



2319 Warner Range Ave. Menlo Park. CA

Proposed project at 2319 Warner Range is a new two-story single-family Residence on an interior lot with an attached ADU and an attached two car garage. This portion of the project has undergone review through the planning and building department and due to the lot being conforming it is excluded from the use permit application. However, there are some landscaping retaining walls in order to achieve a better cohesive design and minor grading that requires a use permit application. The lot is corner parcel, and is approximately +/- 12500 SF in the R-1-s zoning district. The proposed design for this project would adhere to all zoning ordinance regulations for setbacks, lot coverage, floor area limit, height, daylight plane, and parking.

Retaining walls and landscape design:

Proposed design and reason for project requiring a use permit is brought up is due to the planning requirement of grading more than 12 inches in the required rear and side setback areas. This retaining wall shall serve as a landscape retaining wall in order to allow the owners to have a decently sized backyard this retaining wall has been designed in a way that it will provide the owners of the residence enough room for their kids to play in and enjoy the family in-door-outdoor style for which the residence has been designed for. In order to minimize the impact of the retaining walls we have consulted with our arborist team, and civil engineering team to ensure that the size and grading required to accommodate this design, has been performed in the least impact-inducing method possible.

Project outreach –

Owners will be reaching out the neighboring properties in person to identify the concern and letting the neighbors know that we'll be aiming for the construction and installation of the retaining walls in the required side and rear setbacks. 3D perspectives of these designs will be provided as a part of the conversation starters to visually enhance the conversations and make the understanding of the scope of the project more clearly.

Limitations and challenges of the lot:

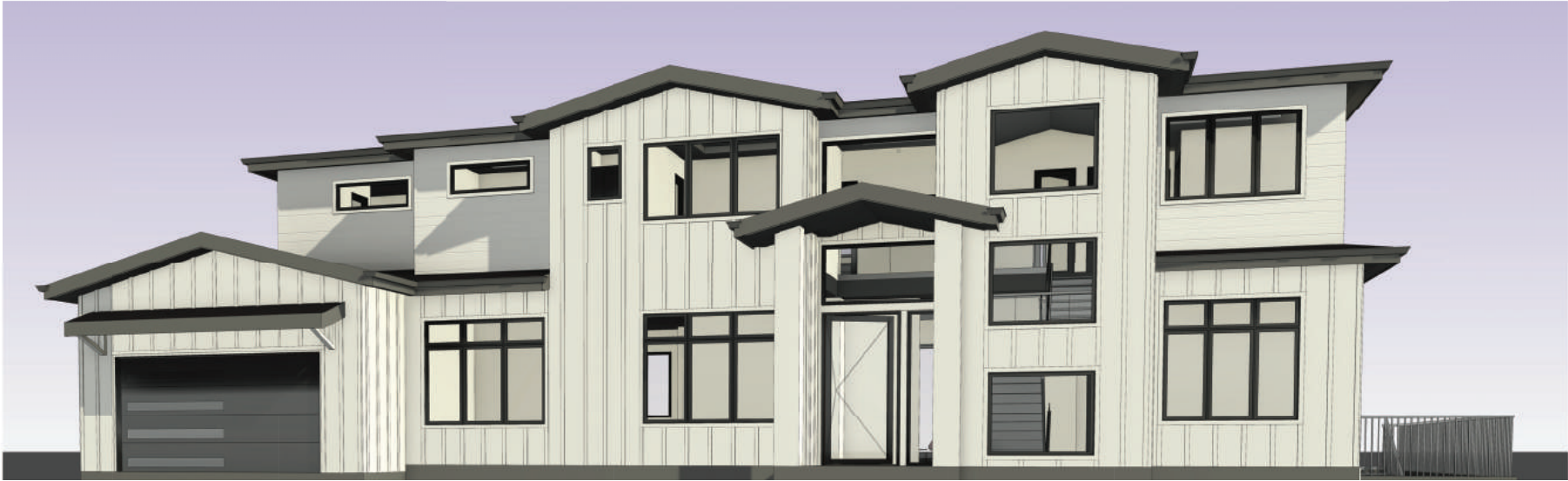
Please note that this property has an approximate 60inch or 5' drop in elevation as we get close to the rear of the property – however, during the original construction of the residence, they had installed a retaining wall which is shown on the survey of the property however, this retaining wall is failing and is not in good shape. Therefore, we'll be installing the proposed retaining wall behind the existing retaining wall with the new and compliant methods of construction to ensure safety and cohesiveness of the design.

ADU:

Please note ADU is not a part / or required to be a part of the conversation in the design review commission and shall be excluded from all of the neighboring comments and concerns. Planning staff please advise neighboring properties that the subject of ADU is not allowed to be a part of the conversation during the design review hearing process.

For any questions or concerns, please contact our office.

Salar Safaei,
SDG Principal,
415.967.2527



2 3D View 3



1 FRONT RENDERED ELEVATION
PERSPECTIVE



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SIGNATURES

Job Title
2319 WARNER RANGE

Job Address
2319 Warner Range Ave, Menlo Park, CA
94025

Date
06.01.2023

Issued For
PLANNING

Job No.
108

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Scale

Sheet Title
COVERSHEET

Sheet No.

A0

PROJECT DESCRIPTION

PROPOSED PROJECT AT 2319 WARNER RANGE IS A NEW TWO-STORY SINGLE-FAMILY RESIDENCE ON AN INTERIOR LOT WITH AN ATTACHED ADU AND AN ATTACHED TWO CAR GARAGE. MAIN RESIDENCE IS HIGHLIGHTED WITH HIGH-END MATERIALS SUCH AS ALUMINUM-CLAD WOOD WINDOWS WITH MODERN LINES, STANDING-SEAM METAL ROOF. EXTERIOR OF THE HOME SHALL BE EQUIPPED WITH MODERN FARMHOUSE STYLE VERTICAL AND HORIZONTAL WOOD SIDING AS WELL AS HARDYBACKER/ CEMENT BOARD EXTERIOR. THE COMBINATION OF MATERIALS SELECTED FOR THIS PROJECT IS DESIGNED TO ADD A HIGH SCALE CHARACTERISTIC TO THE NEIGHBORHOOD AND ADD VALUE TO THE NEIGHBORING HOUSES. THE PROPOSED DESIGN FOR THIS RESIDENCE INCLUDES A 6 BEDROOMS, 6.5 BATHROOMS MAIN RESIDENCE AND 1 BEDROOM 1 BATHROOM ATTACHED ADU. FIRST FLOOR OF THE MAIN RESIDENCE INCLUDES A KITCHEN AND FAMILY ROOM, DINING AND LIVING ROOM. SECOND LEVEL OF THIS MAIN RESIDENCE WILL HAVE FOUR BEDROOMS AND FOUR BATHROOMS. THIS HOME HAS BEEN DESIGNED FOR THE NEEDS OF THE CLIENTS AND THEIR FAMILY AND ELDER PARENTS TO BE ABLE TO HAVE PROPER ACCOMMODATIONS AND COMFORTABLE LIVING. THE LOT IS CORNER PARCEL AND IS APPROXIMATELY +/- 10097 SF IN THE R-1-S ZONING DISTRICT. THE PROPOSED DESIGN FOR THIS PROJECT WOULD ADHERE TO ALL ZONING ORDINANCE REGULATIONS FOR SETBACKS, LOT COVERAGE, FLOOR AREA LIMIT, HEIGHT, DAYLIGHT PLANE, AND PARKING.



