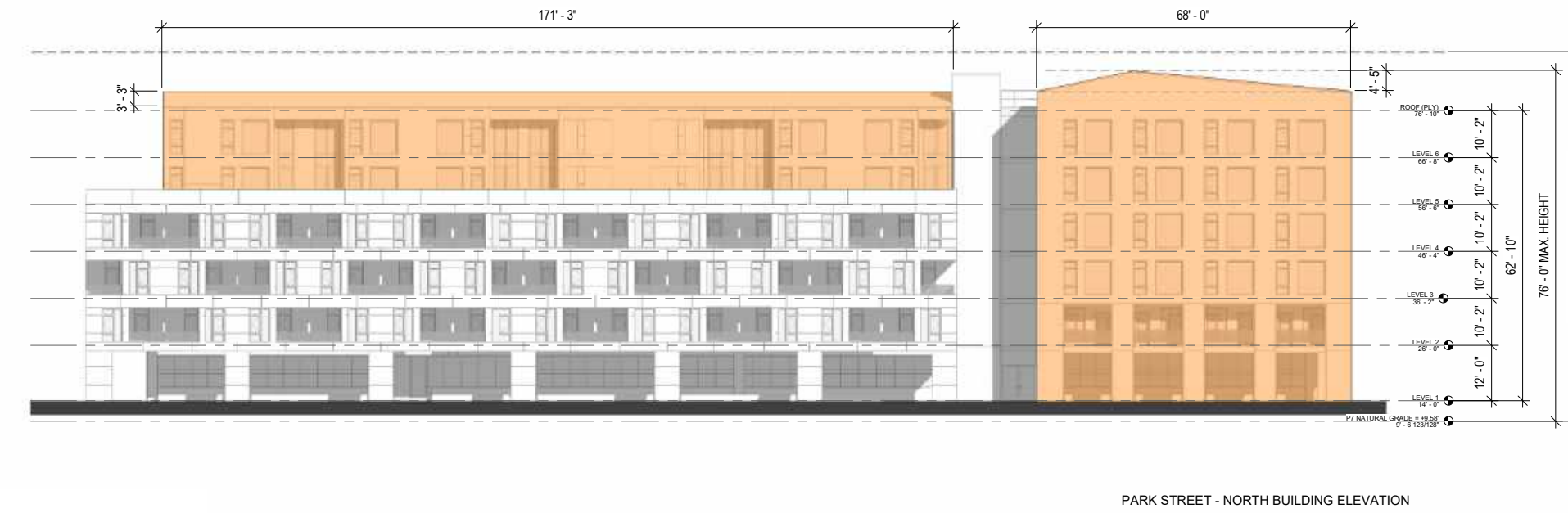
#### Modifications

Modifications to any adjustment may be considered according to CDP Section x governing Substantially Consistent Modifications and Minor Modifications.

#### Attachments

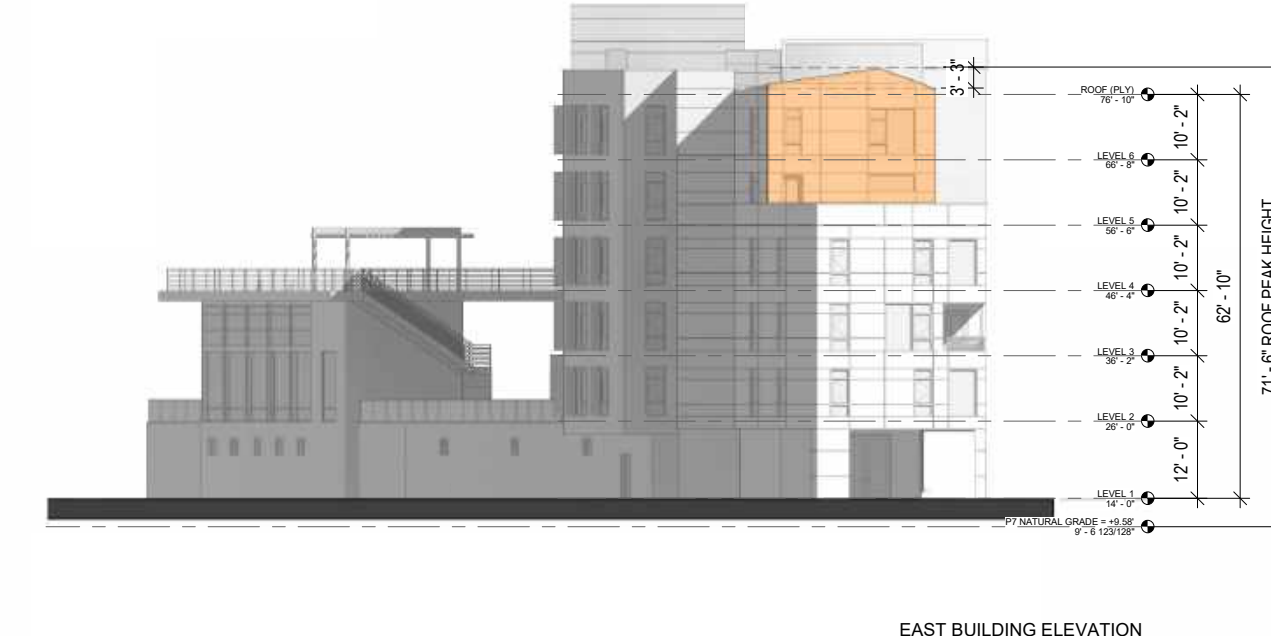
Illustrative Modification Exhibit 7-3A and 7-3B

