

## 2882-2884 Sandhill Road Landscape Improvements

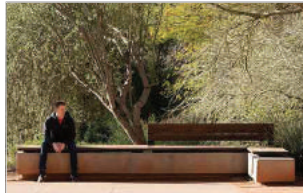
### Project Description:

The Sandhill Commons Courtyard Retrofit Landscape Renovation project at 2882 Sandhill Road aims to revitalize the exterior space to address several key aspects: drought resilience, decaying plant health, improved accessibility, material enhancements, and layout improvements. This project will take place within a defined boundary to seamlessly connect existing and proposed pathways while preserving current accessible drop-off and foot routes as indicated on the site plans.

Originally developed and constructed in 1964, the Sandhill Commons office campus is comprised of two buildings that span two floors. The buildings are composed around a central courtyard, with surface parking and ornamental lawns and gardens. The existing buildings are Contractor Modern Architectural style and Landscape, however, 2882-2884 is not a great representative Modernist work, nothing significant has been written about project, and the design does not appear to have been completed by a notable architect. The buildings are flat roof construction, with stucco and brick veneer facades. These buildings were favored by developers who prioritized inexpensive building materials, maximized square footage, and quick construction methods.

The primary objective of this renovation is to create a series of accessible outdoor 'rooms' that will cater to the needs of existing tenants, offering lounge, work, and casual seating areas. Within the limit of work, 26 trees, including 8 heritage trees, are planned for removal, but the project will also introduce 27 new trees tailored for Zone 9b, promoting a sustainable and visually appealing environment that will better adapt to the warming climate.

Additionally, the campus redesign will strictly adhere to stormwater runoff and capture code requirements, ensuring environmental responsibility throughout the renovation process. This project seeks to transform 2882 Sandhill Road into an inviting, functional, and eco-friendly outdoor space for the benefit of all tenants and visitors.



4. PRE-CAST RETAINING WALL W/ BENCH



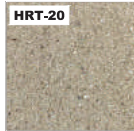
3. SHADE STRUCTURE WITH LIGHTING



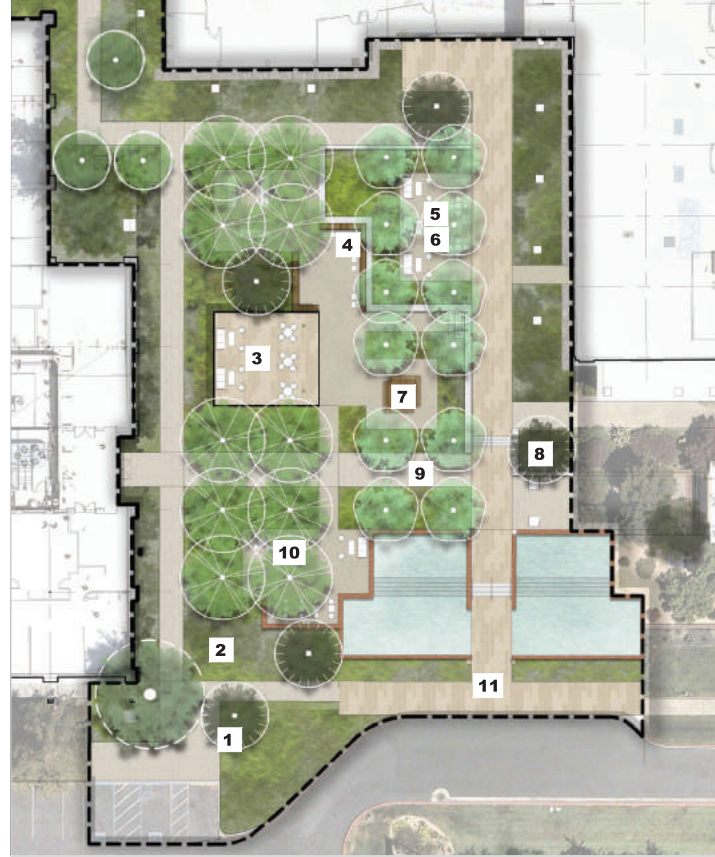
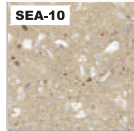
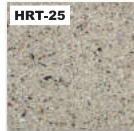
2. UNDERSTORY PLANTING - MIX 1