1 FRONT ELEVATION
3/16" = 1'-0"



2 RENDERED REAR ELEVATION
3/16" = 1'-0"

TRACT MAP



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PROJECT DATA

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PROJECT INFORMATION

LOT AREA: +/-12499.61 SF.
ALLOWABLE BUILT AREA :
MAX BUILDABLE AREA :
2800 SF + 25(12499-7000) =
800 SF ADU
MAX ALLOWABLE ADU
4974.75 SF
MAX ALLOWED COVERAGE 35%:
4374 SF

PROPOSED BUILT AREA:
MAIN LEVEL: 2014.36 SF.
GARAGE: 462.25 SF.
SECOND LEVEL: 1697.70 SF.
TOTAL PROPOSED BUILT AREA
COUTED AGAINST MAX FAL: 4174.31 SF

FLOOR AREA EXCLUDED FROM FAR & COVERAGE:
LOWER LEVEL (BASEMENT): 2806.12 SF.
ADU: 800.00 SF.

TOTAL HABITABLE AREA: 7320.18 SF

TOTAL PROPOSED BUILT AREA INCLUDING
GARAGE & LOWER LEVEL: 7782.43 SF

MAIN HOUSE REAR COVERED PORCH: 403.72 SF
MAIN HOUSE REAR COVERED TRELLIS: 167.22 SF
MAIN HOUSE FRONT PORCH: 58.67 SF

MAIN HOUSE FIRST FLOOR + MAIN HOUSE FRONT PORCH +
MAIN HOUSE REAR PORCH, MAIN HOUSE TRELLIS
TOTAL COVERED AREA: 3106.22 SF (24.85%)
TOTAL COVERED AREA INCLUDING ADU: 3906.22 SF (31.25%)

LEGAL INFORMATION

PARCEL NUMBER: 074203040
ZONING CODE: R1-S SINGLE-FAMILY
DESCRIPTION: SINGLE FAMILY
RESIDENTIAL HOME
APPLICABLE CODES 2022:
CFC, CFC, CFC, CMC
CFC, CFC, CFC, CFC
CA ENERGY CODE
MENLO PARK MUNI CODE
V-B
CONSTRUCTION TYPE:

UNDER SEPARATE DEFERRED SUBMITTAL PERMIT:
AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM
SUBMITTED DIRECTLY TO SANTA CLARA CO.
FIRE DEPT BY CALIFORNIA LICENSED (C-16)
CONTRACTOR.

PROJECT DESIGN DATA:
2022 CALIFORNIA RESIDENTIAL CODE
2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA GREEN BUILDING STANDARD CODE
2022 CALIFORNIA ELECTRICAL CODE & STANDARDS
2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA FIRE CODE
ALONG WITH ALL OTHER LOCAL AND STATE LAWS AND
REGULATIONS.

SCOPE OF WORK

1. DEMOLISH (E) SINGLE FAMILY HOUSE AND ACCESSORY
STRUCTURE
2. CONSTRUCT NEW SINGLE FAMILY HOUSE WITH A
BASEMENT AND A DETACHED SECONDARY DWELLING UNIT.
WITH A POOL IN THE REAR OF THE PROPERTY

DRAWING INDEX

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SURVEY, SU 1 SURVEY

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A3.2 2ND LEVEL FLOOR PLAN

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ARB-3 ARBORIST REPORT

ARB-4 ARBORIST REPORT

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S1-A FASTENING TABLE SCHEDULE

S2 BASEMENT FOUNDATION PLAN

S3 FIRST FLOOR FRAMING & BASEMENT

SHEAR WALL PLAN

S4 2ND FL. FRAMING & 1ST FL. SHEAR

WALL PLAN

S5 LOWER ROOF FRAMING PLAN

S6 UPPER CEILING FRAMING PLAN

S7 UPPER ROOF FRAMING PLAN + 2ND FL.

SHEAR WALL PLAN

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S9 FOUNDATION DETAILS

S10 FOUNDATION DETAILS

S11 FOUNDATION DETAILS

S12 FRAMING DETAILS

S13 FRAMING DETAILS

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HF2 HARDY FRAME DETAILS

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SWR-2 SITE RETAINING WALLS

CIVIL

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C-2 GRADING & DRAINAGE

C-3 SUBSTRANIAN DRAINAGE PLAN

C-4 DETAILS

C-5 EROSION CONTROL PLAN

C-6 BEST MANAGEMENT PRACTICES

CALGREEN CHECKLIST

CG-1 CALGREEN CHECKLIST

CG-2 CALGREEN CHECKLIST

NOTES:

- HERS RATING VERIFICATION ITEMS:
 - HVAC COOLING MINIMUM AIRFLOW AND FAN EFFICIENCY
 - HVAC DISTRIBUTION SYSTEMS & DUCT SEALING
 - BUILDING AND MECHANICAL VENTILATIONCONTRACTOR TO PROVIDE EVIDENCE OF THIRD PARTY VERIFICATION (HERS) TO BUILDING INSPECTOR PRIOR TO FINAL INSPECTION

- GREEN BUILDING CODE VERIFICATION:
THIS PROJECT IS SUBJECT TO THE MANDATORY MEASURE REQUIREMENTS OF THE 2019 CALIFORNIA BUILDING CODE. SEE VERIFICATION CHECKLIST ON SHEET A10. THIRD PARTY VERIFICATION REQUIRED FOR IMPLEMENTATION OF ALL REQUIRED MEASURES, PRIOR TO FINAL INSPECTION.

- CONSTRUCTION SITE FIRE SAFETY:
ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND SPECIFICATION 91.7

KEY NOTES:

