

Subject: Request for Variance – 108 Blackburn Avenue

Dear Planning Department,

We are writing to formally request a variance for the property located at 108 Blackburn Avenue. Due to unforeseen circumstances related to FEMA compliance, we are seeking approval to reconstruct the left-side wall of the residence in its original location.

Background

The property is a substandard lot measuring 55 feet in width and 99 feet in depth, situated in the R-1-U zoning district. Under zoning regulations, the required side setback is 10% of the lot width, with a minimum of five feet and a maximum of 10 feet. In this case, the required setback is 5.5 feet. The original structure included a nonconforming wall on the left side, which was located 5 feet from the property line.

On March 25, 2024, the Planning Commission approved a use permit for remodeling and the addition of first and second-story expansions to the existing nonconforming, single-story residence. This approval was granted with the condition that the project would not increase the nonconformity of the left-side wall.

Additionally, the property is located within Flood Zone AE and is subject to Menlo Park's Flood Damage Prevention Ordinance, which aligns with FEMA Technical Bulletins and the latest state and national building codes. Because the scope of work qualifies as a FEMA-designated substantial improvement, all materials below the Design Flood Elevation (DFE) must be resistant to flood damage, per FEMA's guidelines.

Current Status and Justification for Variance

During construction, we discovered that in order to meet FEMA's floodproofing requirements, all materials below the DFE had to be replaced with flood-resistant materials (such as pressure-treated wood, redwood, or concrete). This requirement necessitated the demolition of all existing walls below the DFE, including the nonconforming left-side wall.

To confirm this requirement, we reached out to the city's flood management department and received the following response:

“Regarding any existing materials below the DFE (53.7’), they are required to be brought into compliance with current NFIP standards, including the requirement that they be flood-damage resistant (i.e., pressure-treated, redwood, concrete, etc.).”

Given this directive, the demolition of the left-side wall was unavoidable in order to bring the structure into compliance with FEMA and Menlo Park's Flood Damage Prevention Ordinance.

We are requesting a variance to allow the left-side wall to be reconstructed in its original location, utilizing the existing, intact foundation. The proposed reconstruction will not extend beyond the previous footprint or increase nonconformity in any way. This request arises from an exceptional situation where adherence to FEMA regulations directly conflicts with zoning requirements related to nonconforming structures.

Conclusion

We respectfully ask for the Planning Department's consideration in granting this variance, as it would allow us to comply with both flood mitigation standards and local zoning regulations in the most practical manner. We appreciate your time and consideration and welcome any opportunity to discuss this matter further.

Attached to this letter are the planning commission approval letter, evidence for the required findings to grant variance, email communication with flood management, and Menlo Park's Flood Damage Prevention Ordinance.

Please let us know if additional information is required.

Sincerely,

Lavan Construction and Vahid Taslimitehrani/Haleh Dolati (property owners)

Findings

1. That a hardship peculiar to the property and not created by any act of the owner exists. In this context, personal, family or financial difficulties, loss of prospective profits and neighboring violations are not hardships justifying a variance. Further, a previous variance can never have set a precedent, for each case must be considered only on its individual merits;

The hardship arises from the property's location within Flood Zone AE, which subjects it to FEMA regulations requiring flood-resistant materials below the Design Flood Elevation (DFE). The requirement to replace these materials necessitated the demolition of the nonconforming left-side wall. This is a hardship unique to the property due to its flood zone designation, and it was not created by any act of the owner. Instead, it results from federal and local flood protection regulations that must be followed to ensure the property's compliance and safety.

2. That such variance is necessary for the preservation and enjoyment of substantial property rights possessed by other conforming property in the same vicinity and that a variance, if granted, would not constitute a special privilege of the recipient not enjoyed by his/her neighbors.

The requested variance would not grant a special privilege but rather restore the pre-existing condition of the home in compliance with necessary floodproofing regulations. Other properties in the vicinity that do not fall under the same flood zone restrictions are not subject to this hardship. Granting the variance allows the property owner to maintain a functional residence without expanding nonconformity beyond what existed before the necessary demolition.

3. That the granting of the variance will not be materially detrimental to the public health, safety, or welfare, or will not impair an adequate supply of light and air to adjacent property.

Rebuilding the left-side wall in its original location will not impact public health or safety, as it aligns with FEMA flood protection measures. The setback remains unchanged from its previous condition, ensuring no new obstruction to neighboring properties' light or air supply. Additionally, adherence to flood-resistant construction materials enhances overall property safety, benefiting the broader community.

4. That the conditions upon which the requested variance is based would not be applicable, generally, to other property within the same zoning classification.

This variance request is specific to 108 Blackburn Avenue due to its location within Flood Zone AE and the subsequent FEMA compliance requirements for Substantial Improvements (SI). Other properties in the same zoning district that are not within a flood zone would not face the same mandate to replace materials below the DFE, making this an uncommon situation rather than a broadly applicable condition.

5. That the condition upon which the requested variance is based is an unusual factor that was not anticipated or discussed in detail during any applicable Specific Plan process.

The conflict between FEMA's floodproofing requirements for Substantial Improvements (SI) and Menlo Park's zoning restrictions for nonconforming structures is an unusual and unforeseen circumstance. While the Planning Commission approved the remodeling with the condition that nonconformity would not increase, the necessity to demolish the wall to comply with flood regulations was not fully anticipated. This situation was not explicitly discussed in prior planning considerations, making the variance necessary to reconcile regulatory conflicts.

VAHID & HALEH RESIDENCE

SINGLE FAMILY NEW HOME

PROJECT SUMMERY

APPLICABLE CODES

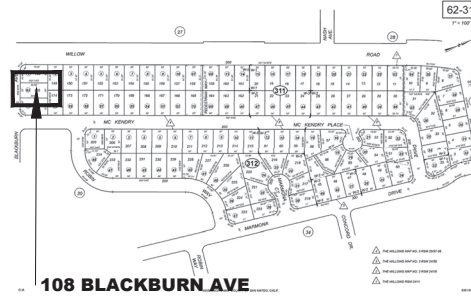
- ZONING : R1
- A.P.N. # 623-11-620
- BUILDING OCCUPANCY : R-1/U
- TYPE OF CONST : TYPE V-B
- NET LOT AREA : 5445 SQ. FT

- 2022 CALIFORNIA BUILDING CODE
- 2022 CALIFORNIA RESIDENTIAL CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA FIRE CODE
- 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN)
- 2022 CALIFORNIA ENERGY CODE

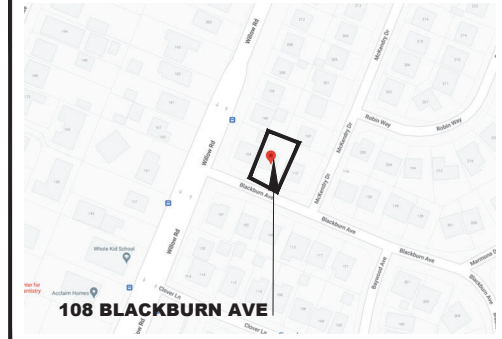
- EXISTING
3 BEDROOMS, 1 BATHROOM, LIVING, DINING, KITCHEN.

- PROPOSED: ADDITION
4 BEDROOMS, 3.5 BATHROOM, LAUNDRY, WIC, LIVING, KITCHEN, DINING, FAMILY AREA.

VICINITY MAP



PARCEL MAP



ISSUED / REVISED

REV 1 - 12-15-2023

SHAH DESIGNS

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SAN JOSE, CA 95127
PHONE 408-638-7464
shahdesigns2015@gmail.com

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SINGLE FAMILY RESIDENCE

NO. 108
STREET BLACKBURN AVE,
CITY MENLO PARK, CA
ZIP CODE 94025

SHAH DESIGNS

DRAWN : AJ
CHECKED : RS
SCALE :
DATE : 12-15-2023

A0

NOTES

- THE PROJECT WILL BE DESIGNED TO COMPLY WITH THE CITY'S FLOOD DAMAGE PREVENTION ORDINANCE, CHAPTER 12, SECTION 42
- ANY FRONTAGE IMPROVEMENTS WHICH ARE DAMAGED AS A RESULT OF CONSTRUCTION WILL BE REQUIRED TO BE REPLACED. ALL FRONTAGE IMPROVEMENT WORK SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF THE CITY STANDARD DETAILS.
- AN ENCROACHMENT PERMIT FROM THE ENGINEERING DIVISION IS REQUIRED PRIOR TO ANY CONSTRUCTION ACTIVITIES, INCLUDING UTILITY LATERALS, IN THE PUBLIC RIGHT OF WAY.
- I HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPE ORDINANCE AND HAVE APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN PLAN."
- "A 3" LAYER OF MULCH SHALL BE APPLIED TO ALL EXPOSED PLANTING SURFACES WITH THE EXCEPTION OF TURF."

PROJECT DATA

A.P.N. # 623-11-620

SCOPE OF WORK

LOCATION: 108 BLACKBURN AVE, MENLO PARK, CA 94025, USA
 EXISTING USE: SINGLE FAMILY RESIDENCE
 PROPOSED USE: SINGLE FAMILY RESIDENCE
 APPLICANT: VAHID & HALEH
 PROPERTY OWNER: VAHID & HALEH
 ZONING: R1
 LOT AREA 5445.00
 FRONT SETBACK 20' - 0"
 REAR SETBACK 38' - 2"
 RIGHT SETBACK 4' - 11"
 LEFT SETBACK 5' - 6"
ZONE - AE
 BASE FLOOD ELEVATION BFE - 52.7 NAVD88,
 DESIGN FLOOD ELEVATION DFE - 53.7 NAVD88

EXISTING DEVELOPMENT		TOTAL FLOOR AREA		LOT COVERAGE	
LIVING AREA	1146.00 SF	1146.00 SF	21.0%	1414.00 SF	26.0%
GARAGE	221.00 SF				
PORCH	47.00 SF				
BLDG. HIEGHT	13' - 10"				
LANDSCAPING	3076.00 SF	56.5% SF			
PAVING	955.00 SF	17.5% SF			

PROPOSED DEVELOPMENT		TOTAL FLOOR AREA		LOT COVERAGE	
LIVING AREA	1089.00 SF	1742.00 SF	32.0%	2703.00 SF	49.6%
GARAGE	441.00 SF				
PORCH	63.00 SF				
NEW FF LIVING ADD.	149.00 SF				
NEW SF LIVING ADD.	961.00 SF				
BLDG. HIEGHT	25' - 7"				
LANDSCAPING	3230.00 SF	59.3%			
PAVING	473.00 SF	8.7%			

- 63 SF OF NEW PORCH.
- 47 SF OF PORCH REMODEL TO GARAGE.
- 57 SF OF LIVING REMODEL TO GARAGE.
- 337 SF NEW GARAGE ADDITION.
- 149 SF NEW FIRST FLOOR LIVING ADDITION.
- 961 SF NEW SECOND FLOOR LIVING ADDITION.
- WALKWAY AND CURB IMPROVEMENT.

DRAWING INDEX

TITLE SHEET
 EXISTING & PROPOSED SITE PLAN
 AREA PLAN
 STREETScape
 SURVEY SHEET
 EXISTING FLOOR PLAN
 PROPOSED FLOOR PLAN
 EXISTING & PROPOSED ROOF PLAN
 EXISTING AREA CALCULATION
 PROPOSED AREA CALCULATION
 EXISTING ELEVATIONS
 PROPOSED ELEVATIONS
 PROPOSED SECTION
 MATERIAL SHEET
 3D - SHEETS
 SOLAR ANALYSIS SHEETS
 LANDSCAPE DETAILS AND NOTES

SHEET A0
 SHEET A1
 SHEET A2
 SHEET A3
 SHEET 1
 SHEET A4
 SHEET A5
 SHEET A6
 SHEET A7
 SHEET A8
 SHEET A10
 SHEET A11 - A12
 SHEET A13 - A14
 SHEET A15
 SHEET A19 - A21
 SHEET A22 - A23
 SHEET L1

Non-conforming wall

EXISTING SITE PLAN
 3/16"=1'-0"
 APN 213-17-032

0 4' 8' 16'

BLACKBURN AVE

SITE ANALYSIS ZONING - R1

LOT AREA:	5445 SF
PROPOSED FIRST FLOOR AREA:	1742 SF
PROPOSED SECOND FLOOR AREA:	961 SF
TOTAL PROPOSED FLOOR AREA:	2703 SF
LAND COVER BY STRUCTURE:	1742 SF (32.0%)
LANDSCAPING:	2898 SF (53.2%)
PAVED SURFACE:	805 SF (14.8%)
PARKING SPACE:	2 COV/1 UNCOV
ALL GRADES REMAIN TO NATURAL	

Non-conforming wall

LEGEND

	SECOND FLOOR WALL
	ADDITION AREA
	WALKWAY
	SETBACK LINE
	P.U.E LINE

PROPOSED SITE PLAN
 3/16"=1'-0"
 APN 213-17-032

0 4' 8' 16'

BLACKBURN AVE

ISSUED / REVISED

REV 1 - 12-15-2023

REV 2 - 02-13-2024

SHAH DESIGNS

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SINGLE FAMILY RESIDENCE

SHAH DESIGNS

DRAWN : AJ

CHECKED : RS

SCALE : 3/16"=12"