ILLUSTRATIVE MODIFICATION  
EXHIBIT 7-4A



PARK STREET - NORTH BUILDING ELEVATION

ILLUSTRATIVE MODIFICATION  
EXHIBIT 7-4B



EAST BUILDING ELEVATION

## Parcel 7 – Modification #4

### Shared Parking

#### Approved Modification

#### Allow modifications to Zoning Code Section 16.45.080(2) to:

Provide 38 of the total required 60 parking spots in a shared arrangement with Parcel 6

#### Code Requirements

16.45.080 Parking standards.

#### Shared Parking

(2) Parking facilities may be shared at the discretion of the city's transportation manager if multiple uses cooperatively establish and operate the facilities, if these uses generate parking demands primarily during different hours than the remaining uses, and if a sufficient number of spaces are provided to meet the maximum cumulative parking demand of the participating uses at any time. An individual development proposal may incorporate a shared parking study to account for the mixture of uses, either on site or within a reasonable distance. The shared parking supply would be subject to review and approval based on the proposed uses, specific design and site conditions. Project applicants may also be allowed to meet the minimum parking requirements through the use of nearby off-site facilities at the discretion of the transportation manager. (Ord. 1026 § 3 (part), 2016).

#### Subject Site and Proposed Building Description

Parcel 7, a 120 unit permanently affordable senior residential building, spans along Park Street with a frontage length of +/- 274 feet and a triangular shaped parcel. There is a ground level, in-building parking garage proposed under a Type-1 concrete podium servicing the residential senior units of the building above. Parcel 7 is proposed to be parked at 0.5:1 parking space to unit ratio yielding 60 total residential parking spots. (see parcel 7 zoning adjustment request #5). Due to the irregular shaped parcel 7 footprint and programmatic constraints at the ground level, it is not possible to provide more than 22 total parking spots in the parcel 7 parking garage. The project applicant proposes to enter into a binding shared parking agreement with adjacent parcel 6 to provide the remaining 38 residential spots. In the parcel 6 parking garage the shared parking spots will be parked in quad stack parking lifts, immediately adjacent the entrance to the parcel 6 parking garage, proximate to the parcel 7 lobby and will be for use of parcel 7 residents only. See attached modification exhibit 7-4 for a floor plan illustration of the proposed shared parking arrangement.