1. EXTERIOR LIGHTWELL SURFACE, WITH 7" STEP DOWN FROM INTERIOR FINISHED FLOOR, SLOPE TO OUTSIDE EDGE TO DRAIN. VERIFY FINISHED SURFACE, WATERPROOFING, ETC. PRIOR TO CONSTRUCTION.
2. AREA DRAINS AND OVERFLOW AT SUNKEN LIGHTWELLS AREA DRAINS AND OVERFLOW AT SUNKEN LIGHTWELLS AND PATIO, FOR STORMWATER COLLECTION TO SUMP PUMP SYSTEM TO GRAVE. PROVIDE ALARM PANEL SYSTEM FOR PUMP FAILURE ALERTS. SEE CIVIL PLANS FOR SYSTEM DETAILS.
3. HOME THEATER SYSTEM, VERIFY ALL A-V COMPONENTS, PROJECTOR AND SCREEN, SEATING, ACOUSTICS, SELECTIONS, ETC. PER OWNER PRIOR TO CONSTRUCTION AT THE THEATER.
4. BUILT-IN SHELVING & CABINETRY, VERIFY DESIGN WITH OWNER & ARCHITECT.
5. SUNKEN SUMP PUMP COLLECTION SYSTEM FOR EXTERIOR STORMWATER COLLECTION & DISCHARGE FROM LIGHTWELL SURFACE DRAINS UP TO SURFACE DRAINAGE AND RETENTION SYSTEM. SEE ALSO CIVIL PLANS.
6. IN BATHROOM FIXTURES & FINISHES, KOHLER OR EQUAL PLUMBING, CERAMIC TILE FLOORING & SHOWER ENCLOSURE. VERIFY ALL SELECTIONS, FINISHES, ACCESSORIES, ETC. WITH OWNER.
7. AT ALL SHOWERS AND TUBS WITH SHOWERS:
 - A. WALL COVERINGS SHALL BE PORTLAND CEMENT CONCRETE, CERAMIC OR STONE TILE, OR APPROVED EQUAL TO 8" ABOVE DRAIN. MATERIALS OTHER THAN STRUCTURAL ELEMENTS SHALL BE MOISTURE RESISTANT.
 - B. VERIFY FINISH MATERIALS. SEE INTERIOR DESIGN PLANS.
 - C. INSTALL HOT-MOP SHOWER PAN @ ALL SHOWERS (TYPICAL). BASE MATERIAL BENEATH SHOWER PAN TO SLOPE TO DRAIN PER 2019 CPC 411.8. VERIFY DRAIN LOCATION W/ OWNER.
 - D. TEMPERED GLASS @ WINDOW AND SHOWER ENCLOSURE. SHOWER DOORS & ENCLOSURES SHALL BE FRAMELESS, TEMPERED, 3/4" GLASS, VERIFY W/ OWNER.
 - E. SHOWERS AND TUB/SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE THERMOSTATIC MIXING OR PRESSURE BALANCE TYPE, ADJUSTED TO 120 DEGREES MAXIMUM.
 - F. ALL SHOWER COMPARTMENTS SHALL HAVE A MINIMUM FINISHED INTERIOR OF 1024 SQ. IN. AND SHALL ALSO BE CAPABLE OF ENCOMPASSING OF 30 INCH CIRCLE.
8. MECHANICAL ROOM WITH HOUSE WATER HEATER, AND HVAC UNIT FOR BASEMENT AND FIRST FLOOR LEVELS. VERIFY LAYOUT OF UNITS, DUCTING MANIFOLDS, PANELS, PANELS, CLEARANCE ACCESS, ETC. FOR SPACE PRIOR TO CONSTRUCTION.
9. LAUNDRY ROOM HOSE-UPS AND CONNECTIONS, CABINETRY & COUNTERTOPS, VERIFY SELECTIONS, APPLIANCES SPECS, ETC. PER OWNER.
10. SUNKEN SEWAGE EJECTION SUMP PUMP SYSTEM FOR BASEMENT WASTE LINE COLLECTION & DISCHARGE UP TO FIRST FLOOR GRAVITY LINES, LOCATED IN EXTERIOR LIGHTWELL (ALTERNATE LOCATION IN MECH. ROOM. SEE ALSO CIVIL PLANS FOR TIE-IN TO STREET. THE DISCHARGE PIPING OF EACH EJECTOR OR PUMP TO HAVE A BACKWATER VALVE AND GATE VALVE, AND BE A MINIMUM OF 2 IN. IN DIAMETER. THE SEWER ELECTROSEWAGE PUMP RECEIVING DISCHARGE OF WATER CLOSET SHALL BE CAPABLE OF PASSING A 1.5 INCH DIAMETER SOLID BALL.
11. DEEP WELL SUMP PUMP SYSTEM FOR COLLECTION OF SUBSURFACE GROUND WATER AT BASEMENT PERIMETER AND UNDER-SLAB, FOR COLLECTION & DISCHARGE UP TO SURFACE DRAINAGE SYSTEM. SEE CIVIL PLANS FOR SUMP PUMP.
12. LOWERED CEILING AT HALLWAY AND SECONDARY SPACES, FOR MECHANICAL DUCTING MANIFOLDS, VERIFY FINAL FINISHED CEILING HEIGHTS TO COORDINATE WITH MECHANICAL DESIGN PRIOR TO CONSTRUCTION.
13. AT SLOTTED OF USABLE SPACES BELOW STAIRS, PROVIDE 5/8" TYPE "X" GYP BD. FOR ONE-HOUR FIRE PROTECTION.
14. STAIR UP TO FIRST STORY, MAX. 7'7" RISE, MIN. 10" STAIR UP TO FIRST STORY, MAX. 7'7" RISE, MIN. 10" RUN, WITH HANDRAILS & GUARDRAILS PER CODE.
15. EXTERIOR STAIR DOWN TO BASEMENT LIGHTWELL, MAX. 7" RISE, MIN. 11" RUN, WITH HANDRAILS & GUARDRAILS PER CODE.
16. FIRE LADDER SHALL HAVE A NET INTERIOR WIDTH OF 12". SHALL PROJECT AT LEAST 3" FROM THE WALL AND SHALL BE SPACED NOT MORE THAN 18" ON CENTER VERTICALLY FOR THE FULL HEIGHT OF THE WINDOW WELL. CRC R310.4.2.

GENERAL NOTES:

CONFIRM BUILDING PAD LOCATION ON SITE WITH LAND SURVEY VERIFICATION TO ESTABLISH PERIMETER AND CONFORMANCE WITH TOWN REQUIRED SITE SETBACKS FOR ALL BUILDING ELEMENTS, INCLUDING ROOF EAVES AND GUTTERS.

ALL DIMENSIONS SHOWN ARE TO FACE OF STUD OR CENTERLINE OF WINDOWS, UNLESS OTHERWISE NOTED.

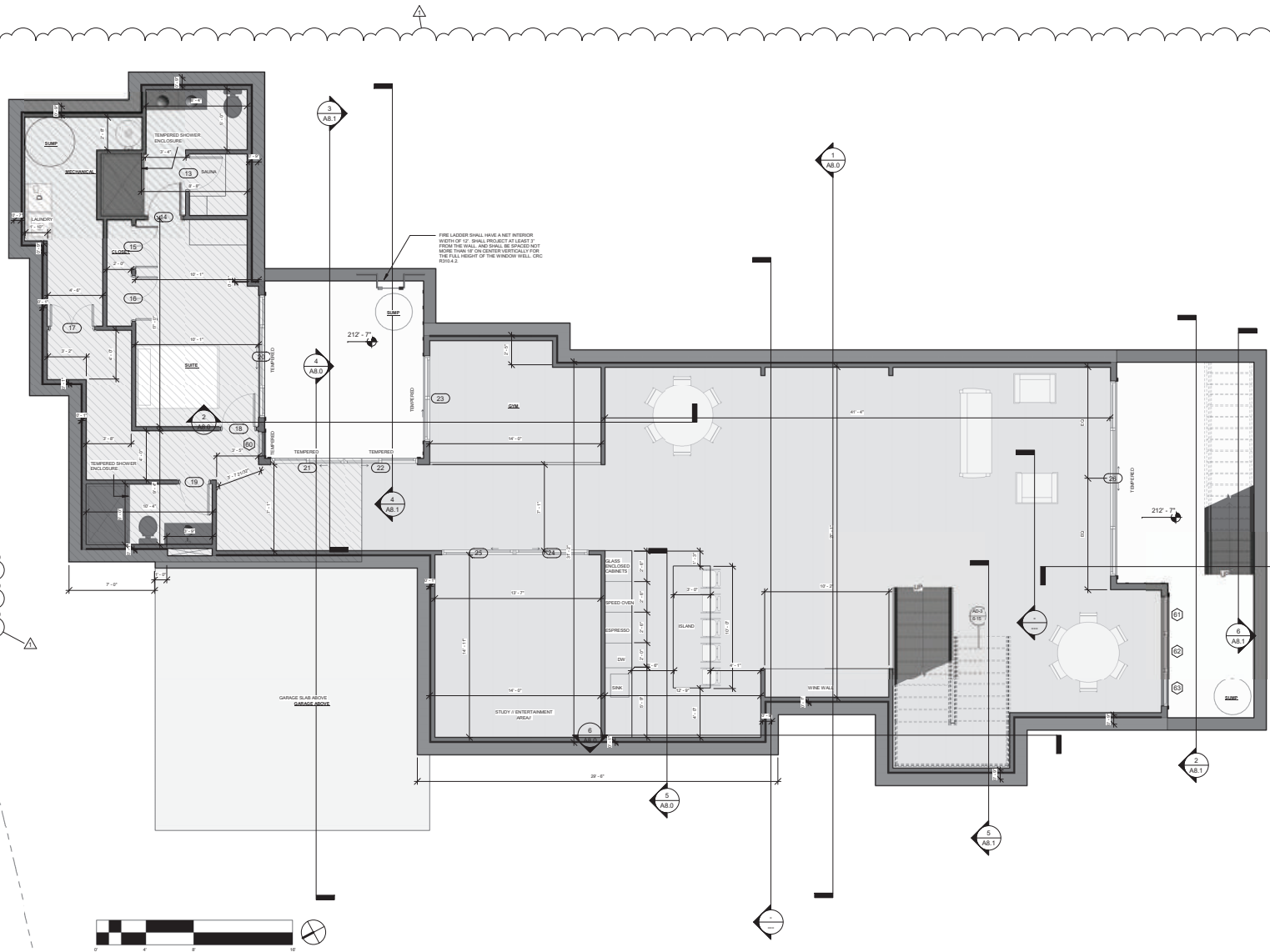
FRAMING CONTRACTOR SHALL CAREFULLY REVIEW ALL ELECTRICAL, MECHANICAL, & STRUCTURAL PLANS AND CONSIDER ALL ISSUES IN LOCATION OF SIGNIFICANT BEAMS AND LAYOUT OF FLOOR & CEILING JOISTS TO ACCOMMODATE LIGHT CANS, PLUMBING, MINIMIZE HEADROOM, CENTER FLOOR REGISTERS W/ WINDOWS, ALIGN CHUTES & CHASES, ETC.