DATE : 12-15-2023

A1

108
 STREET
 CITY
 MENLO PARK, CA
 ZIP CODE 94025

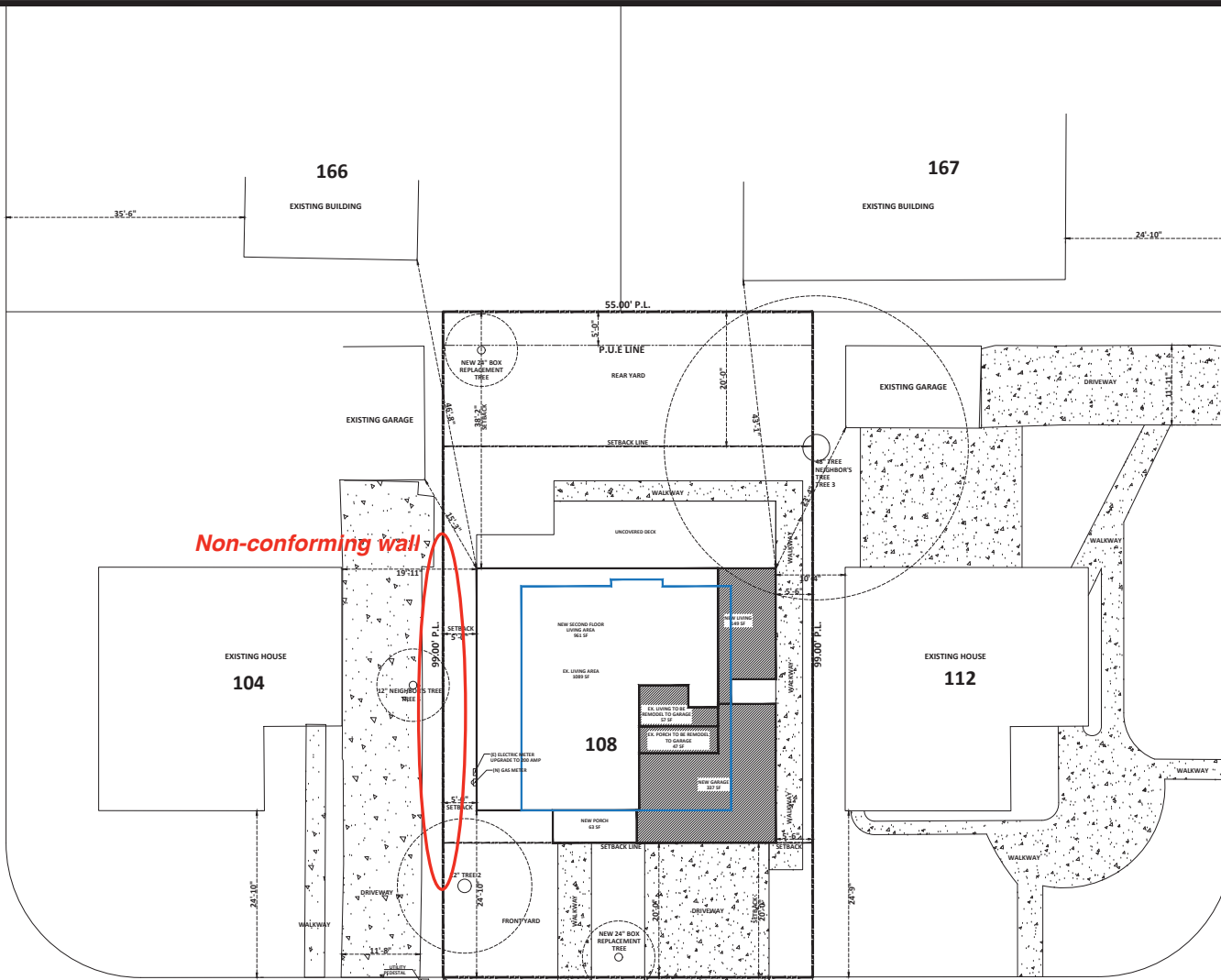
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 PHONE 408-838-7464
 shahdesigns2015@gmail.com

WILLOW RD

WILLOW RD

MCKENDRY DR

MCKENDRY DR



Non-conforming wall

AREA PLAN
1/8"=1'-0"



BLACKBURN AVE

CENTERLINE

IMPERVIOUS AREA SUMMARY

TOTAL AREA OF PARCEL	A =	5445 SF
EXISTING PERVIOUS AREA	B =	3076 SF
EXISTING IMPERVIOUS AREA	C =	2369 SF
EXISTING % IMPERVIOUS	(C ÷ A x 100)	D = 43.51%
EXISTING IMPERVIOUS AREA TO BE REPLACED WITH NEW IMPERVIOUS AREA	E =	771 SF
EXISTING PERVIOUS AREA TO BE REPLACED WITH NEW IMPERVIOUS AREA	F =	580 SF
NEW IMPERVIOUS AREA (CREATING AND/OR REPLACING)	(E + F)	G = 1350 SF
EXISTING IMPERVIOUS AREA TO BE REPLACED WITH NEW PERVIOUS AREA	H =	402 SF
NET CHANGE IN IMPERVIOUS AREA	(F - H)	I = 178 SF
PROPOSED PERVIOUS AREA	(B - I)	J = 2898 SF
PROPOSED IMPERVIOUS AREA	(C + I)	K = 2547 SF
PROPOSED % IMPERVIOUS AREA	(K ÷ A x 100)	L = 46.78%

ISSUED / REVISED

REV 1 - 12-15-2023

REV 2 - 02-13-2024

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DRAWN : AJ

CHECKED : RS

SCALE : 1/8"=12"

DATE : 12-15-2023

A2

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SINGLE FAMILY RESIDENCE

1.08
BLACKBURN AVE,
MENLO PARK, CA
94025

SHAH DESIGNS

NO. STREET CITY ZIPCODE

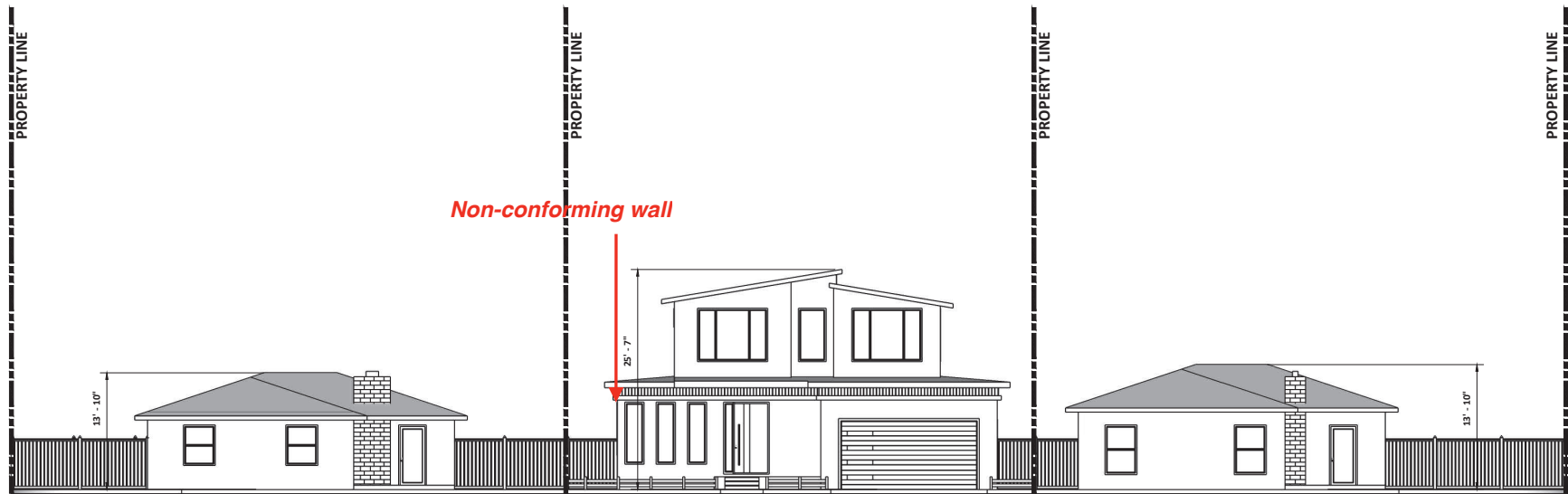
DRAWN : AJ

CHECKED : RS

SCALE :

DATE : 12-15-2023

A3



104 BLACKBURN AVE

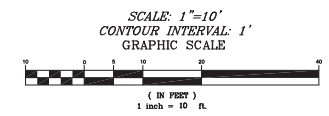
108 BLACKBURN AVE

112 BLACKBURN AVE

STREETSCAPE ELEVATION

TOPOGRAPHIC SURVEY

108 BLACKBURN AVE
 MENLO PARK, CA 94025
 APN 062-311-620

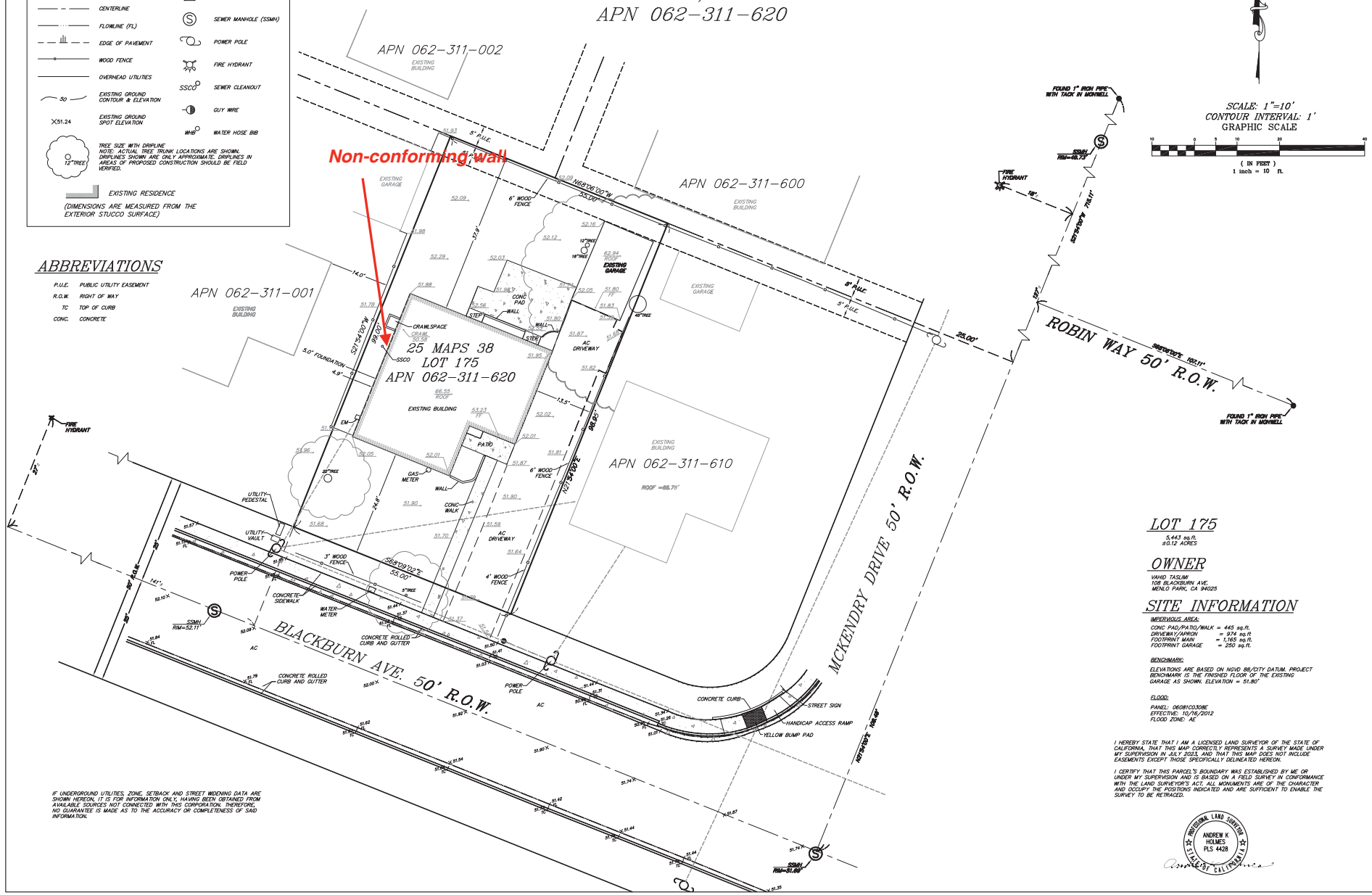


LEGEND

—— PROPERTY LINE	⊕ GAS METER
- - - ADJACENT PROPERTY LINE	⊕ ELECTRIC METER
- - - CENTERLINE	⊕ SEWER MANHOLE (SSMH)
- - - FLOWLINE (FL)	⊕ POWER POLE
- - - EDGE OF PAVEMENT	⊕ FIRE HYDRANT
—— WOOD FENCE	⊕ SEWER CLEANOUT
—— OVERHEAD UTILITIES	⊕ GUY WIRE
○ EXISTING GROUND CONTOUR & ELEVATION	⊕ WATER HOSE BIB
⊗ XS1.24 EXISTING GROUND SPOT ELEVATION	
⊖ TREE SIZE WITH DBPLINE NOTE: ACTUAL TREE TRUNK LOCATIONS ARE SHOWN. DRIPLINES SHOWN ARE ONLY APPROXIMATE. DRIPLINES IN AREAS OF PROPOSED CONSTRUCTION SHOULD BE FIELD VERIFIED.	
▭ EXISTING RESIDENCE (DIMENSIONS ARE MEASURED FROM THE EXTERIOR STUCCO SURFACE)	

ABBREVIATIONS

P.U.E. PUBLIC UTILITY EASEMENT
 R.O.W. RIGHT OF WAY
 TC TOP OF CURB
 CONC. CONCRETE



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REVISIONS	BY

PREPARED FOR:
 SUBJECT NO.
 175 BLACKBURN AVE.
 MENLO PARK, CA 94025

LOT 175
 ±.443 ACRES
 ±0.12 ACRES
OWNER
 VAHD TASMU
 108 BLACKBURN AVE.
 MENLO PARK, CA 94025
SITE INFORMATION
 MEDICUS AREA:
 CONC PAD/PATIO/WALK = 445 sq.ft.
 DRIVEWAY/APRON = 974 sq.ft.
 FOOTPRINT MAIN = 1,165 sq.ft.
 FOOTPRINT GARAGE = 250 sq.ft.
 BENCHMARK:
 ELEVATIONS ARE BASED ON NAD 83/CITY DATUM. PROJECT BENCHMARK IS THE FINISHED FLOOR OF THE EXISTING GARAGE AS SHOWN. ELEVATION = 51.80'
 ELOID:
 PANEL: 080103036
 EFFECTIVE: 10/16/2012
 FLOOD ZONE: AE

I HEREBY STATE THAT I AM A LICENSED LAND SURVEYOR OF THE STATE OF CALIFORNIA, THAT THIS MAP CORRECTLY REPRESENTS A SURVEY MADE UNDER MY SUPERVISION IN JULY 2022, AND THAT THIS MAP DOES NOT INCLUDE EASEMENTS EXCEPT THOSE SPECIFICALLY DELINEATED HEREON.
 I CERTIFY THAT THIS PARCEL'S BOUNDARY WAS ESTABLISHED BY ME OR UNDER MY SUPERVISION AND IS BASED ON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYOR'S ACT. ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.