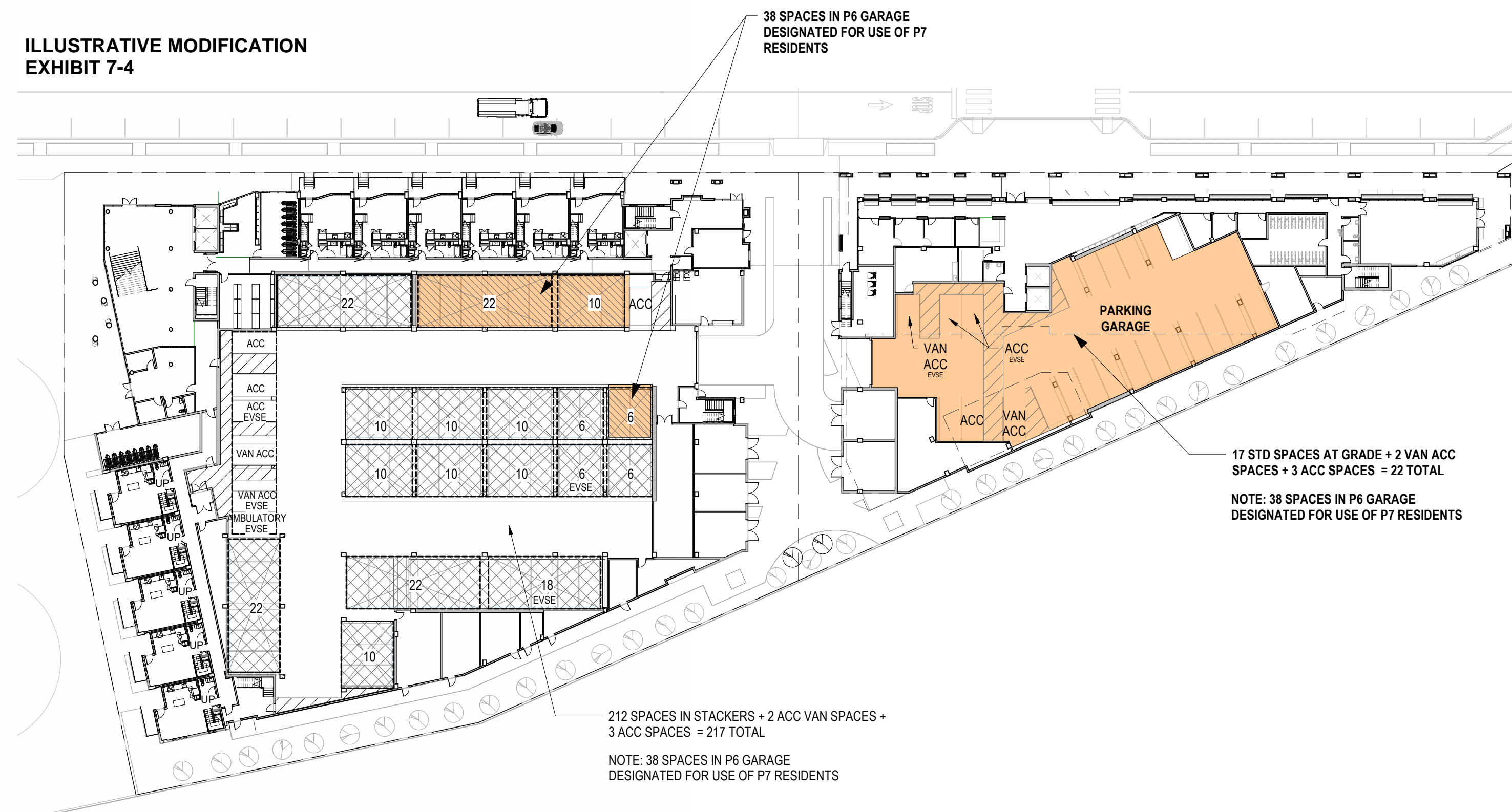
#### Modifications

Modifications to any adjustment may be considered according to CDP Section x governing Substantially Consistent Modifications and Minor Modifications.

#### Attachments

Illustrative Modification Exhibit 7-4

ILLUSTRATIVE MODIFICATION  
EXHIBIT 7-4



PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE  
Architectural Control Package - Parcel 7  
Menlo Park, CA

#### SCALE:

NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

#### MILESTONES

DATE	ISSUE
04/28/2023	ACP

#### REVISIONS

NO.	DATE	ISSUE

DRAWING TITLE:  
APPENDIX - APPROVED  
PARCEL ADJUSTMENTS  
FROM THE CDP

DRAWING NO:

APP1.02



## Parcel 7 – Modification #5

### Bicycle parking reduction

#### Approved Modification

##### Allow modifications to Zoning Code Section 16.45.080 to:

Allow (i) 0.5:1 covered bicycle parking (ii) 10% additional short-term bicycle parking of the provided long-term spaces