SEE DOOR & WINDOW SCHEDULE A1.1. VERIFY ROUGH OPENINGS OF ALL NEW UNITS PRIOR TO CONSTRUCTION. VERIFY ALL PLUMBING FIXTURES, APPLIANCES, LIGHTING SELECTIONS, DIMENSIONS, & REQUIREMENTS ETC. W/ OWNER PRIOR TO ROUGH FRAMING. COORDINATE WITH FRAMING CONTRACTOR.

SEE ELECTRICAL PLANS FOR LIGHTS, SWITCHES, OUTLETS, TV, PHONE LOCATIONS, ETC. VERIFY W/ ELECTRICIAN, OWNER DURING FRAMING. COORDINATE ALIGNMENT W/ TILE FINISHES, HEIGHTS, WALL DEPTHS & FINISH, BLOCKING, ETC.

MECHANICAL CONTRACTOR TO VERIFY ALL AIR DUCTS, CHASES, LOCATIONS, CONFIGURATIONS, ETC. W/ FRAMING CONTRACTOR DURING FOUNDATION WORK, PRIOR TO FRAMING. PLACE DUCTS OUT OF THE WAY IN ATTICS, CRAWLSPACE, ETC.

NOTE: R310.2.1 MINIMUM OPENING AREA, EMERGENCY AND ESCAPE RESCUE OPENINGS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 SQUARE FEET (0.530 M2). THE NET CLEAR OPENING DIMENSIONS REQUIRED BY THIS SECTION SHALL BE OBTAINED BY THE NORMAL OPERATION OF THE EMERGENCY ESCAPE AND RESCUE OPENING FROM THE INSIDE.



1 Basement F.F.
1/4" = 1'-0"



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Revision No. Date
1 BLD. REV.1 06.01.2023

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Sheet Title
BASEMENT FLOOR PLAN

Sheet No.

A3.0



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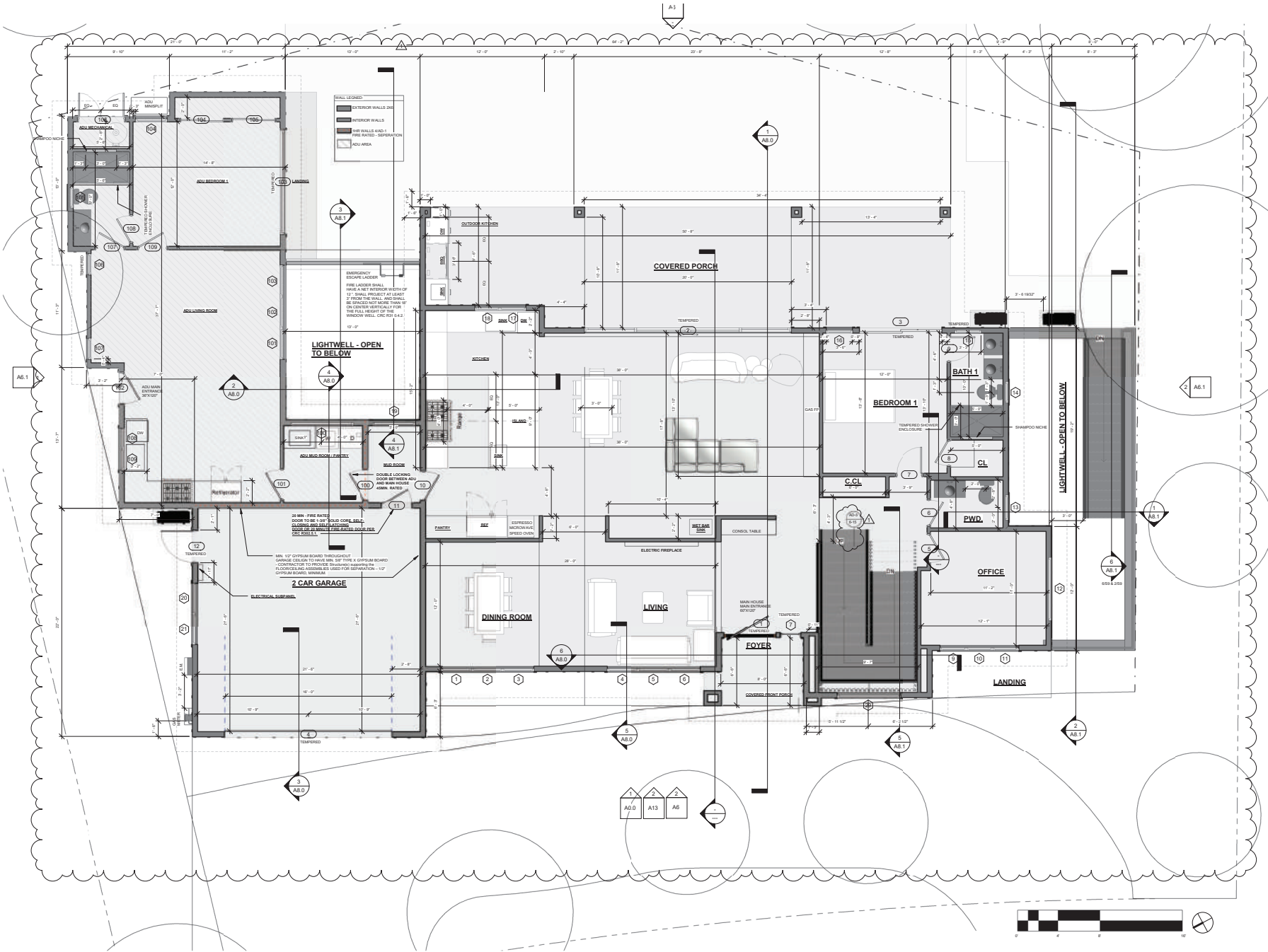
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1ST LEVEL FLOOR PLAN

Sheet No.