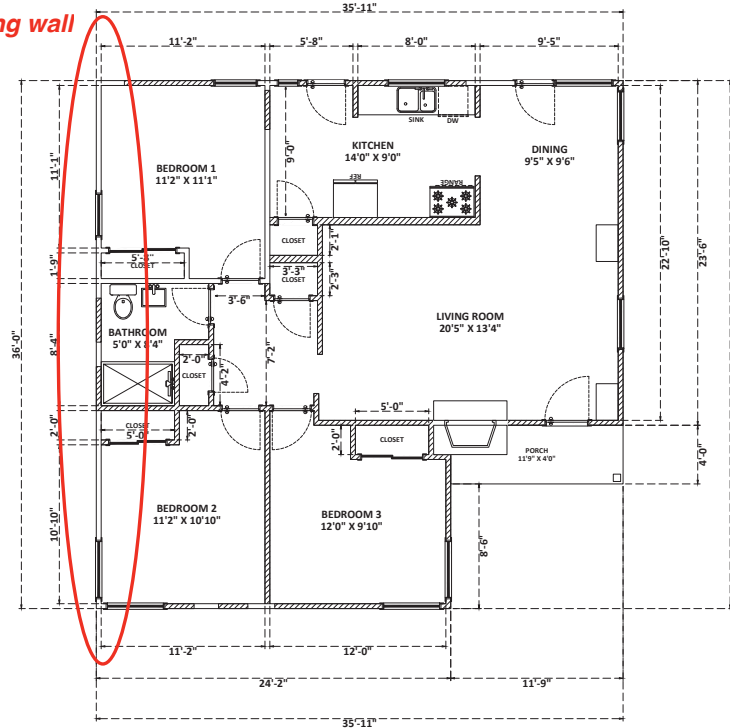
LOT 175, 25 MAPS 38
TOPOGRAPHIC SURVEY
 MENLO PARK, SAN MATEO COUNTY, STATE OF CALIFORNIA

DATE: 7/7/23
 SCALE: 1"=10'
 DRAWN: TJP
 JOB NO: 09.2341
 SHEET: 1 OF 1

IF UNDERGROUND UTILITIES, ZONE, SETBACK AND STREET WIDENING DATA ARE SHOWN HEREON, IT IS FOR INFORMATION ONLY, HAVING BEEN OBTAINED FROM AVAILABLE SOURCES NOT CONNECTED WITH THIS CORPORATION. THEREFORE, NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF SAID INFORMATION.

WALL LEGEND
 ——— EXISTING WALL
 - - - - - WALL REMOVAL

Non-conforming wall



EXISTING FLOOR PLAN
 1/4" = 1'0"

ISSUED / REVISED

SHAH DESIGNS
 RUCHA SHAH
 12631 SHERRE CT,
 SAN JOSE, CA 95127
 PHONE 408-638-7464
 shahdesigns2015@gmail.com

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SINGLE FAMILY RESIDENCE
 NO. 108
 STREET BLACKBURN AVE,
 CITY MENLO PARK, CA
 ZIP CODE 94025

SHAH DESIGNS

DRAWN : AJ
 CHECKED : RS
 SCALE : 1/4":12"
 DATE : 12-15-2023

A4

WALL LEGEND
 ——— EXISTING WALL
 ——— NEW WALL

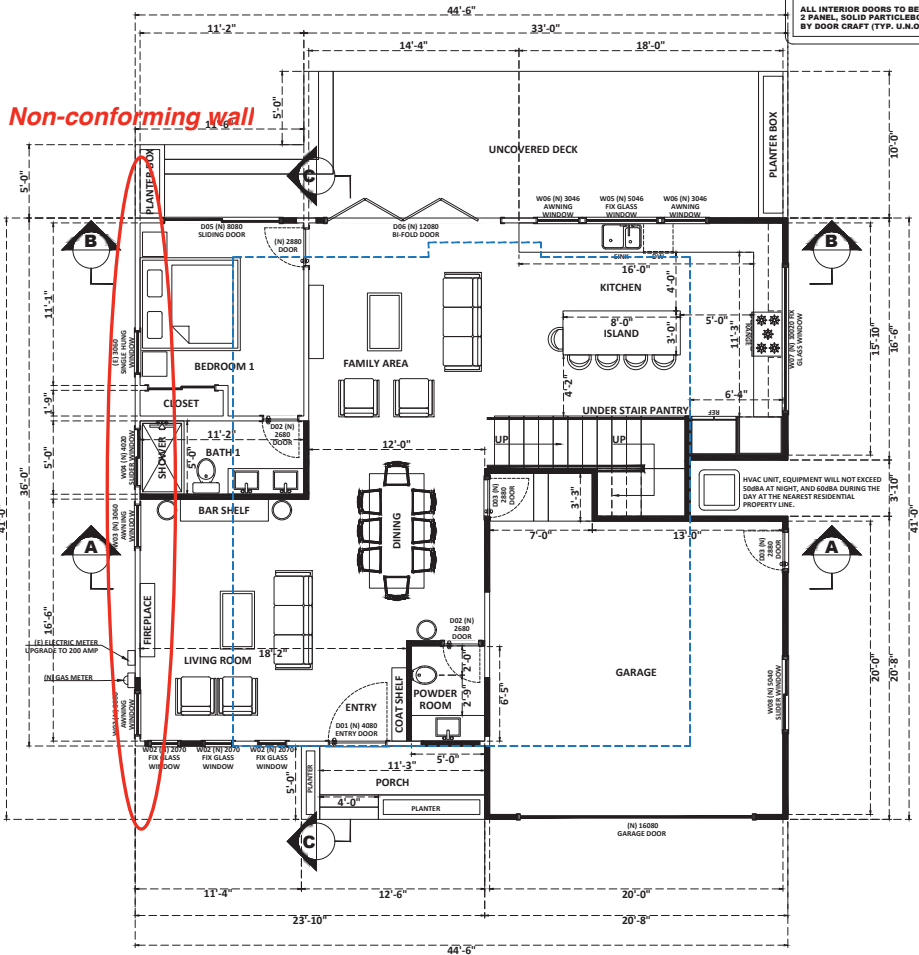
DOOR SCHEDULE

SYM	Q.	SIZE	MATERIAL	THICKNESS	COMMENTS
D01	1	4'-0"x8'-0"	WOOD	1-3/8"	ENTRY GLAZED DOOR
D02	4	2'-6"x8'-0"	WOOD	1-3/8"	SINGLE HINGE DOOR
D03	6	2'-8"x8'-0"	WOOD	1-3/8"	SINGLE HINGE DOOR
D05	1	8'-0"x8'-0"	ALUMINIUM	1-3/8"	SLIDING DOOR
D06	1	12'-0"x8'-0"	ALUMINIUM	1-3/8"	BI-FOLD DOOR
D08	1	2'-4"x8'-0"	WOOD	1-3/8"	SINGLE HINGE DOOR
D09	1	2'-4"x8'-0"	WOOD	1-3/8"	POCKET DOOR
D10	1	3'-0"x8'-0"	WOOD	1-3/8"	DOUBLE HINGE DOOR

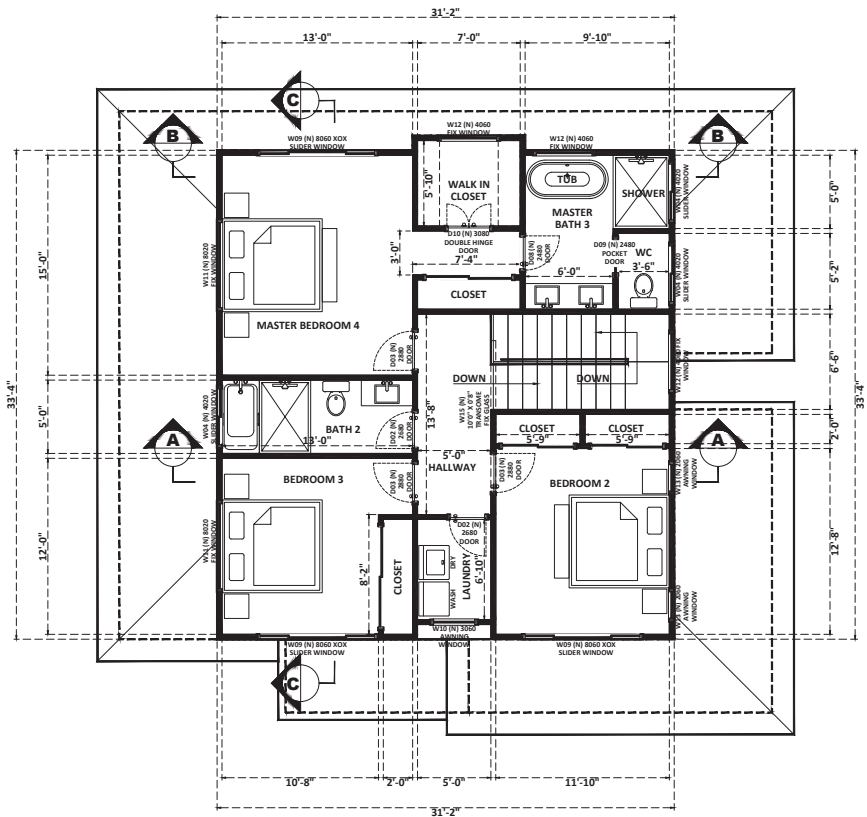
ALL DOORS ARE TO BE PRE-HUNG & DRILLED TO ACCEPT DOOR HARDWARE.
 ALL INTERIOR DOORS TO BE CONTINENTAL 2 PANEL SOLID PARTICLEBOARD CORE, BY DOOR CRAFT (TYP. U.N.G.)
 ALL THRESHOLDS ARE TO BE BRONZE ANODIZED ALUMINIUM
 ALL CASING TO BE 3-1/4" #1212-S BY WHITE BROTHERS

WINDOW SCHEDULE

SYM	Q.	SIZE	MATERIAL	THICKNESS	COMMENTS
W01	1	1'-0"x8'-0"	FIBER GLASS	1-1/8"	FIX GLASS
W02	3	2'-0"x7'-0"	FIBER GLASS	1-1/8"	FIX GLASS
W03	2	3'-0"x6'-0"	FIBER GLASS	1-1/8"	AWNING WINDOW
W04	4	4'-0"x2'-0"	FIBER GLASS	1-1/8"	SLIDER WINDOW
W05	1	5'-0"x4'-6"	FIBER GLASS	1-1/8"	FIX GLASS WINDOW
W06	2	3'-0"x4'-6"	FIBER GLASS	1-1/8"	AWNING WINDOW
W07	1	10'-0"x2'-0"	FIBER GLASS	1-1/8"	FIX GLASS WINDOW
W08	1	5'-0"x4'-0"	FIBER GLASS	1-1/8"	SLIDER WINDOW
W09	3	8'-0"x6'-0"	FIBER GLASS	1-1/8"	XOX SLIDER WINDOW
W10	1	3'-0"x6'-0"	FIBER GLASS	1-1/8"	AWNING WINDOW
W11	2	8'-0"x2'-0"	FIBER GLASS	1-1/8"	FIX GLASS WINDOW
W12	3	4'-0"x6'-0"	FIBER GLASS	1-1/8"	FIX GLASS WINDOW
W13	2	2'-0"x6'-0"	FIBER GLASS	1-1/8"	AWNING - OBSCURE
W14	1	10'-0"x0'-8"	FIBER GLASS	1-1/8"	TRANSOME FIX GLASS



PROPOSED FIRST FLOOR PLAN
 1/4" = 1'0"



PROPOSED SECOND FLOOR PLAN
 1/4" = 1'0"