1. MONOLINE STANDARD BIKE RACK (REFERENCE SCHEDULE FOR COLOR)



11. PAVING COLOR PALETTE



10. OAK GROVE



9. OLIVE GROVE



5. WELCOME ROOM



6. FURNITURE - ROYAL BOTANIA - ALURA



7. CUSTOM TABLE & BENCH



8. CALIFORNIA PEPPER SPECIMEN

# SANDHILL COMMONS

2882-2884 SANDHILL ROAD  
MENLO PARK, CA  
94025

**Client**  
The Courson Company  
2882 Sandhill Road, Suite 117

**Landscape Architect**

## swa

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Stamp



Revisions

- 1
- 2
- 3
- 4
- 5

Date: 10.03.2023

Phase  
Planning Submission 1  
Job Number  
COPT102

Scale North

NOT TO SCALE

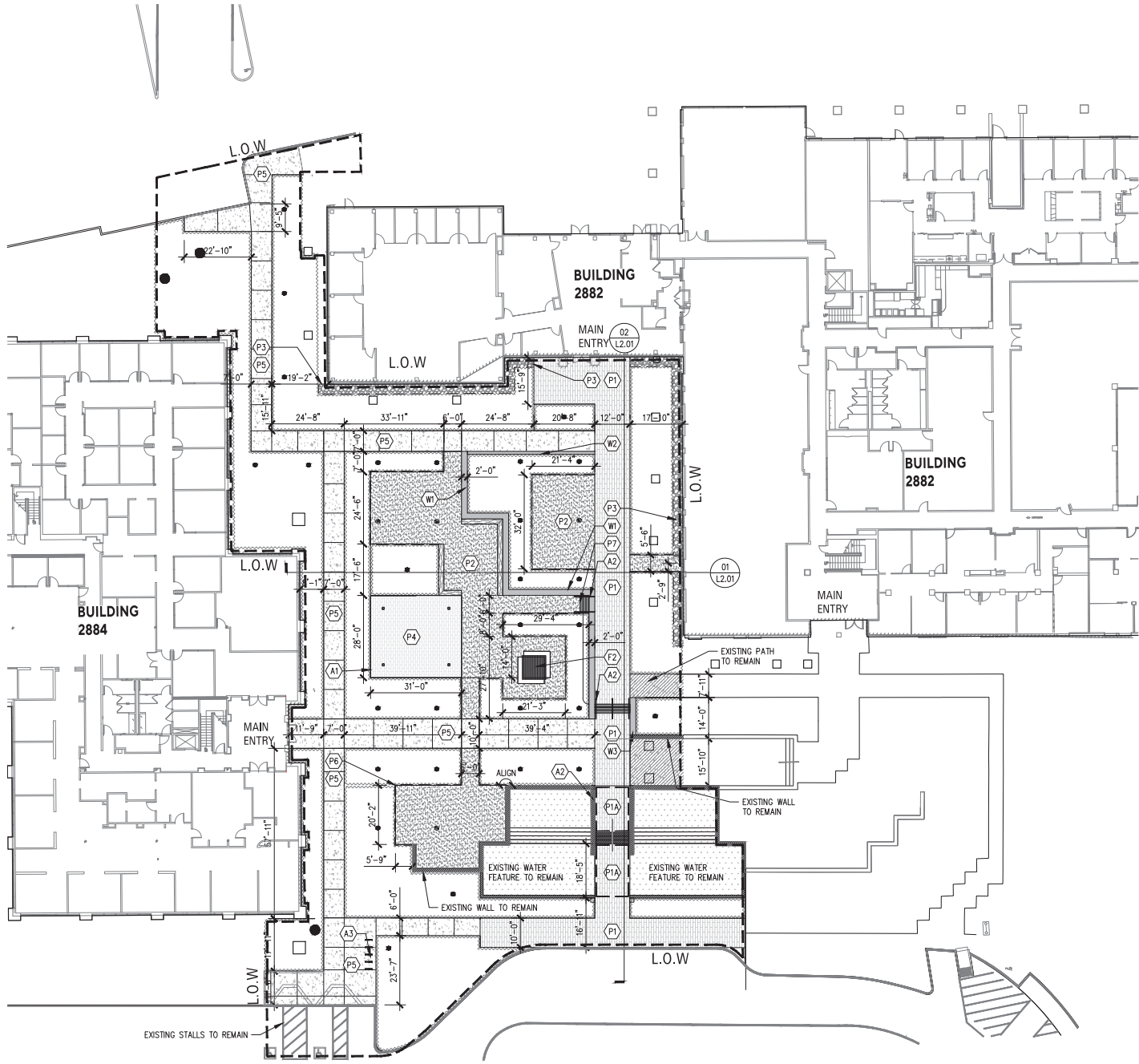
Drawing Title  
**MATERIAL PALETTE**

Drawing Number  
NOT FOR CONSTRUCTION