A3.1





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① SECOND FLOOR FF
1/4" = 1'-0"



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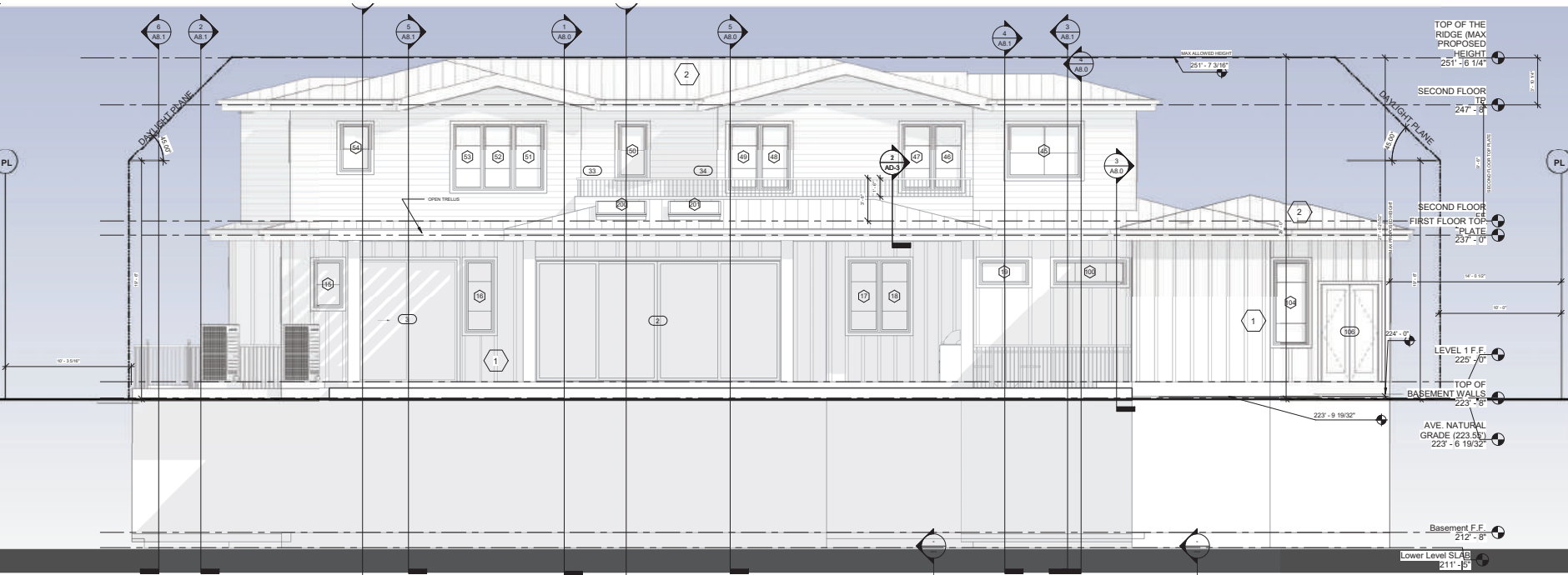
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Author: _____

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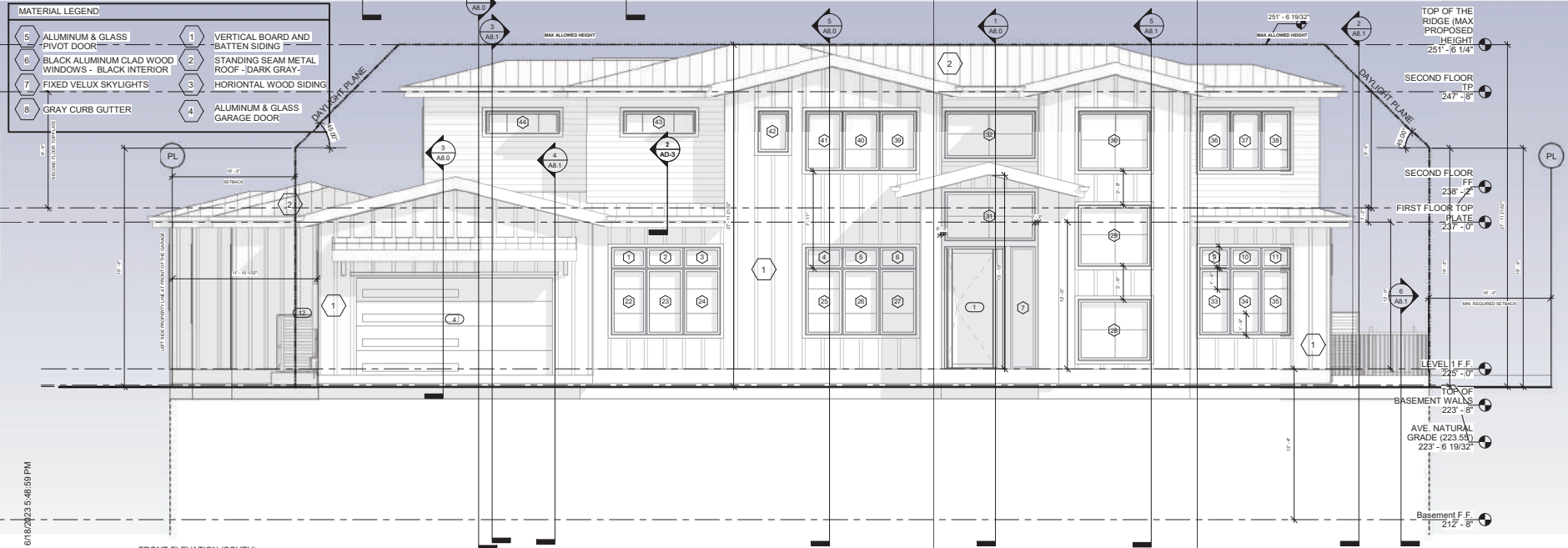
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ELEVATIONS

Sheet No.