ISSUED / REVISED
 REV 1 - 12-15-2023

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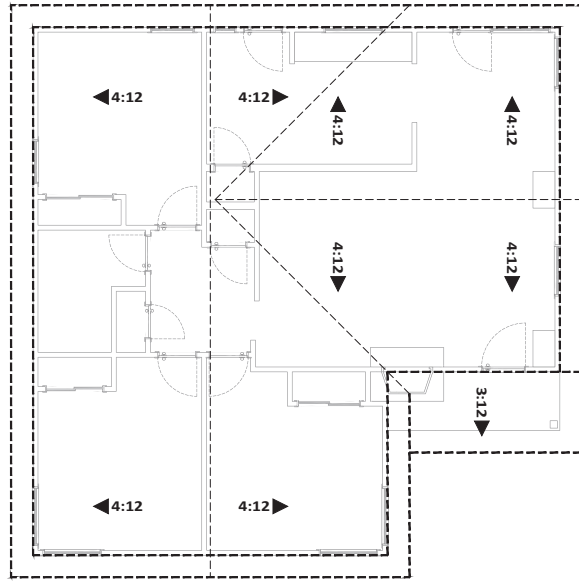
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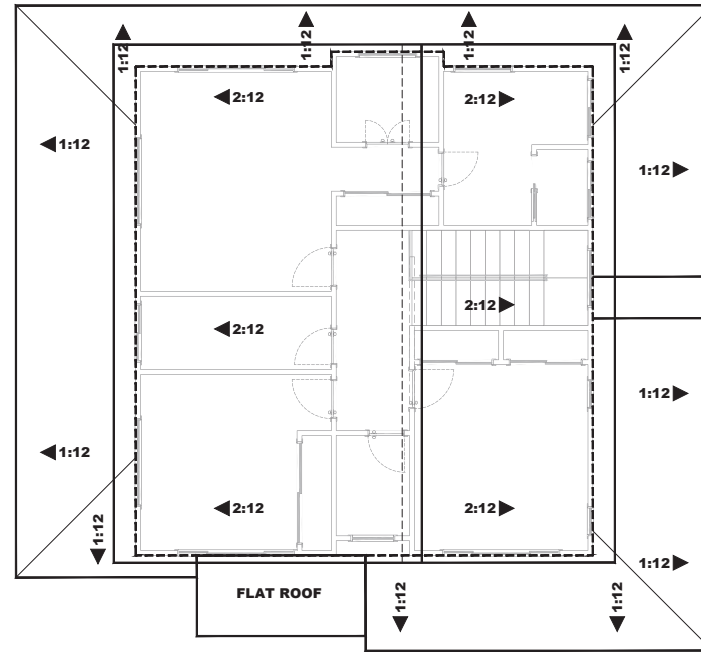
SHAH DESIGNS

DRAWN : AJ
 CHECKED : RS
 SCALE : 1/4"=12"
 DATE : 12-15-2023

A5



EXISTING ROOF PLAN
1/4" = 1'0"



PROPOSED ROOF PLAN
1/4" = 1'0"

ISSUED / REVISED

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STREET BLACKBURN AVE,
CITY MENLO PARK, CA
ZIP CODE 94025

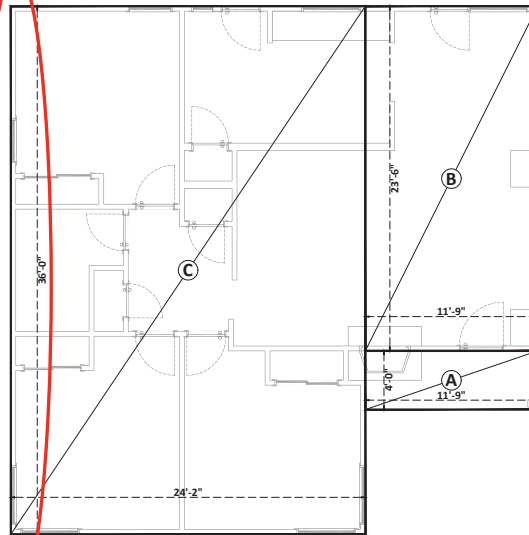
SHAH DESIGNS

DRAWN : AJ
CHECKED : RS
SCALE : 1/4"=12"
DATE : 12-15-2023

A6

AREA	DIMENSIONS	SF.	TITLE
A	11'-9" X 4'-0"	47 SF	PORCH
B	11'-9" X 23'-6"	276 SF	LIVING
C	24'-2" X 36'-0"	870 SF	LIVING
TOTAL AREA		1146 SF	LIVING
		47 SF	PORCH

Non-conforming wall



EXISTING AREA CALCULATION PLAN
 1/4" = 1'0"

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 RUCHA SHAH
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 shahdesigns2015@gmail.com

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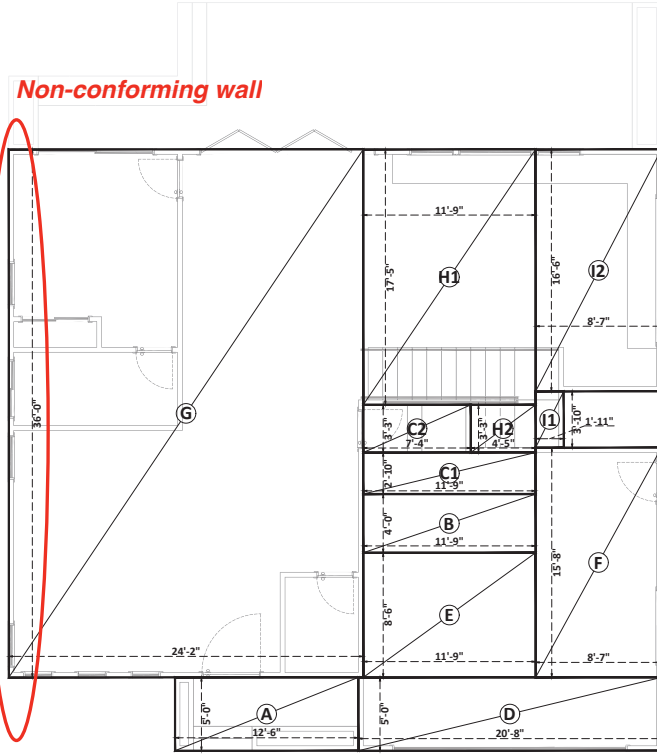
SINGLE FAMILY RESIDENCE
 NO. 108
 STREET BLACKBURN AVE,
 CITY MENLO PARK, CA
 ZIP CODE 94025

SHAH DESIGNS

DRAWN : AJ
 CHECKED : RS
 SCALE : 1/4"=12"
 DATE : 12-15-2023

A7

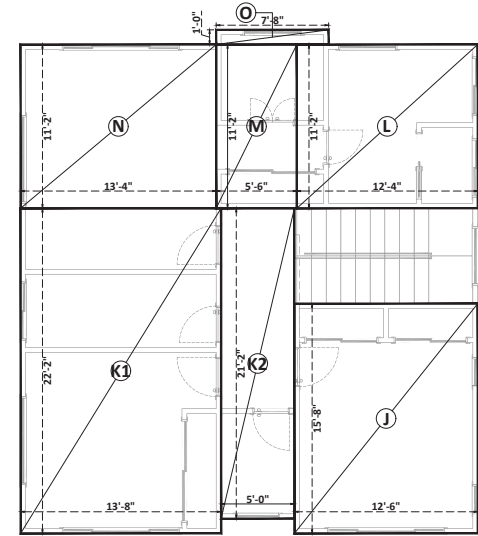
Non-conforming wall



**PROPOSED FIRST FLOOR AREA
CALCULATION PLAN**

1/4" = 1'0"

AREA	DIMENSIONS	SF.	TITLE
A	12'-6" X 5'-0"	63 SF	NEW PORCH
B	11'-9" X 4'-0"	47 SF	PORCH REMODEL TO GARAGE
C1	11'-9" X 2'-10"	33 SF	LIVING REMODEL TO GARAGE
C2	7'-4" X 3'-3"	24 SF	LIVING REMODEL TO GARAGE
D	20'-8" X 5'-0"	103 SF	NEW ADD. GARAGE
E	11'-9" X 8'-6"	100 SF	NEW ADD. GARAGE
F	8'-7" X 15'-8"	134 SF	NEW ADD. GARAGE
G	24'-2" X 36'-0"	870 SF	EX. LIVING
H1	11'-9" X 17'-5"	205 SF	EX. LIVING
H2	4'-5" X 3'-3"	14 SF	EX. LIVING
I1	1'-11" X 3'-10"	7 SF	NEW ADD. LIVING
I2	8'-7" X 16'-6"	142 SF	NEW ADD. LIVING
J	12'-6" X 15'-8"	196 SF	NEW ADD. LIVING
K1	13'-8" X 22'-2"	303 SF	NEW ADD. LIVING
K2	5'-0" X 21'-2"	106 SF	NEW ADD. LIVING
L	12'-4" X 11'-2"	138 SF	NEW ADD. LIVING
M	5'-6" X 11'-2"	61 SF	NEW ADD. LIVING
N	13'-4" X 11'-2"	149 SF	NEW ADD. LIVING
O	7'-8" X 1'-0"	8 SF	NEW ADD. LIVING
AREAS SF.		63 SF	NEW PORCH
		47 SF	PORCH REMODEL TO GARAGE
		57 SF	LIVING REMODEL TO GARAGE
		337 SF	NEW ADD. GARAGE
		1089 SF	EX. LIVING
		149 SF	NEW ADD. LIVING FIRST FLOOR
		961 SF	NEW ADD. LIVING SECOND FLOOR
TOTAL AREAS SF		63 SF	PORCH
		441 SF	GARAGE
		1238 SF	FIRST FLOOR LIVING
		961 SF	SECOND FLOOR LIVING



**PROPOSED SECOND FLOOR AREA
CALCULATION PLAN**

1/4" = 1'0"

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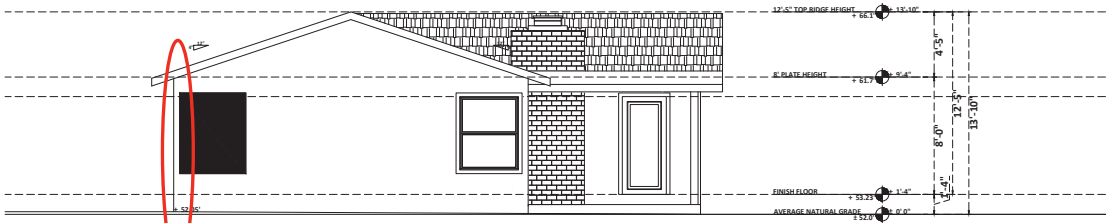
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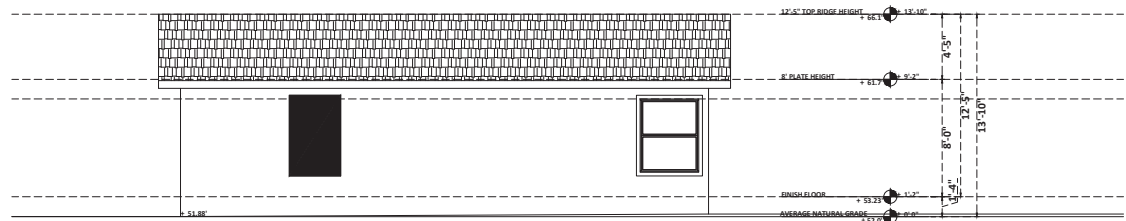
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DATE : 12-15-2023

A8

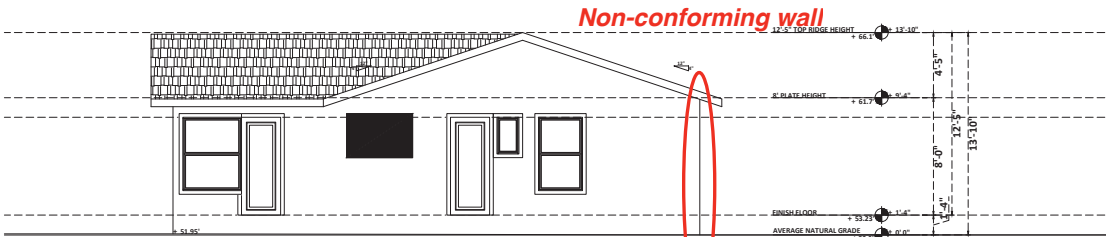


EXISTING FRONT ELEVATION
SOUTH ELEVATION
1/4" = 1'-0"

Non-conforming wall

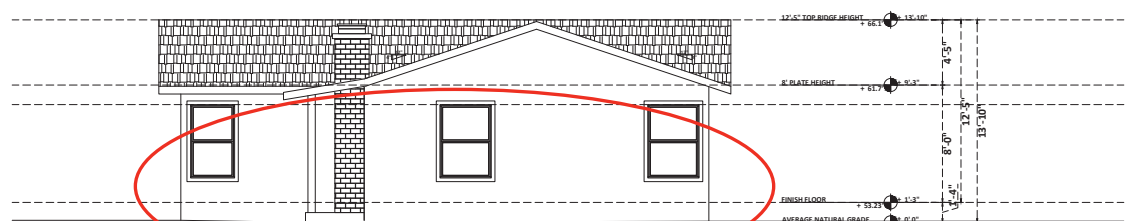


EXISTING RIGHT ELEVATION
WEST ELEVATION
1/4" = 1'-0"



EXISTING REAR ELEVATION
NORTH ELEVATION
1/4" = 1'-0"

Non-conforming wall



EXISTING RIGHT ELEVATION
EAST ELEVATION
1/4" = 1'-0"