#### Code Requirements

16.45.080; 16.45.120(7) and best practice standards in Association of Pedestrian and Bicycle Professionals Bicycle Parking Guidelines: Residential Units Bike Parking  
Minimum 1.5 long term bike parking space per unit; 10% additional short-term for guests

#### Subject Site and Proposed Building Description

Parcel 7, a 120 unit permanently affordable senior residential building, spans along Park Street with a frontage length of +/- 274 feet and a triangular shaped parcel. There is a ground level, in-building, bicycle parking room with space to park 60 bicycles in 2-level, lift assisted bike parking stack racks (see illustrative adjustment exhibit 7-7). This represents 0.5:1 long term covered bike parking provision vs the code required 1.5:1. Marketplace industry standard does not support 1.5:1 covered bike parking for the proposed senior resident population. In addition, the units in the building are predominantly studios and thus occupancy will be inherently limited by unit design. The proposed project will provide 6 additional short-term bicycle parking, 10% of the provided long term spaces, for guests in exterior bike racks adjacent to the main building lobby entrance.

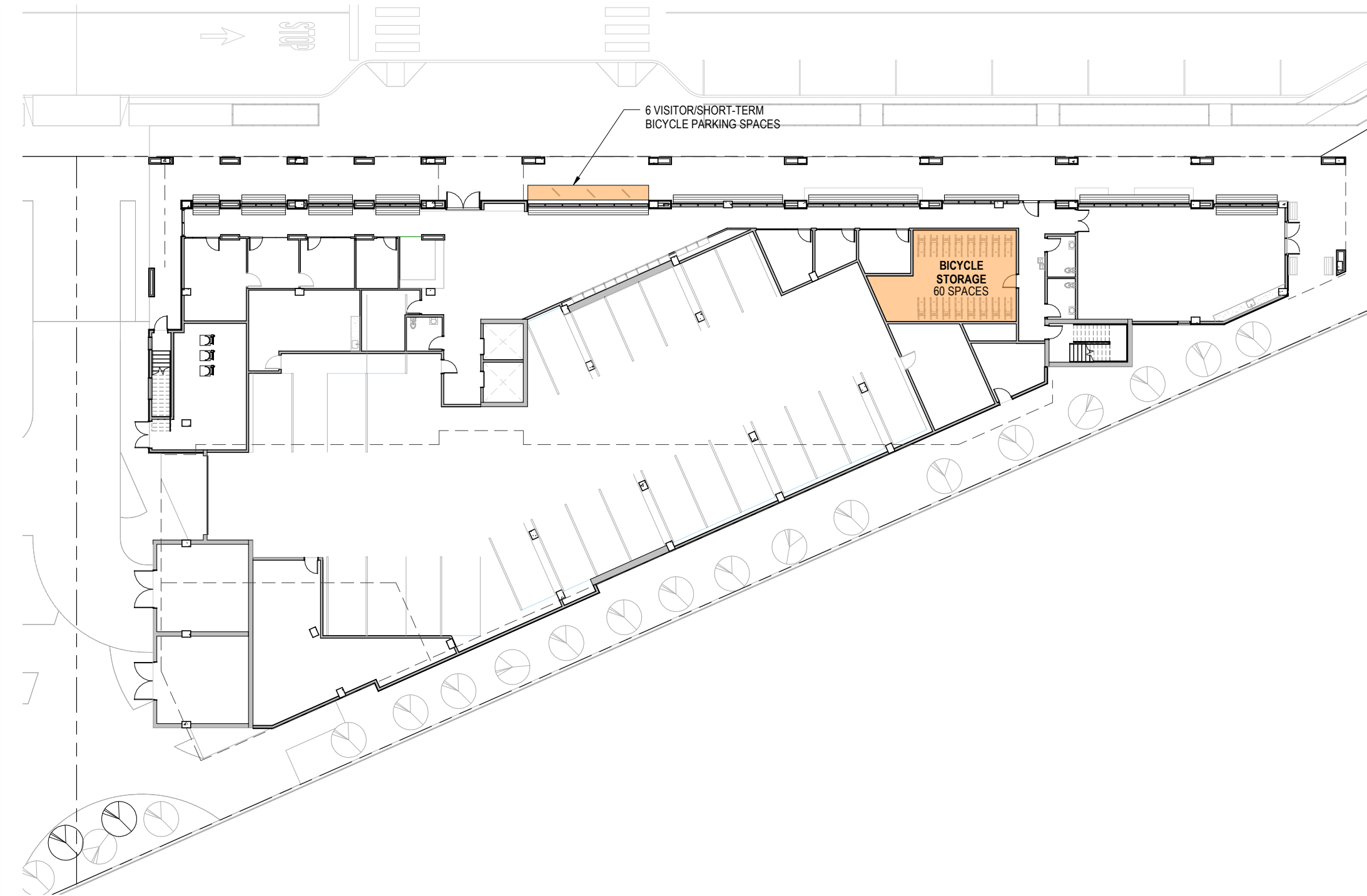
#### Modifications

Modifications to any adjustment may be considered according to CDP Section x governing Substantially Consistent Modifications and Minor Modifications.

#### Attachments

Illustrative Modification Exhibit 7-5

#### ILLUSTRATIVE MODIFICATION EXHIBIT 7-5



## Parcel 7 – Modification #6

### Frontage Landscaping

#### Approved Modification

##### Allow modifications to Zoning Code Section 16.45.120(1) to:

Allow biotreatment planting adjacent to the building frontage

#### Code Requirements

16.45.120(1) Relationship to the Street: Frontage Landscaping – Bonus level fronting a mixed-use collector.  
Minimum of 25% (50% of which should provide on-site infiltration of stormwater runoff)