A6

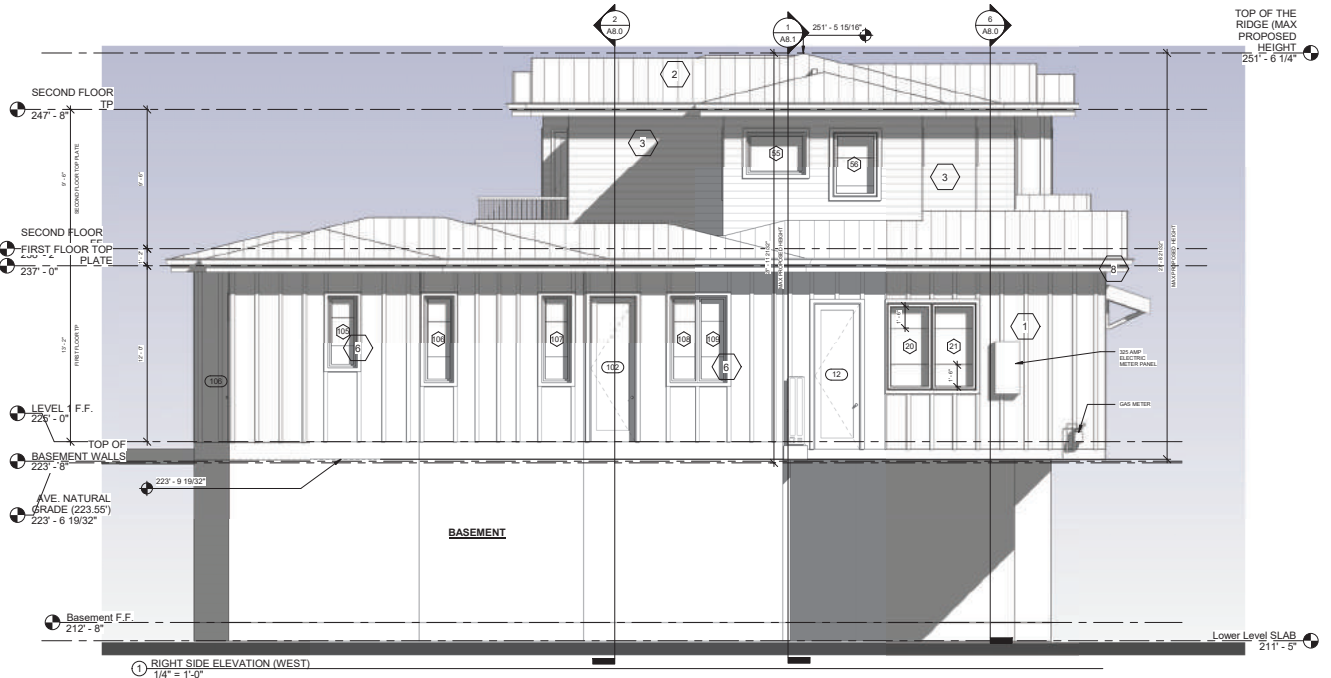


1 REAR ELEVATION (NORTH)
1/4" = 1'-0"

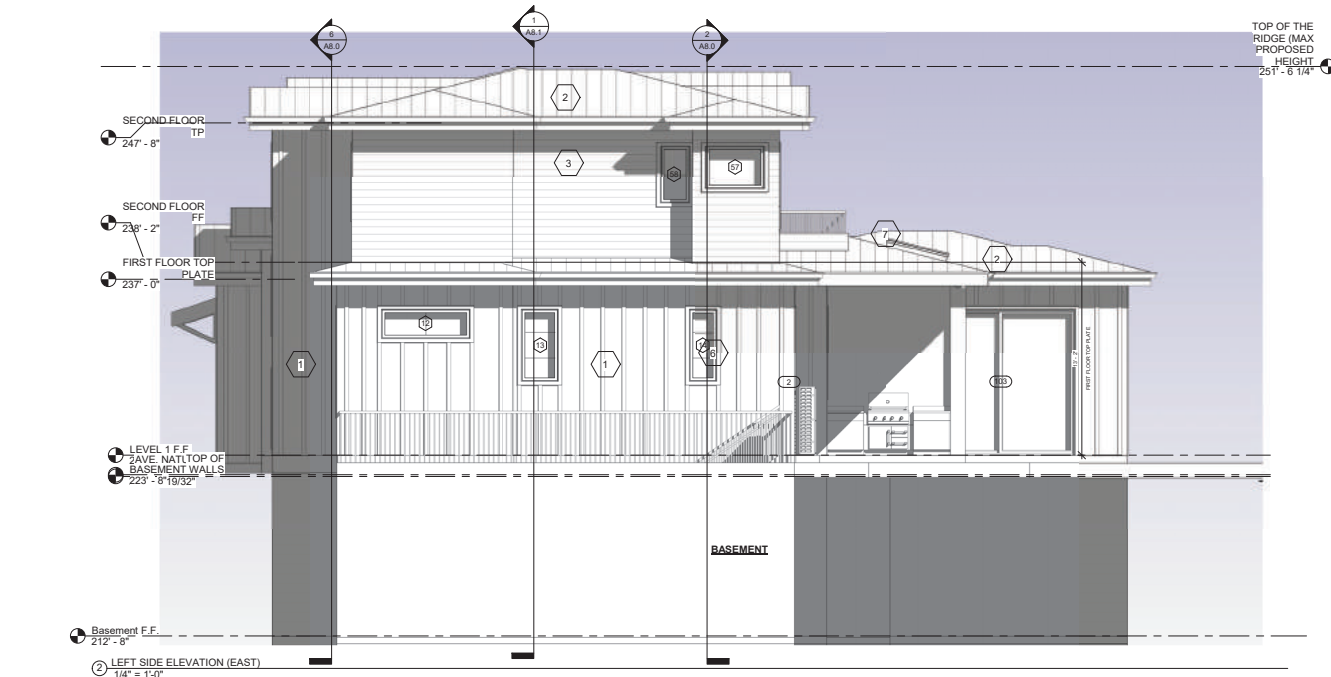


2 FRONT ELEVATION (SOUTH)
1/4" = 1'-0"

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MATERIAL LEGEND	
1	VERTICAL BOARD AND BATTEN SIDING
2	STANDING SEAM METAL ROOF - DARK GRAY-
3	HORIZONTAL WOOD SIDING
4	ALUMINUM & GLASS GARAGE DOOR
5	ALUMINUM & GLASS PIVOT DOOR
6	BLACK ALUMINUM CLAD WOOD WINDOWS - BLACK INTERIOR
7	FIXED VELUX SKYLIGHTS
8	GRAY CURB GUTTER



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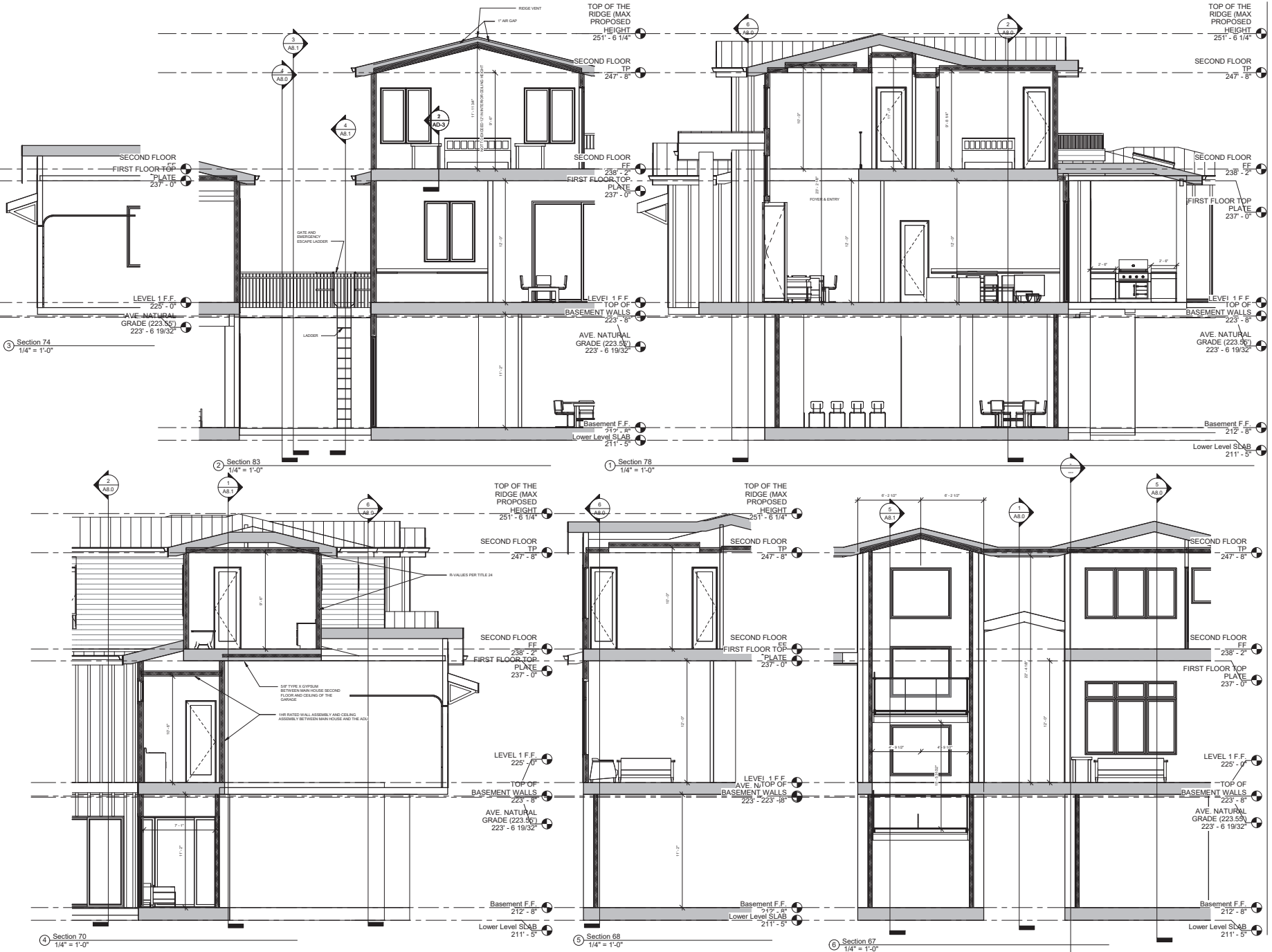
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SECTIONS