Non-conforming wall

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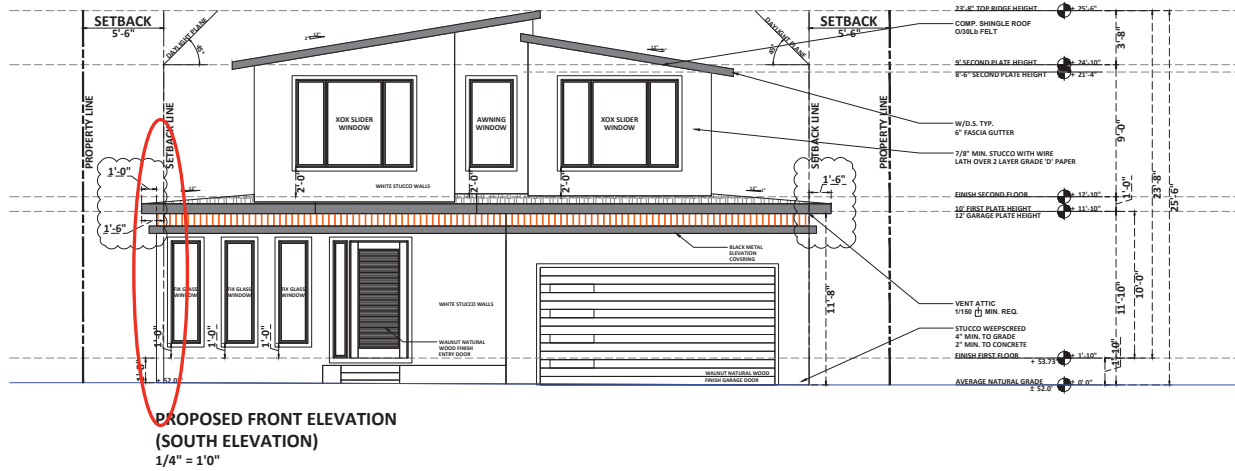
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DRAWN : AJ
CHECKED : RS
SCALE : 1/4"=12"
DATE : 12-15-2023

A10



**PROPOSED FRONT ELEVATION
(SOUTH ELEVATION)**
1/4" = 1'0"

Non-conforming wall

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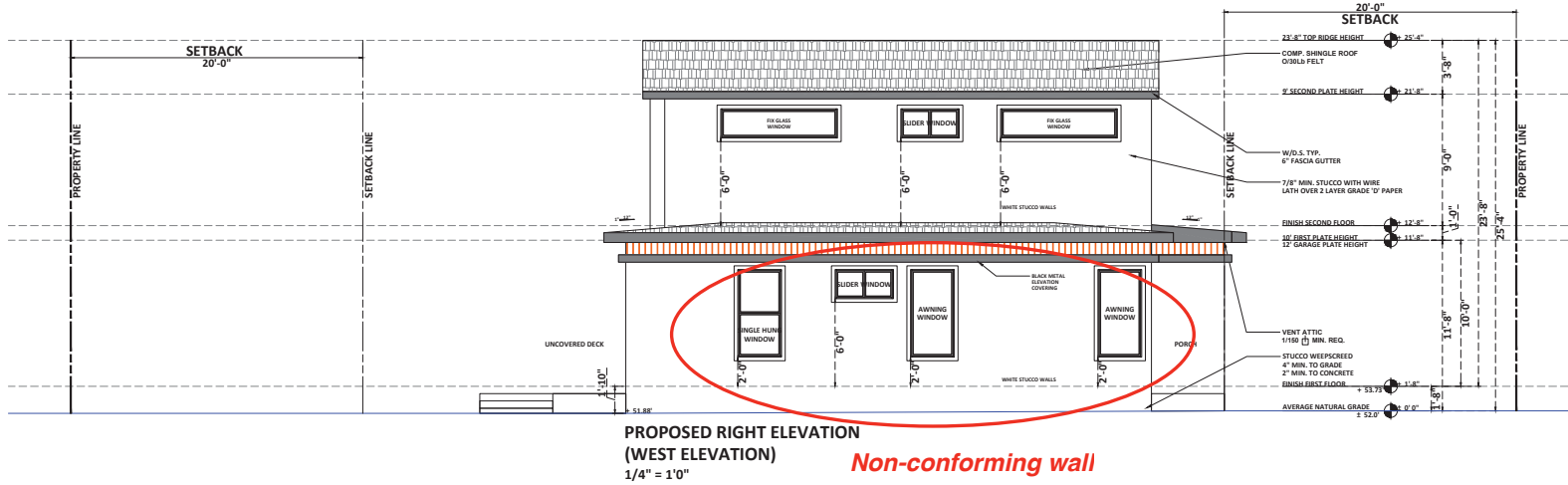
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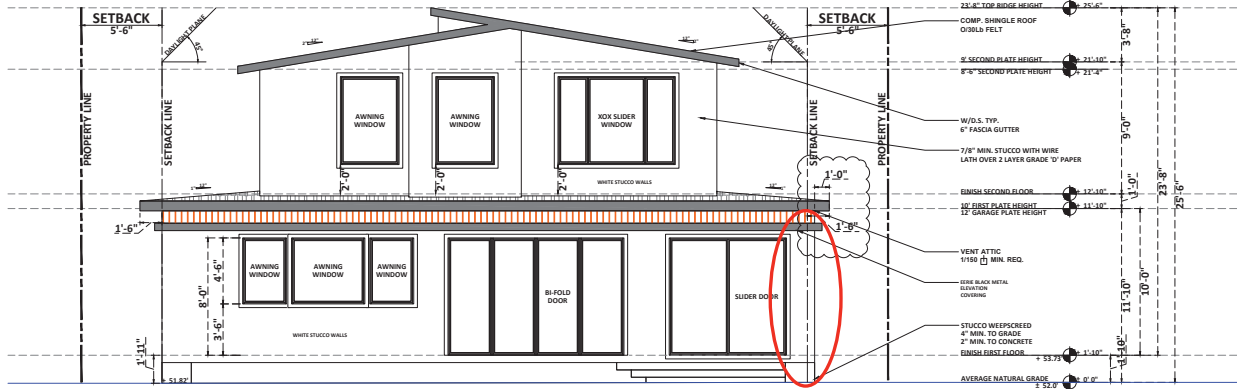
DATE : 12-15-2023

A11



**PROPOSED RIGHT ELEVATION
(WEST ELEVATION)**
1/4" = 1'0"

Non-conforming wall



**PROPOSED REAR ELEVATION
(NORTH ELEVATION)**
1/4" = 1'0"

Non-conforming wall

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REV 1 - 12-15-2023

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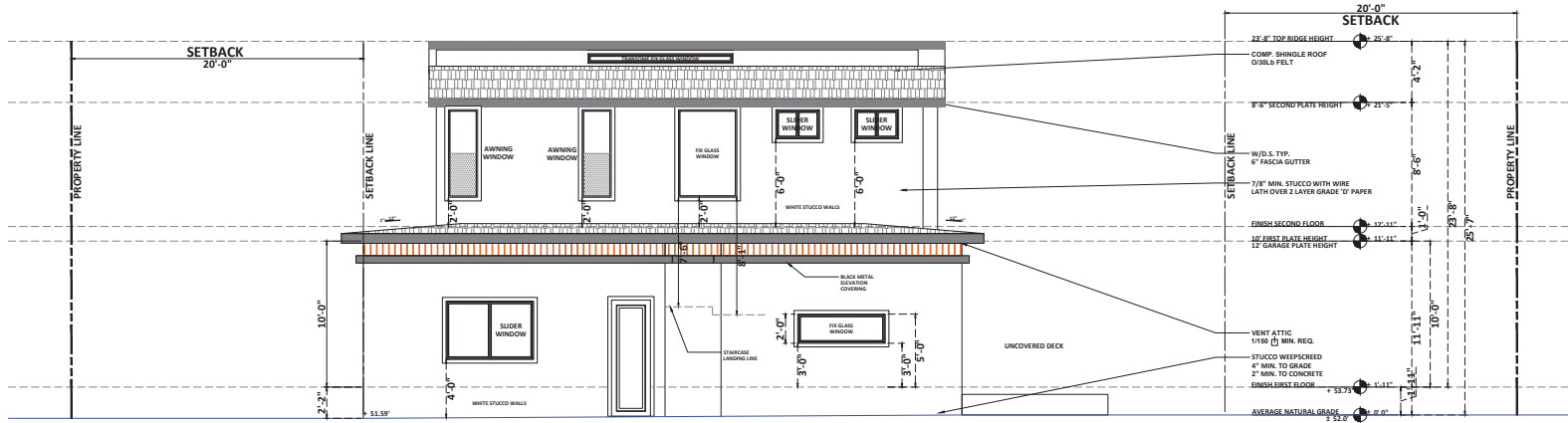
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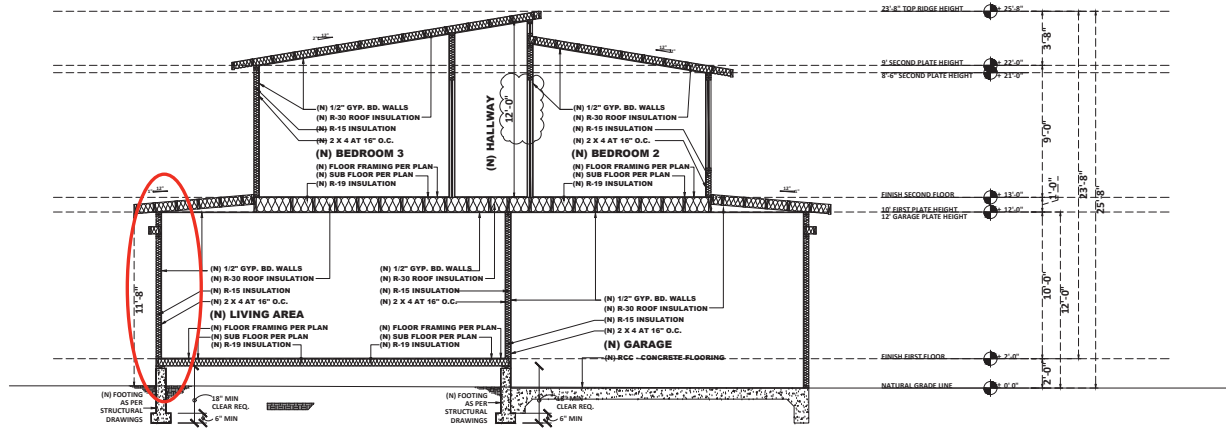
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DRAWN : AJ
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SCALE : 1/4"=12"
DATE : 12-15-2023

A12

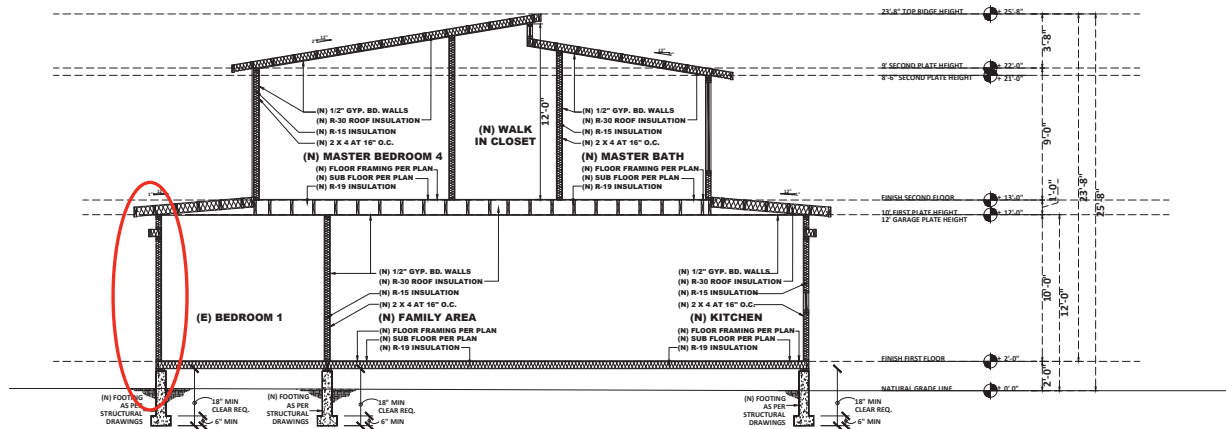


**PROPOSED LEFT ELEVATION
(EAST ELEVATION)**
1/4" = 1'0"



PROPOSED SECTION A
1/4" = 1'0"

Non-conforming wall



PROPOSED SECTION B
1/4" = 1'0"

Non-conforming wall

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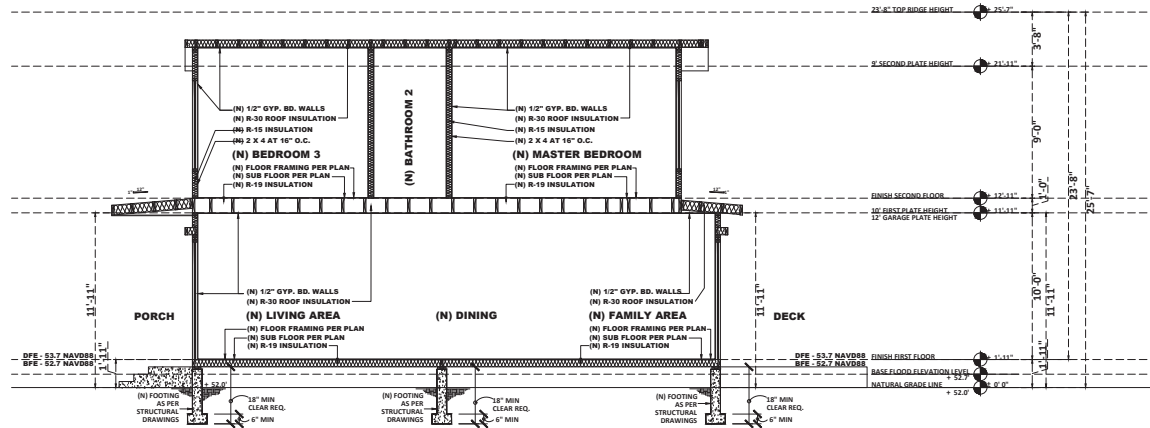
DRAWN : AJ

CHECKED : RS

SCALE : 1/4"=12"

DATE : 12-15-2023

A13



PROPOSED SECTION C
1/4" = 1'0"

Non-conforming wall

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SHAH DESIGNS

DRAWN : AJ

CHECKED : RS

SCALE : 1/4"=12"