# LO.03

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P:\COPICOPT101\_2882-2884\_Sand Hill Rd\4 Drawings\Graphics\AutoCAD\Sheets\BUILDING PERMIT\LAYOUT\L1.01 LAYOUT AND MATERIAL PLAN.dwg | CFAHEY | ARCH-FULL BLEED D (24.00 X 36.00 INCHES) | 10/9/2023



FURNITURE SCHEDULE		
SYMBOL	KEY	ITEM
	F1	CUSTOM BENCH @ COURTYARD
	F2	CUSTOM BENCH AND WALL @ COURTYARD

WALL SCHEDULE		
SYMBOL	KEY	ITEM
	W1	PRE-CAST RETAINING WALL
	W2	PRE-CAST RETAINING WALL
	W3	CAST-IN-PLACE RETAINING WALL

PAVING SCHEDULE		
SYMBOL	KEY	ITEM
	P1	CONCRETE UNIT PAVERS - PAVER A
		CONCRETE UNIT PAVERS - PAVER B
		CONCRETE UNIT PAVERS - PAVER C
	P1A	MORTAR SET CONCRETE UNIT PAVERS
	P2	GRANITECRETE PAVING @ COURTYARD
	P2A	NON-STABILIZED DECOMPOSED GRANITE @ TREE WELLS
	P3	DECORATIVE COBBLE @ EDGE OF BUILDING
	P4	PERMEABLE PAVING @ SHADE STRUCTURE
	P5	CONCRETE PATHS @ COURTYARD
	P6	STEEL HEADER
	P7	PRE-CAST STAIRS TREADS