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SIGNATURES

Safaei

Job Title
2319 WARNER RANGE

Job Address
2319 Warner Range Ave, Menlo Park, CA
94025

Date
06.01.2023

Issued For
PLANNING

Job No.
108

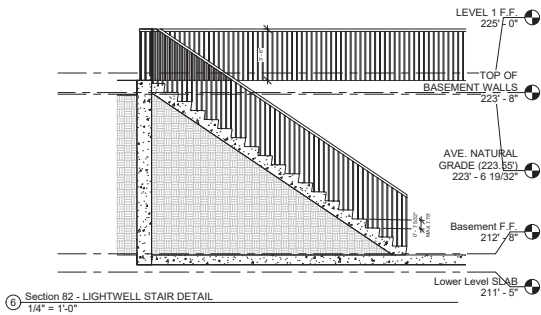
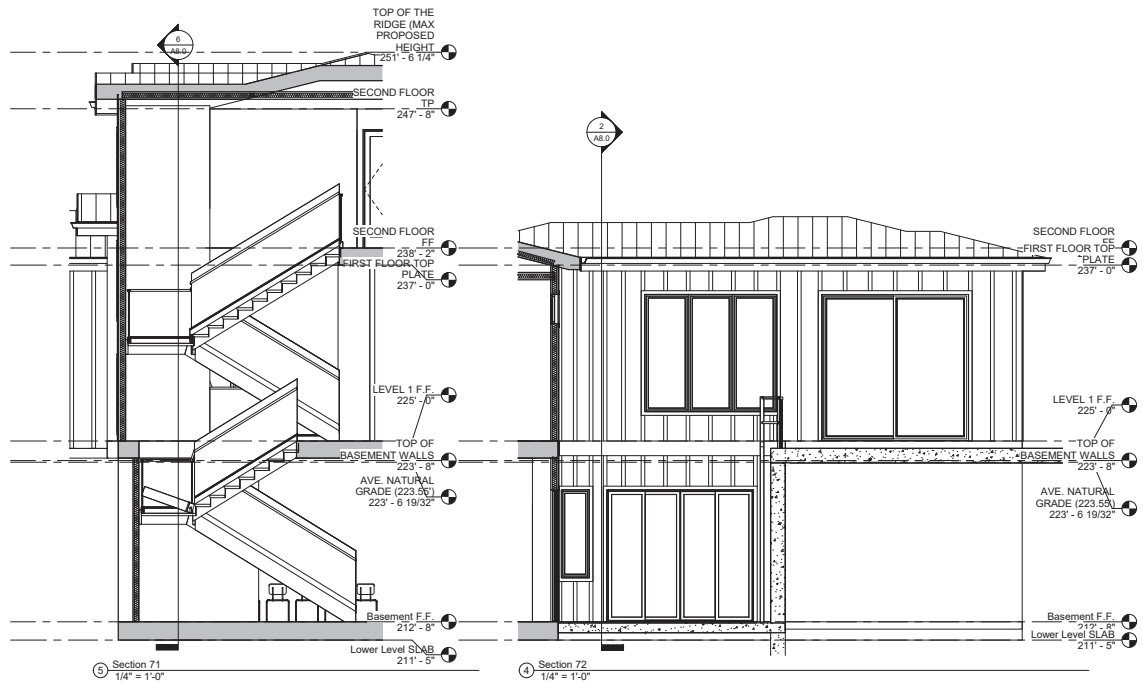
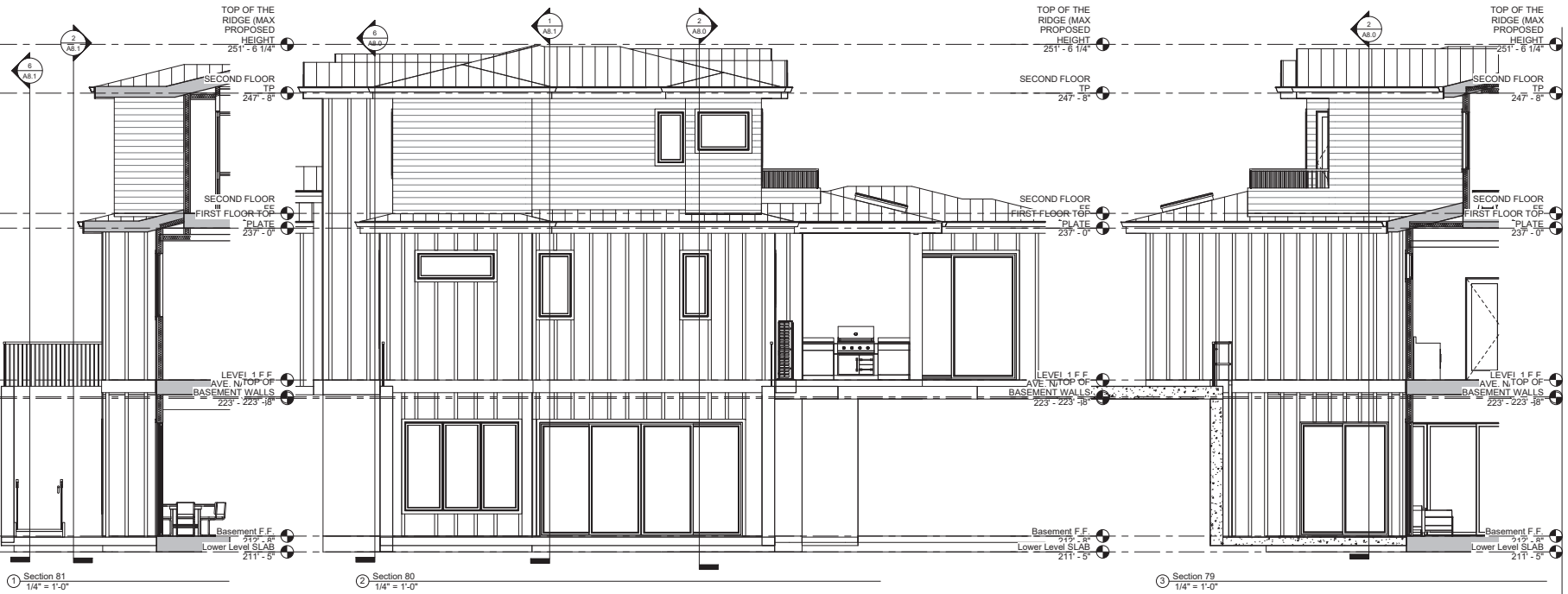
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Author: _____ Checker: _____

Scale
1/4" = 1'-0"

Sheet Title
SECTIONS

Sheet No.