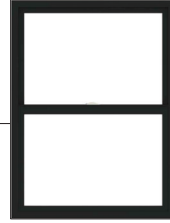
DATE : 12-15-2023

A14

WPC EXTERIOR WOODEN
TEXTURED FLUTED PANELS



ANDERSON 100-SERIES
ALUMINIUM SINGLE
HUNG WINDOW WITH
DOVE BLACK VINYL TRIMS



NEW COMPOSITE SHINGLE
ROOFING



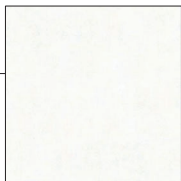
ANDERSON E-SERIES ALUMINIUM
GLIDING WINDOW WITH BLACK VINYL
TRIMS



ALUMINIUM GUTTER
BLACK



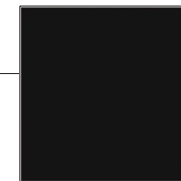
Non-conforming wall



DOVE WHITE
COLORED STUCCO
WALLS



WALNUT NATURAL
WOOD FINISH ENTRY
DOOR



EERIE BLACK METAL
ELEVATION
COVERING

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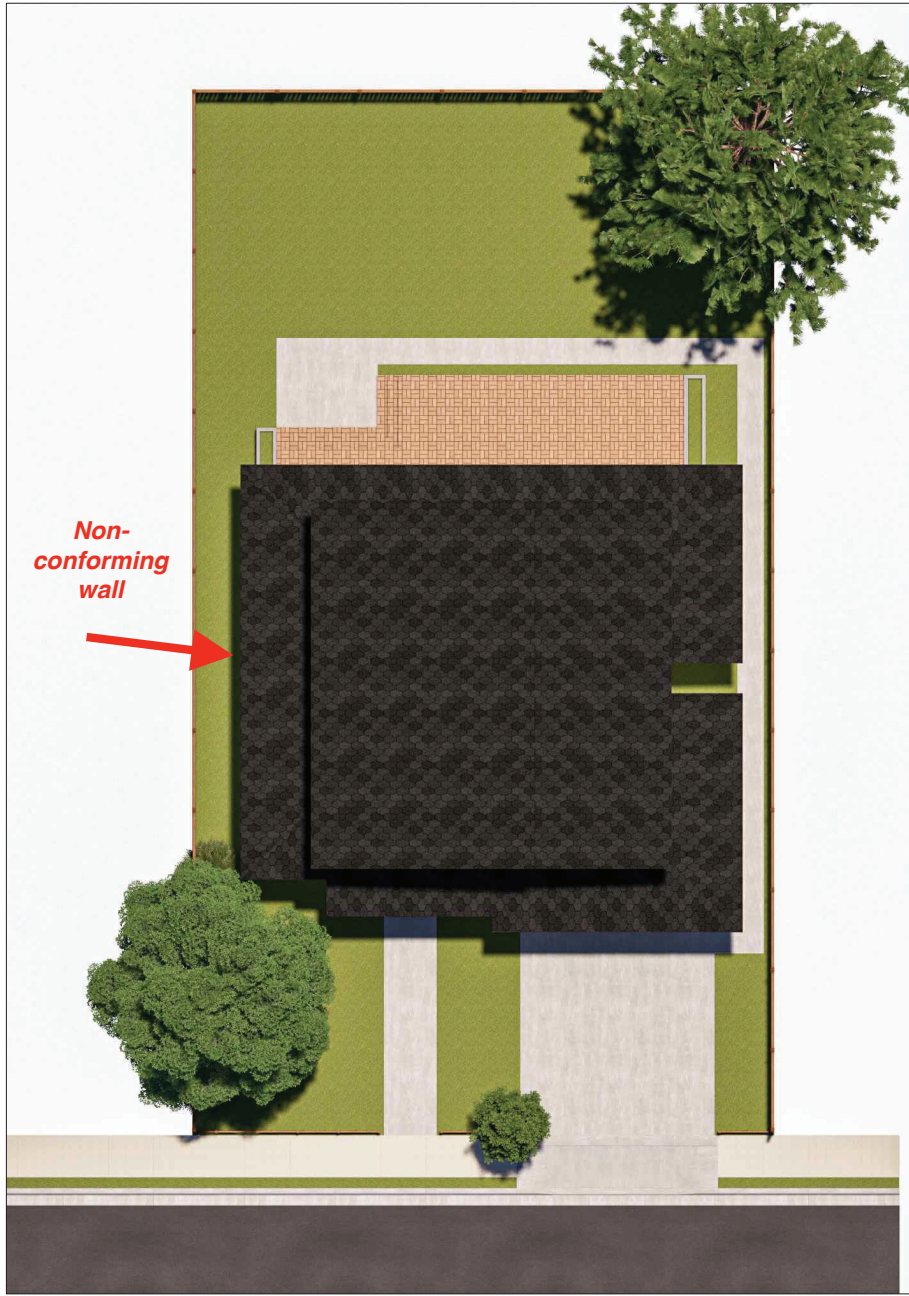
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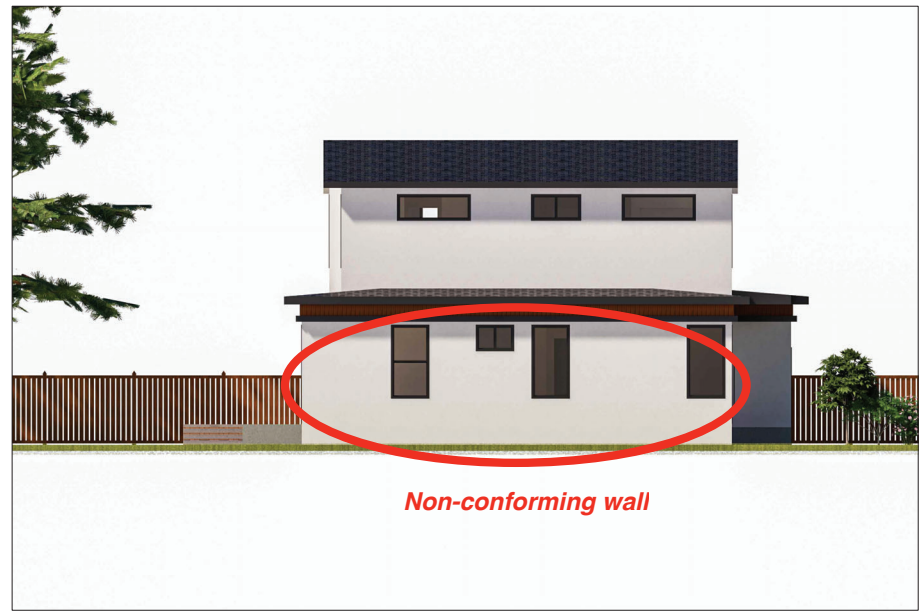
SINGLE FAMILY RESIDENCE

1.08
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MENLO PARK, CA
94025

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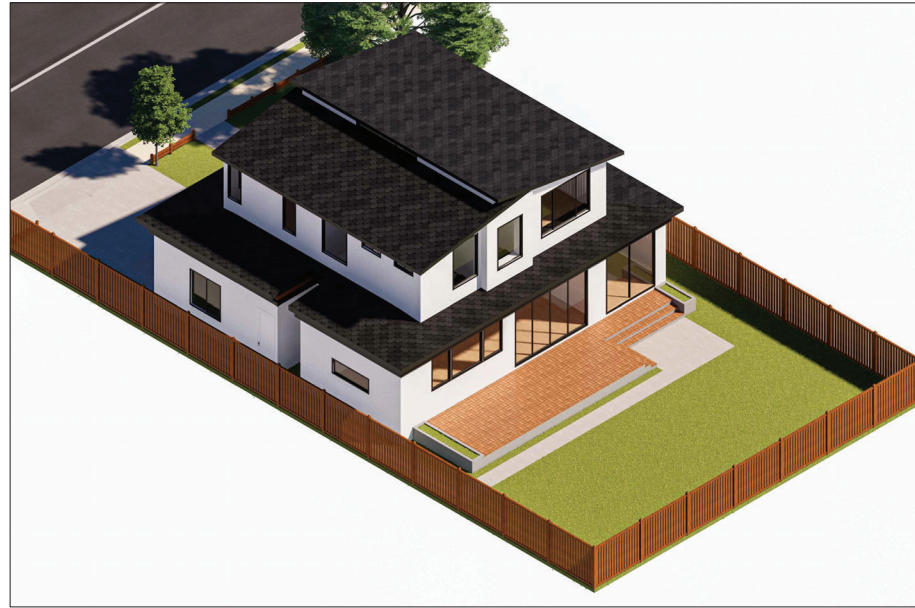
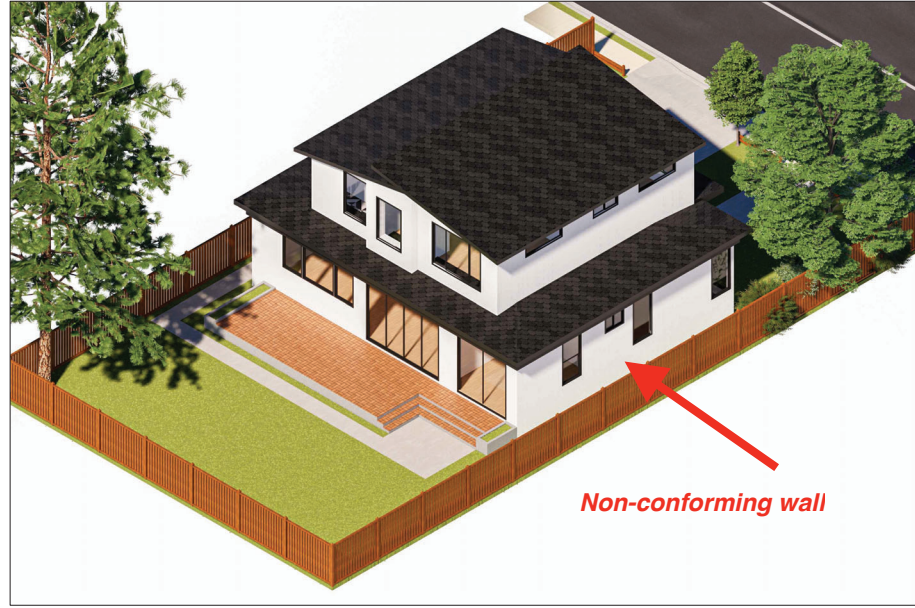
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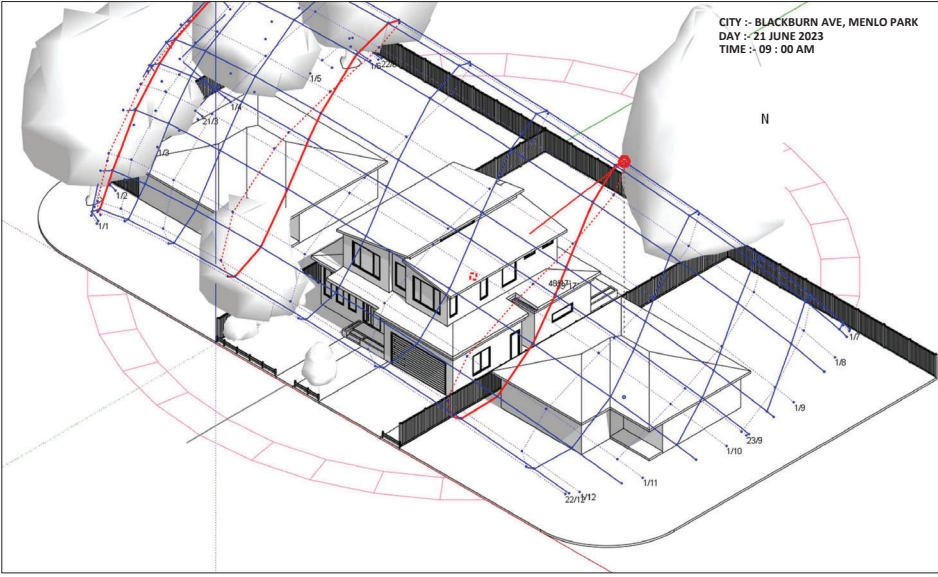
SINGLE FAMILY RESIDENCE