#### Subject Site and Proposed Building Description

Parcel 7, a 120 unit permanently affordable senior residential building, spans along Park Street with a building frontage length of +/- 274 feet and a triangular shaped parcel with total Park Street frontage length of +/- 390 feet. The landscape design at the building frontage incorporates in-ground planters flanking building support columns along a continuous pedestrian arcade formed as a carved setback in the ground level building frontage. (see illustrative adjustment exhibit 7-8). Due to the North facing nature of the frontage, the design of the continuous ground level pedestrian arcade and bike parking requirements there is no available space to place biotreatment planting along the building frontage. The project applicant proposes to place biotreatment planting area in the prowl of the triangular parcel in an area immediately adjacent the building frontage while still being part of the Park Street parcel frontage. The landscape design does achieve compliance for minimum non biotreatment landscaping along building frontage.

#### Modifications

Modifications to any adjustment may be considered according to CDP Section x governing Substantially Consistent Modifications and Minor Modifications.

#### Attachments

Illustrative Modification Exhibit 7-6



#### ILLUSTRATIVE ADJUSTMENT EXHIBIT 7-6

#### LANDSCAPE FRONTAGE CALCULATIONS

TOTAL FRONTAGE AREA - 270.14'  
FRONTAGE LANDSCAPE REQUIRED (25% OF TOTAL FRONTAGE AREA) - 67.5'  
DESIGNED FRONTAGE LANDSCAPE - 71.54'  
ON-SITE INFILTRATION REQUIRED (50% OF FRONTAGE LANDSCAPE REQUIRED) - 33.75'  
DESIGNED ON-SITE INFILTRATION - 0'

ADJUSTMENT REQUEST:  
50'-0" > 33.75' REQUIRED: ON-SITE INFILTRATION PROVIDED IN 'PROW'  
OF SITE, ALONG PARK STREET FRONTAGE, IMMEDIATELY ADJACENT  
BUILDING FRONTAGE.

PENINSULA INNOVATION PARTNERS

WILLOW VILLAGE  
Architectural Control Package - Parcel 7  
Menlo Park, CA

#### SCALE:

NOTE: THIS DRAWING IS ISO A1. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. OR SEEK CLARIFICATION FROM ARCHITECT FOR MEASUREMENTS THAT ARE NOT INDICATED.

#### MILESTONES

DATE	ISSUE
04/28/2023	ACP

#### REVISIONS

NO.	DATE	ISSUE

DRAWING TITLE:  
APPENDIX - APPROVED  
PARCEL ADJUSTMENTS  
FROM THE CDP

DRAWING NO:

APP1.03