A8.1





② FRONT ELEVATION PERSPECTIVE



① REAR ELEVATION PERSPECTIVE



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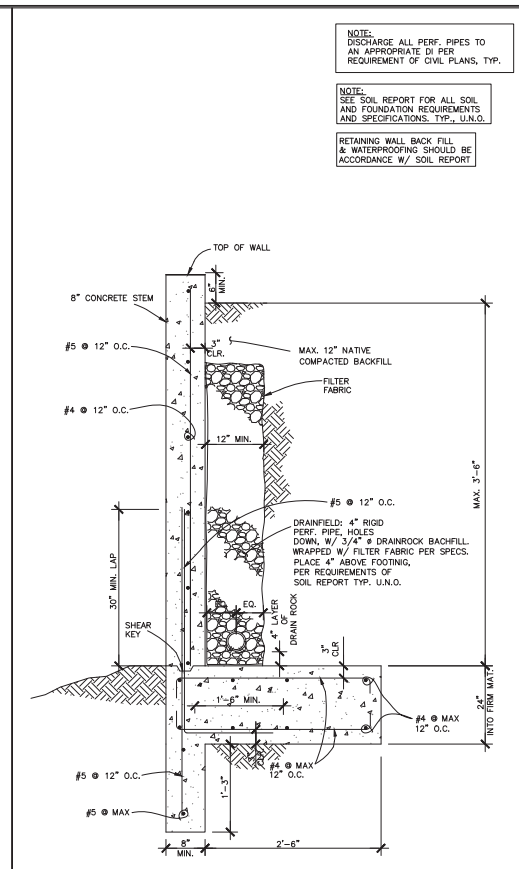
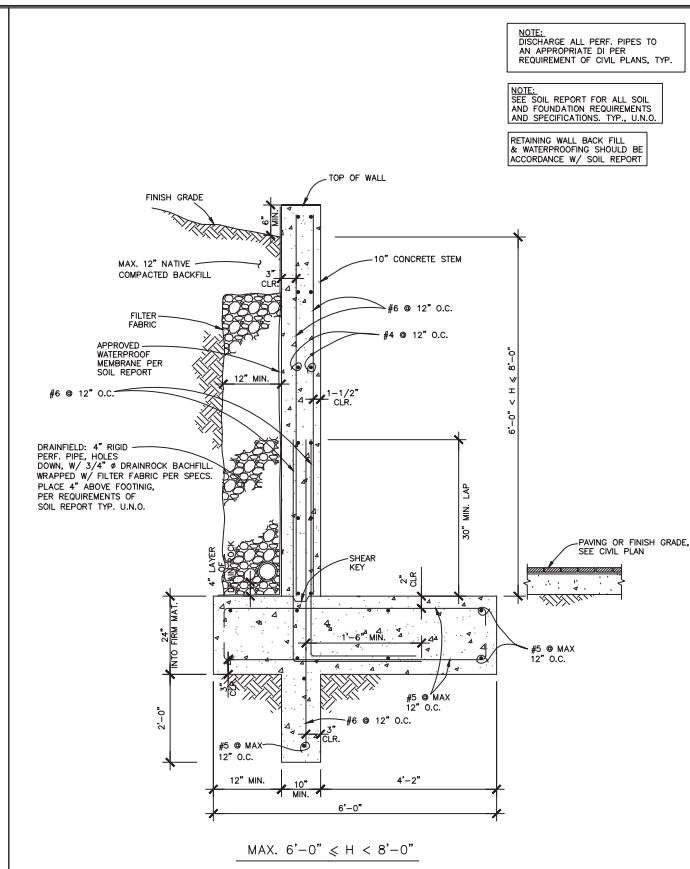
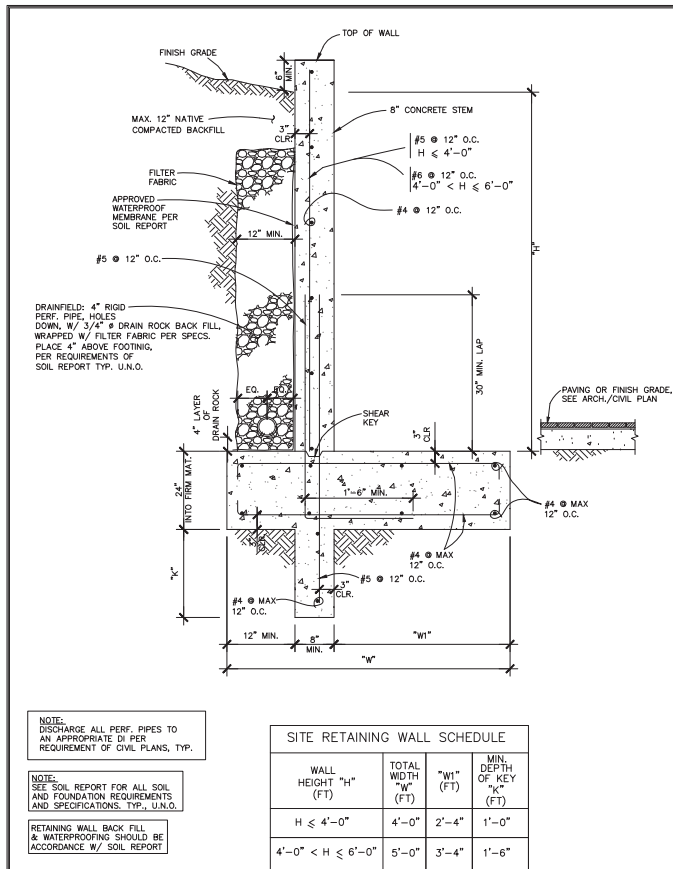
Drawn By: Checked By:
Author Checker

Scale

Sheet Title
3D PERSPECTIVES

Sheet No.

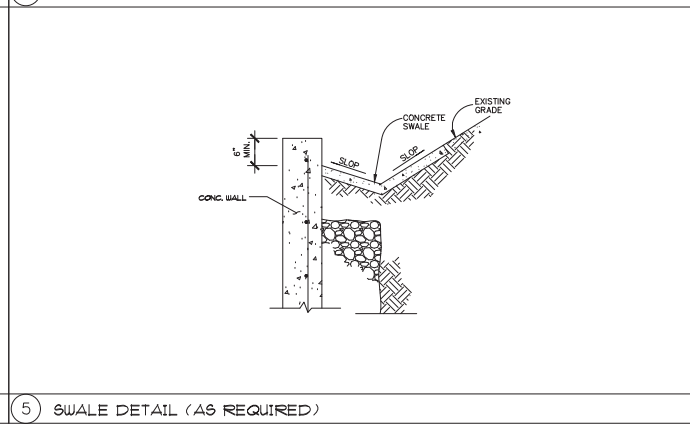
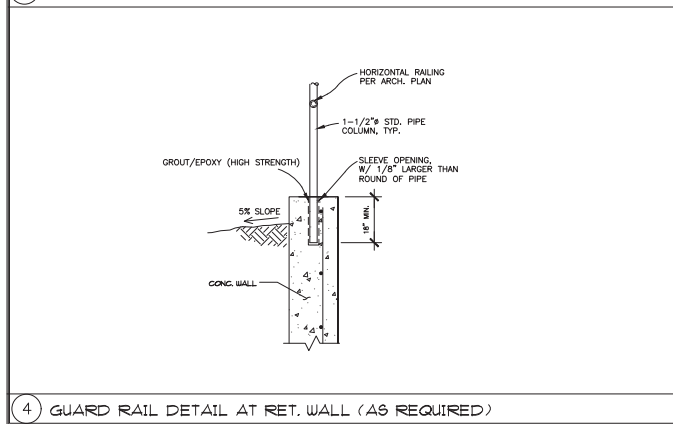
A8.5



1 SECTION AT SITE RETAINING WALL

2 SECTION AT SITE RETAINING WALL

3 SECTION AT SITE RETAINING WALL



4 GUARD RAIL DETAIL AT RET. WALL (AS REQUIRED)

5 SWALE DETAIL (AS REQUIRED)

6