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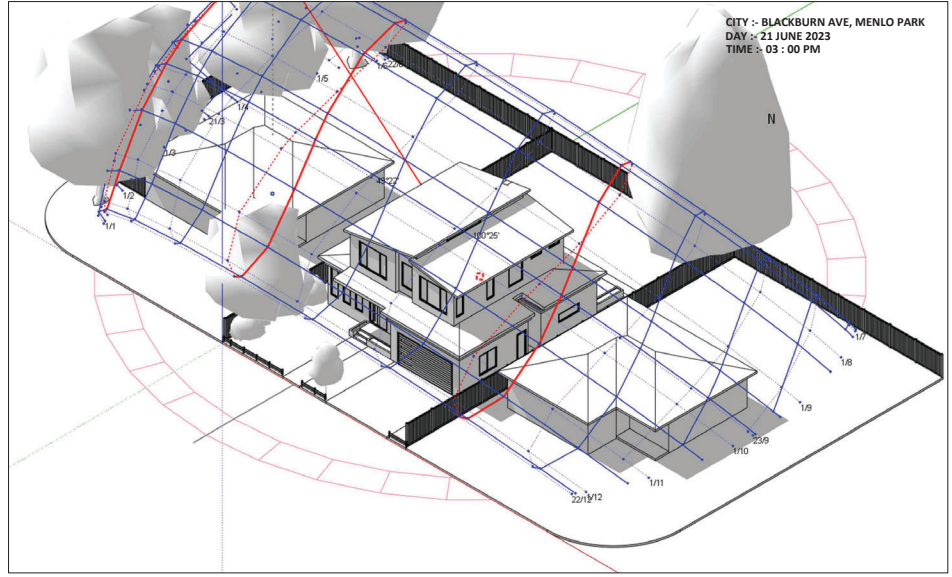
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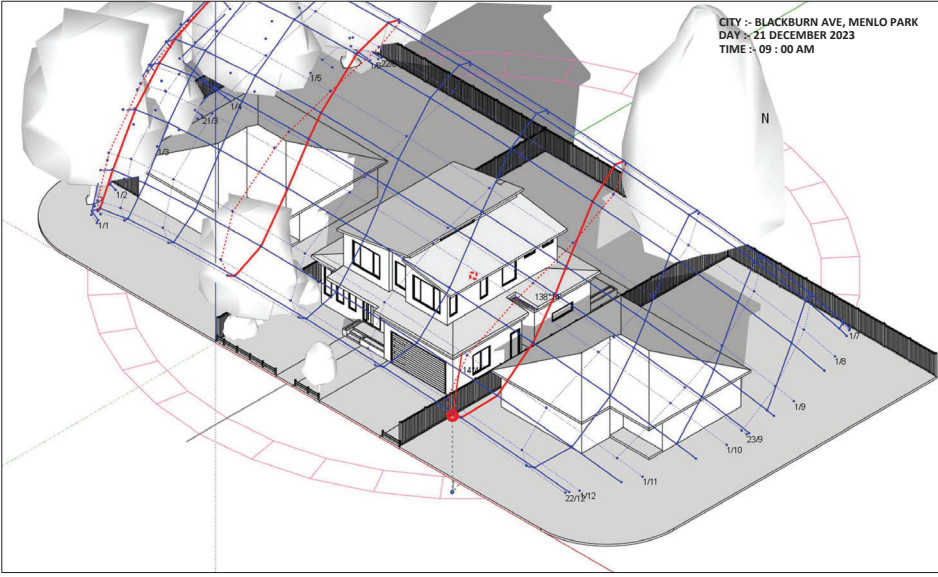
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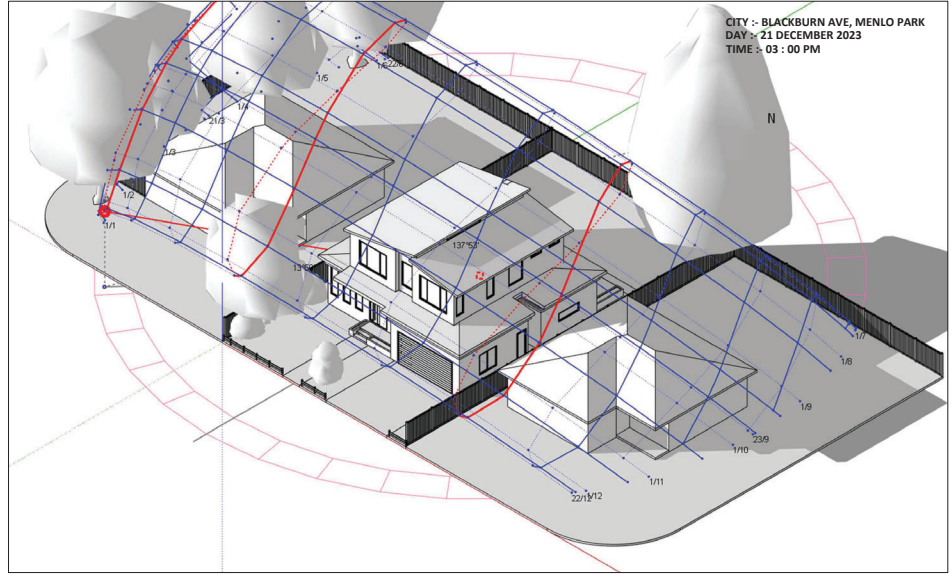
CITY :- BLACKBURN AVE, MENLO PARK
 DAY :- 21 JUNE 2023
 TIME :- 09 : 00 AM



CITY :- BLACKBURN AVE, MENLO PARK
 DAY :- 21 JUNE 2023
 TIME :- 03 : 00 PM



CITY :- BLACKBURN AVE, MENLO PARK
 DAY :- 21 DECEMBER 2023
 TIME :- 09 : 00 AM



CITY :- BLACKBURN AVE, MENLO PARK
 DAY :- 21 DECEMBER 2023
 TIME :- 03 : 00 PM

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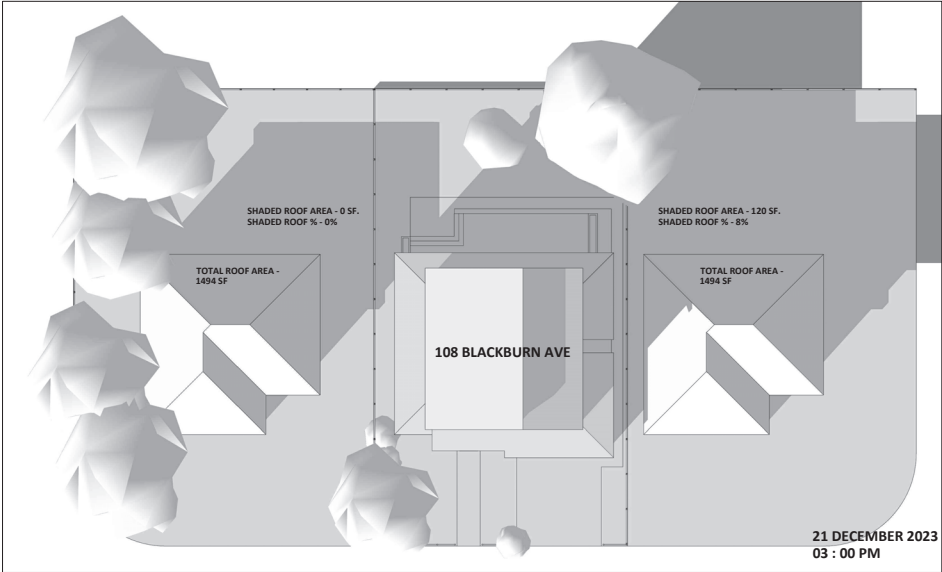
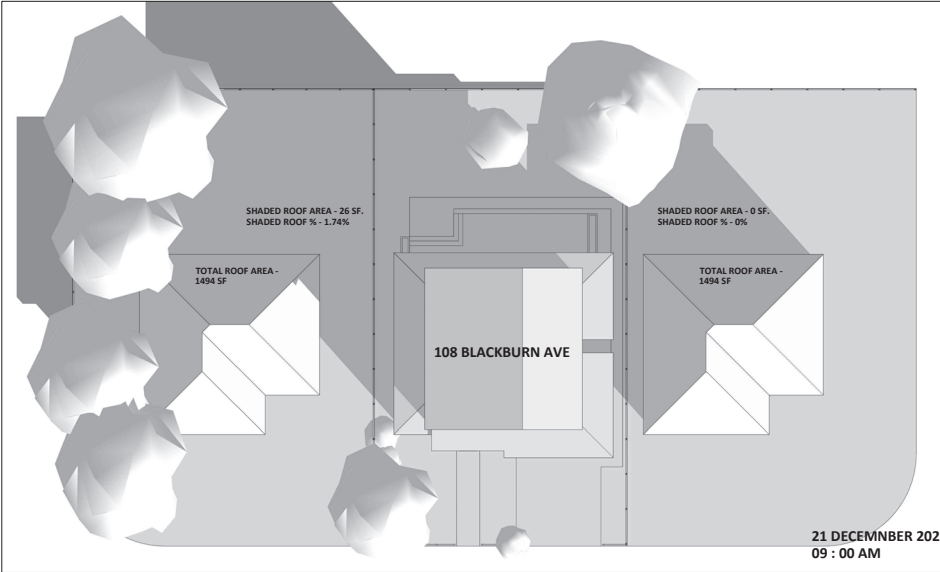
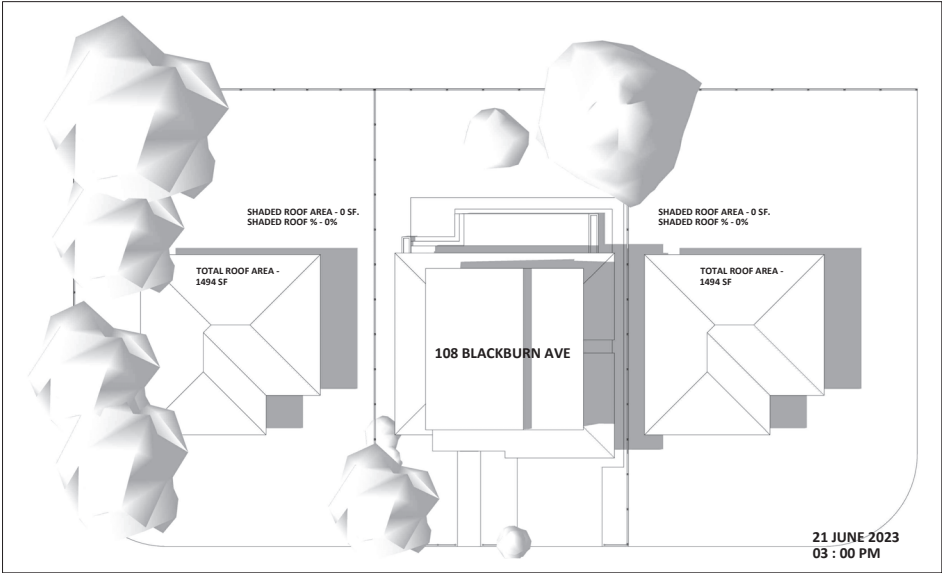
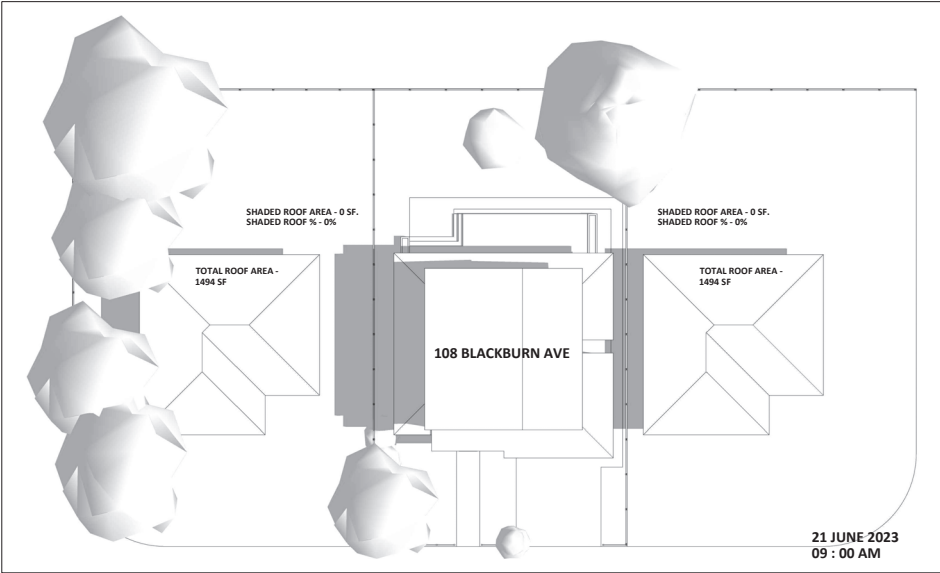
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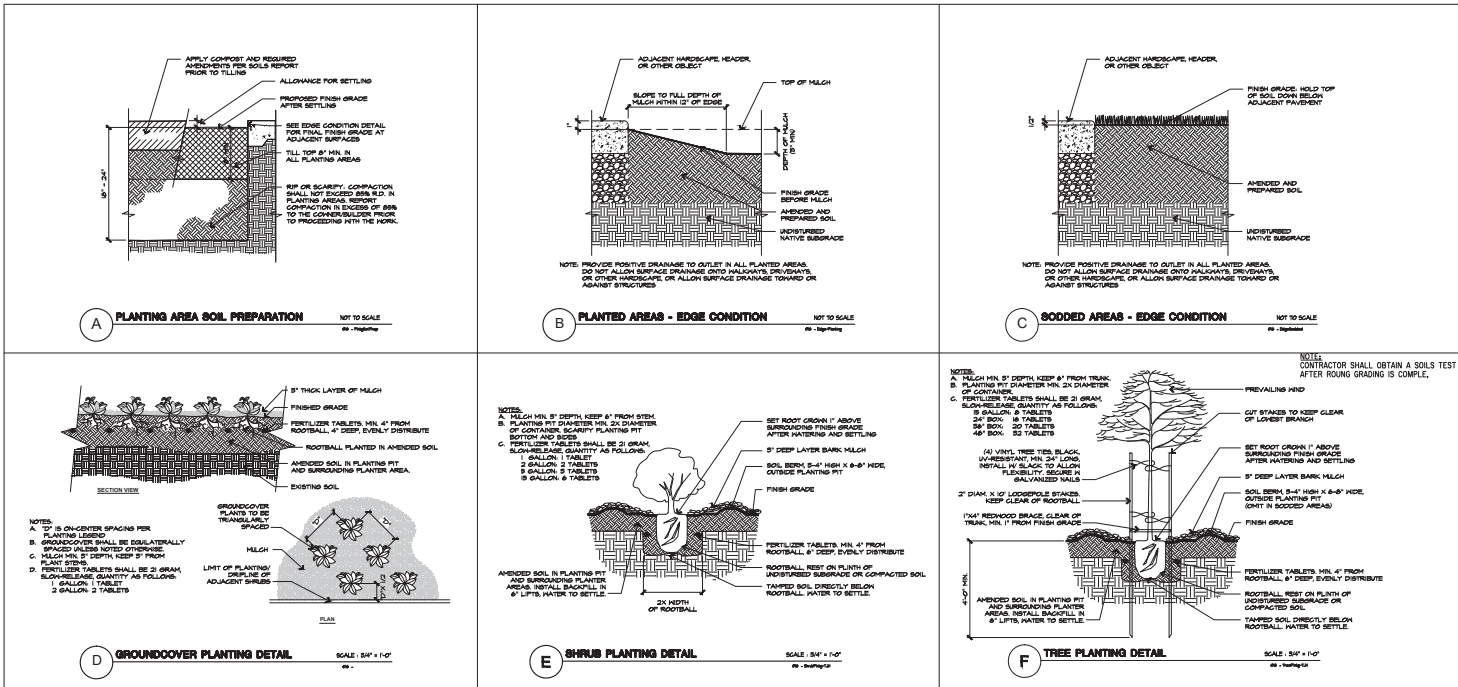
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SCALE :
DATE : 12-15-2023