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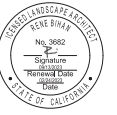
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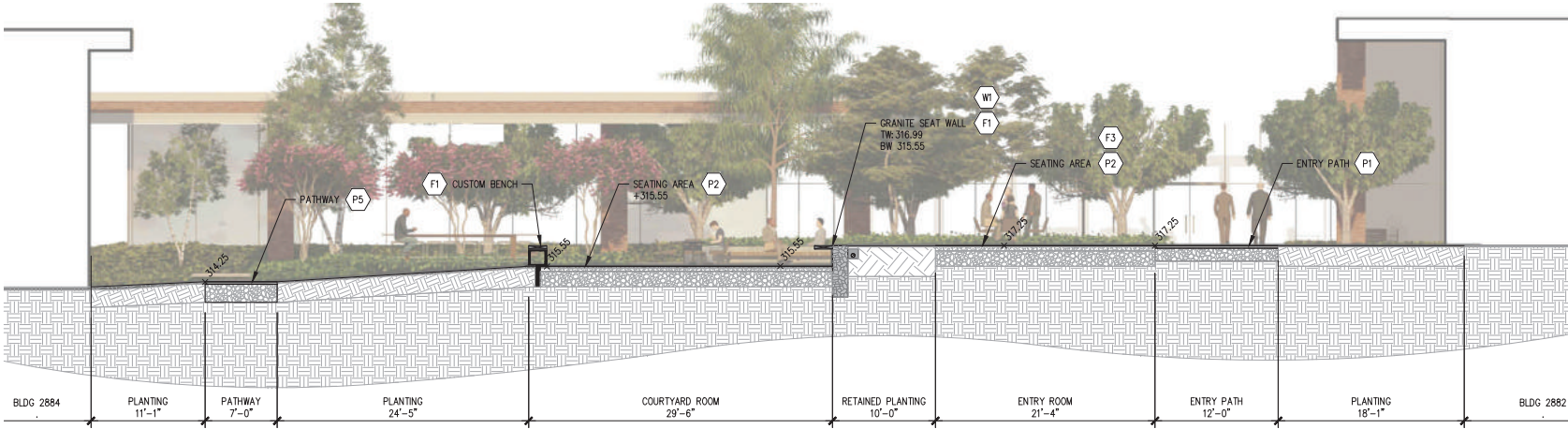
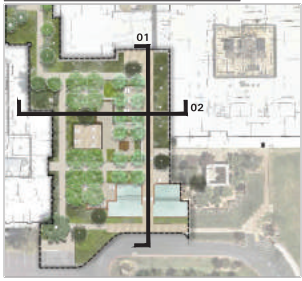
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**LAYOUT AND MATERIAL PLAN**

Drawing Number  
**NOT FOR CONSTRUCTION**

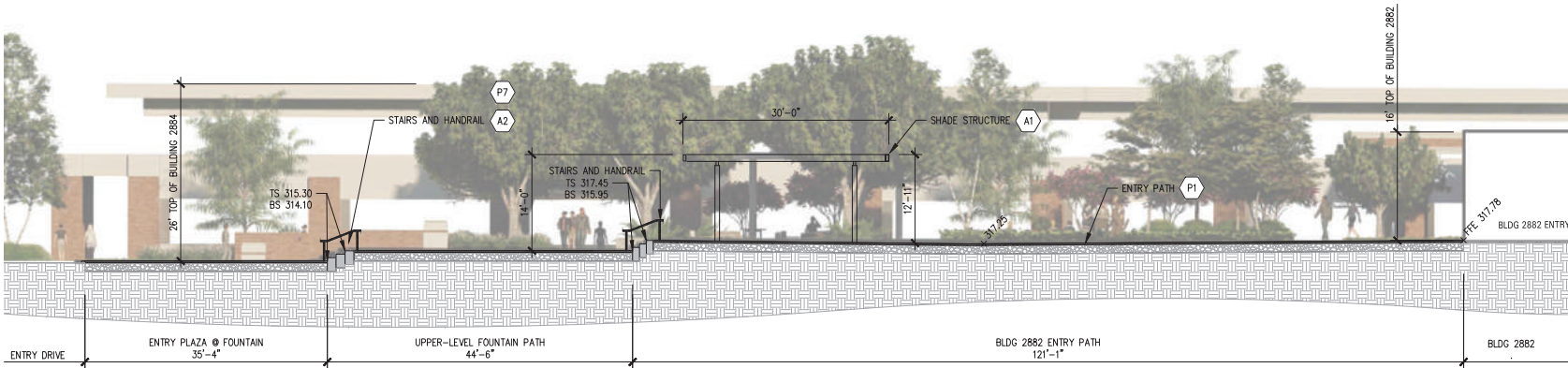
**L1.01**

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# KEY PLAN



SECTION 2  
3/16" = 1'-0"



SECTION 1  
1/8" = 1'-0"

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**Date:** 10.03.2023

**Phase**  
Planning Submission 1  
**Job Number**  
COPT102

**Scale** North  
0 1/2 1/1  
AS NOTED

**Drawing Title**

## SECTIONS

**Drawing Number**

NOT FOR CONSTRUCTION

# L2.01

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