A23



DEMOLITION NOTES:

1. SPECIFICATIONS: SEE GENERAL NOTES FOR ADDITIONAL INFORMATION INCLUDING UTILITIES VERIFICATION, PROTECTION, AND RESTORATION INFORMATION AND REQUIREMENTS.
2. CLEARING AND GRUBBING: CLEAR AND GRUB TO THE LIMITS OF WORK PER SPECIFICATIONS TAKING CARE TO NOT DISTURB THE ROOT SYSTEMS OF EXISTING TREES TO REMAIN.
3. EXISTING UTILITY BOXES: ADJUST ALL UTILITY BOXES TO BE FLUSH WITH FINISHED GRADE.
4. EXISTING PAVING TO REMAIN: IN LOCATIONS WHERE NEW PAVING WILL BE CONSTRUCTED NEXT TO EXISTING PAVING, ENSURE DURING THE CONSTRUCTION PROCESS THAT A SMOOTH TRANSITION CAN BE MADE FROM THE EXISTING PAVING TO THE PROPOSED PAVING. RECONSTRUCT EXISTING PAVING AT SUCH LOCATIONS IF NECESSARY.
5. REMOVAL OF EXISTING TREES: SEVERAL EXISTING TREES ARE BEING REMOVED DUE TO POOR CONDITION OR HEALTH, OR LOCATION IN RELATION TO FOOTING BUILDING SITES OR FOOTINGS AND OTHER STRUCTURES.
6. EXISTING TREES TO REMAIN: EXISTING TREES TO REMAIN SHALL BE PRUNED UNDER THE DIRECTION OF A CERTIFIED ARBORIST IN ACCORDANCE WITH INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA) GUIDELINES PRIOR TO BEGINNING OF CONSTRUCTION. DURING CONSTRUCTION, CONSTRUCTION FENCING SHALL BE INSTALLED AT THE DRIP LINE OF ALL EXISTING TREES TO REMAIN, PER ARBORIST AND TREE PROTECTION PLAN. ALL EXCAVATION WITHIN THE DRIP LINES OF EXISTING TREES TO REMAIN SHALL BE DONE BY HAND WITH CARE. TAKEN NOT TO DAMAGE THE ROOT SYSTEMS OF THESE TREES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING AND INSURING THE HEALTH OF THE TREES TO REMAIN. DO NOT WATER CALIFORNIA NATIVE OAK TREES TO REMAIN DURING THE DRY SEASON (APRIL - OCTOBER). TREES THAT DIE DURING THE CONSTRUCTION AND MAINTENANCE PERIOD SHALL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER AT THEIR CURRENT SIZE.
7. CONTRACTOR TO VERIFY EXISTING DRAINAGE SYSTEM BEFORE CONSTRUCTION, SAVE AND PROTECT IN PLACE, REPAIR AS REQUIRED.
8. CONTRACTOR TO VERIFY EXISTING LIGHTING & ELECTRICAL SYSTEMS, SAVE AND PROTECT IN PLACE, REPAIR AS REQUIRED.
9. CONTRACTOR TO VERIFY EXISTING IRRIGATION SYSTEM BEFORE CONSTRUCTION, SAVE AND PROTECT IN PLACE, REPAIR AS REQUIRED.
10. DO NOT WILLFULLY PROCEED WITH CONSTRUCTION UNLESS THE CONTRACTOR HAS BEEN ADVISED BY THE ARCHITECT THAT THERE ARE NO UNKNOWING OBSTRUCTIONS, AREA DISCREPANCIES AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.

GENERAL NOTES:

1. CONTRACTOR TO FAMILIARIZE HIM/HERSELF WITH ALL SITE CONDITIONS PRIOR TO BIDDING ON PROJECT.
2. CONTRACTOR SHALL CLEAN OUT AND REPAIR/REPLACE AS REQUIRED EXISTING DRAINAGE, SYSTEM AND GRADE SITE SO THAT THE SITE HAS POSITIVE DRAINAGE.
3. ALL GRADING SHALL BE IN ACCORDANCE WITH LOCAL GRADING CODES AND ORDINANCES.
4. THE CONTRACTOR SHALL OBTAIN, COORDINATE AND PAY FOR ANY AND ALL PERMITS AND ALL INSPECTIONS AS REQUIRED.
5. ALL CONCRETE FLOOR LAYOUT SHALL BE APPROVED BY OWNER AND/OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
6. THE LOCATION AND PROTECTION OF ALL UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
7. ALL DIMENSIONS ARE FROM OUTSIDE FACE OF PAVING, WALLS, ETC., UNLESS OTHERWISE NOTED ON PLANS.
8. ALL PROPERTY LINES AND LOT LINES SHALL BE VERIFIED PRIOR TO COMMENCING WORK.
9. THE CONTRACTOR SHALL BE RESPONSIBLE AND LIABLE FOR ANY AND ALL DAMAGE DUE TO OPERATIONS, OR NEGLECT OF SUBCONTRACTORS.
10. ALL WALLS AND WALKS SHALL HAVE SMOOTH, CONTINUOUS CURVES AS INDICATED ON PLANS. JOIN ALL EXISTING PAVING FLUSH.
11. APPROVED PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS SHALL BE USED TO PROTECT THE ADJOINING PROPERTIES DURING GRADING OPERATIONS.
12. LANDSCAPE AREAS SHALL DRAIN AWAY FROM ALL BUILDINGS AND FACILITIES AT 2% MIN. 4" AS SHOWN ON THE PLAN.
13. ALL MATTER OR DEBRIS SHALL BE REMOVED BY THE CONTRACTOR FROM THE SURFACE UPON WHICH FILL IS TO BE PLACED.
14. DUST SHALL BE CONTROLLED BY WATERING.
15. EXPORTED SOIL AND DEBRIS SHALL GO TO A LEGAL DUMP SITE AT NO ADDITIONAL COST TO THE OWNER.
16. ALL LANDSCAPE AREAS SHALL BE SMOOTH IN CHARACTER AND SHALL HAVE NATURAL TRANSITIONS BETWEEN CONTOURS AS DIRECTED BY THE LANDSCAPE ARCHITECT.
17. LANDSCAPE MOUNDS AND FILL AREAS SHALL BE SPREAD IN LOOSE LIFTS OF 6 INCHES OR LESS AND COMPACTED TO A DEGREE OF 95% OR GREATER.
18. DO NOT WILLFULLY PROCEED WITH CONSTRUCTION UNLESS THE CONTRACTOR HAS BEEN ADVISED BY THE ARCHITECT THAT THERE ARE NO UNKNOWING OBSTRUCTIONS, AREA DISCREPANCIES AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.

GRADING NOTES:

1. EXISTING GRADES ARE USED BASED ON INFORMATION DIRECTLY FROM CIVIL ENGINEER'S PLANS. VERIFY EXISTING GRADES FOR ACCURACY PRIOR TO THE START OF GRADING AND NOTIFY THE OWNER AND LANDSCAPE ARCHITECT IMMEDIATELY SHOULD CONFLICTS ARISE.
2. THE LAYOUT OF PIPING AND ACCESSORIES IS DIAGRAMMATIC UNLESS SPECIFICALLY DIMENSIONED. PRIOR TO GRADING, VERIFY UNDERGROUND UTILITY LOCATIONS, EXISTING DRAINAGE STRUCTURES, AND STREET IMPROVEMENTS WHICH MAY INTERFERE WITH THE WORK TO BE DONE. CONTACT THE UNDERGROUND SERVICE ALERT (USA) (800)442-2444 PRIOR TO DIGGING. NOTIFY THE OWNER AND LANDSCAPE ARCHITECT IMMEDIATELY SHOULD CONFLICTS ARISE.
3. PROPOSED PAVING SURFACES SHALL MEET PAVED SURFACES WITH A SMOOTH AND CONTINUOUS TRANSITION. LOW SPOTS WHICH HOLD STANDING WATER WILL NOT BE PERMITTED.
4. STEP TREAD SURFACES SHALL BE SLOPED AT 1% FOR DRAINAGE, AND SHALL HAVE SLIP RESISTANT FINISHES.
5. WALKWAYS SHALL BE INSTALLED WITH A MAXIMUM CROSS SLOPE OF 2% AND SHALL MEET ALL LOCAL AND COUNTY REQUIREMENTS.
6. WHEN UTILIZED, CARE SHALL BE TAKEN TO ACCURATELY CENTER ALL DECK DRAINS WITHIN AREA BETWEEN CONCRETE EXPANSION JOINT AND SCORE LINES AS SHOWN ON THE PLANS.
7. PLANTED AREAS SHALL BE SLOPED AT MINIMUM OF 2% TOWARDS CATCH BASINS AND SWALES AS SHOWN ON PLAN. LOW SPOTS WHICH HOLD STANDING WATER WILL NOT BE PERMITTED. POSITIVE DRAINAGE AWAY FROM BUILDING FOUNDATIONS, AND PROPERTY LINES IS IMPERATIVE. NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY SHOULD CONFLICTS ARISE.
8. GROUNDCOVER AREAS SHALL BE 2", LAWN AREA 1" BELOW TOP OF ADJACENT PAVING, EADERS, OR CURBS, UNLESS OTHERWISE NOTED. LOW SPOT WHICH HOLD STANDING WATER WILL NOT BE PERMITTED.
9. DRAINLINES SHALL DRAIN AT 2% MINIMUM WITH A SMOOTH AND CONTINUOUS SLOPE, UNLESS OTHERWISE NOTED.
10. VERIFY EXISTING DRAINLINE LOCATIONS AT WALKWAY CROSSINGS. DAYLIGHT PROPOSED DRAINLESS THROUGH THE FACE OF EXISTING CURBS 1" ABOVE THE FLOW LINE.
11. POOLS, SPAS, AND FOUNTAINS SHALL BE DRAINED PER LOCAL CODES AND REGULATIONS.
12. WHEN POSSIBLE, CLEAN TOPSOIL SHALL BE REMOVED FROM AREAS TO BE PAVED AND STOCKPILED TO BE USED AT BACKFILL IN PLANTING AREAS.
13. REFER TO PLANTING PLANS FOR SLOPE STABILIZATION AND PLANTING REQUIREMENTS HOLD SLOPE EXCEED 3:1. NOTIFY THE OWNER AND LANDSCAPE ARCHITECT IMMEDIATELY SHOULD FIELD CONDITIONS ARISE WHICH INCREASE THE MAXIMUM PROPOSED SLOPE GRADES.

PLANTING NOTES:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL EASEMENTS, UNDERGROUND UTILITIES, PIPES AND STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF SAID UTILITIES.
2. DO NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS, AREA DISCREPANCIES AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
3. LANDSCAPE AREAS SHALL DRAIN AWAY FROM ALL BUILDINGS AND FACILITIES AT 2% MIN. FOR 5' AS PER DRAINAGE PLAN. FOLLOW ALL DRAINAGE PLANS.
4. ALL PLANT MATERIAL SHALL BE OF NURSERY QUALITY AND BE GUARANTEED FOR THREE MONTHS.
5. ALL PLANT MATERIAL SHALL BE APPROVED FOR QUALITY BY THE OWNER AND/OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
6. FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER.
7. SOIL PREPARATION:
 - ROTOTILL THE FOLLOWING AMENDMENTS 6" INTO THE SOIL AT RATES INDICATED:
 - PER 1,000 SQUARE FEET FOR ALL PLANTING AREA AND SOD AREAS:
 - 6 CUBIC YARDS NITROGEN STABILIZED SANDUST OR EQUAL.
 - 125 LBS. GRO-POWER PLUS OR EQUAL PRE PLANT FERTILIZER.
 8. A SITE SPECIFIC SOIL ANALYSIS SHOULD BE FOLLOWED BY CONTRACTOR PER WELQ REQUIREMENT.
8. PLANT PITS SHALL BE 2X THE ROOT BALL SIZE WITH 70% NATIVE SOIL AND 30% AMENDMENTS WITH PLANT TABLETS OR OTHER PER PLANT FERTILIZER.
9. ALL PLANTS SHALL HAVE A 2" MIN. WATERING BERM AROUND THEM.
10. TREES ARE TO BE STAKED WITH A MIN. 2"x2"x REQUIRED HEIGHT STAKE AND TIED TO INSURE VERTICAL GROWTH.
11. ALL PLANTING AREAS SHALL BE WATERED WITH AN AUTOMATIC IRRIGATION SYSTEM.
12. ALL APPLICABLE CODES TO BE FOLLOWED. ALL WORK REQUIRED PERMITS SHALL HAVE PERMITS BEFORE WORK IS TO BEGIN.
13. ALL PLANTING AREAS TO BE COVERED WITH 3" THICK LAYER OF PREMIUM ARBOR MULCH.
14. ALL TREE ROOTS GREATER THAN 1-1/2" IN DIAMETER DAMAGED DURING CONSTRUCTION SHALL BE CUT CLEAN AND SEALED.
15. CONTRACTOR TO VERIFY QUANTITIES, QUANTITIES SHOWN ARE FOR REFERENCE ONLY.

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